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THE TERRACES AT WALNUT

SPECIFIC PLAN



Prepared for:
Sunjoint Development, LLC



Prepared by:



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Draft

THE TERRACES AT WALNUT SPECIFIC PLAN

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THE TERRACES AT WALNUT

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1.1 PURPOSE AND INTENT OF THE SPECIFIC PLAN

The Terraces at Walnut Specific Plan, hereafter referred to either as “The Terraces at Walnut Specific Plan” or “Specific Plan,” provides a detailed description of the proposed land uses, infrastructure, and implementation requirements for The Terraces at Walnut project, which will be processed through the City of Walnut, California. The Design Guidelines contained in this document will assist in creating architectural themes and landscape character for development on the project site. The Development Standards will establish permitted uses, building setbacks, and general development criteria.

The Terraces at Walnut Specific Plan is consistent with the applicable goals and policies of the City of Walnut General Plan. The provisions and regulations contained in the Specific Plan shall apply to The Terraces at Walnut project area, and shall prevail in instances of conflict with the provisions and regulations of the Walnut Municipal Code (WMC) that regulate the same subject matter. Where the Specific Plan is silent on an issue, the goals, objectives and implementing actions contained in the City of Walnut General Plan that address the same issue shall prevail, and the standards in the WMC or other applicable city, state or federal code that regulate the same issue shall apply.

This Specific Plan is designed with flexibility, considering changes in the marketplace could result in logical shifts in residential product types and complementary adjustment to commercial design. Limiting development equivalency transfers and

refinements to the overall site plan provide assurance for future residents, visitors, shoppers, and tenants.

This Specific Plan is an implementation tool that:

- Promotes quality development by ensuring consistency between the goals and policies of the City of Walnut General Plan and this Specific Plan.
- Promotes infill development that is compatible with abutting residential and public facility uses.
- Establishes compact development that concentrates land uses, promotes walking, and creates a strong sense of neighborhood.
- Establishes development standards for a range of permitted residential product types, including single-family detached, small-lot single-family homes, and townhomes.
- Provides development standards for a range of permitted commercial uses, including, but not limited to restaurants, retail, and offices.
- Assures appropriate financing for community facilities, including circulation and streetscape improvements, domestic water, recycled water, urban runoff and drainage facilities, and sewage disposal.

- Encourages sustainable development by promoting energy efficiency, efficient water consumption, dual systems for potable and recycled water service, diversion of construction waste from landfills, and use of environmentally sensitive materials in construction and design.
- Develops a plan that is economically feasible and that can be implemented based on existing and anticipated future economic conditions.

1.2 AUTHORITY AND FORMAT OF THE SPECIFIC PLAN

The State of California Legislature has established the authority and scope to prepare and implement specific plans. The State requires that all cities and counties in California prepare and adopt a comprehensive General Plan for the physical development of their areas of jurisdiction. To implement the policies described in the General Plan, regulating programs are adopted (e.g., zoning ordinances, subdivision ordinances, building and housing codes, etc.). California State law authorizes cities with complete General Plans to prepare and adopt specific plans (*Government Code Section 65450 – 65457*). Local planning agencies or their legislative bodies may designate areas within their jurisdiction as areas for which a specific plan is “necessary or convenient” (*Government Code Section 65451*).

Specific plans are intended to serve as bridges between the local General Plan and the individual development proposal for a specific area. Specific plans contain both planning policies and regulations, and may combine zoning regulations, capital improvement programs, and other regulatory requirements into one document.

The Terraces at Walnut Specific Plan has been created through the authority granted to the City of Walnut by the *California Government Code, Sections 65450 through 65453*. This Specific Plan has been prepared in accordance with the provisions of the California Government Code, which stipulate that a specific plan contain text and diagrams specifying the following:

- **Land Use:** The specific plan must specify the distribution, location, and extent of the uses of land, including open space, within the area covered by the plan. This discussion is included in *Section 3.2, Land Use Plan*, of this Specific Plan.
- **Public Facilities:** The specific plan must show the proposed distribution, location, extent, and intensity of major components of public and private transportation, wastewater, water, drainage, solid waste disposal, energy, and other essential facilities located within the area covered by the plan, and needed to support the land uses described in the plan. This discussion is included in *Section 3.3, Circulation Plan*, and *Section 3.4, Infrastructure Plan*, in this Specific Plan.
- **Development Standards:** The specific plan must include standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable. This discussion is contained in *Chapter 5, Development Standards*, in this Specific Plan.
- **Implementation Measures:** The specific plan must include a program of implementation measures, including regulations, programs, and financing measures. A discussion of these topics is included throughout *Chapter 6, Implementation*, in this Specific Plan.

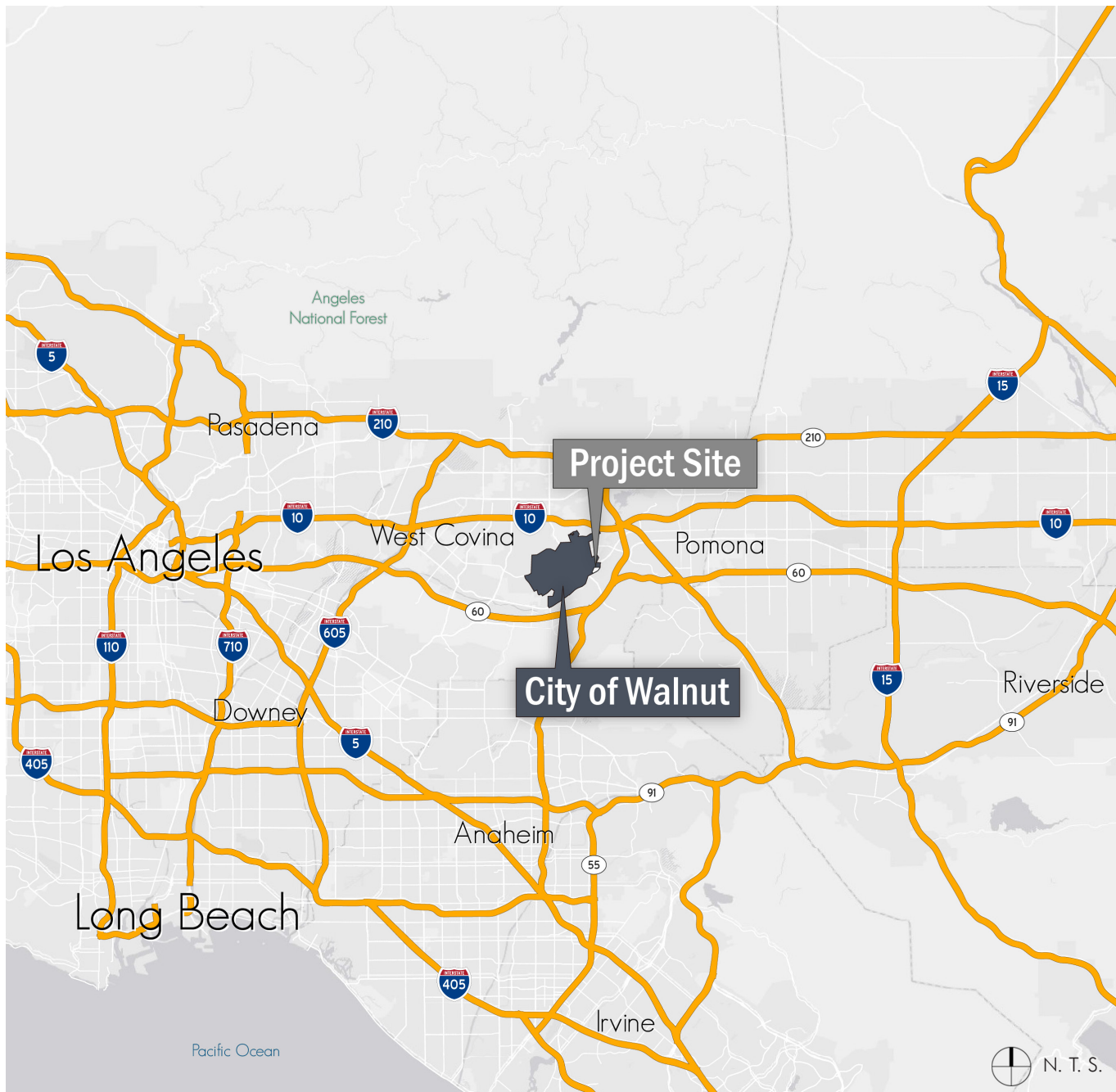
- **General Plan Consistency:** The specific plan must include a statement of the relationship of the specific plan to the General Plan. An analysis of The Terraces at Walnut Specific Plan's consistency with the City's General Plan is contained in *Appendix A, Consistency with City of Walnut General Plan*, of this Specific Plan.
- **Optional Contents:** The specific plan may address any other subject that, in the judgment of the planning agency, is necessary or desirable for implementation of the General Plan. Community building, landscape, architectural, and sustainable design guidelines in *Chapter 4, Design Guidelines*, of this Specific Plan.

1.3 SPECIFIC PLAN AREA LOCATION

The approximately 49-acre project site is located within the City limits of Walnut, California. Regional access to the site is depicted on *Exhibit 1.1, Regional Context* and is available from the south via State Routes 57 and 60 (SR-57/60) and from the northeast via Interstate 10 (I-10). Access from SR 57/60 is available from Grand Avenue, which intersects Valley Boulevard just west of the project site. Access from SR-57 is also available from Temple Avenue, which intersects Valley Boulevard approximately one and one-quarter (1.25) miles northeast of the project site. Access from I-10 is available from Kellogg Drive, which intersects Valley Boulevard approximately one and one-half (1.5) miles northeast of the project site. Valley Boulevard, which extends from Los Angeles to Pomona, provides direct regional access to the project site. The Terraces at Walnut Specific Plan area is located along the northern edge of Valley Boulevard at the intersection of Valley Boulevard and Faure Avenue (see *Exhibit 1.2, Local Context*).

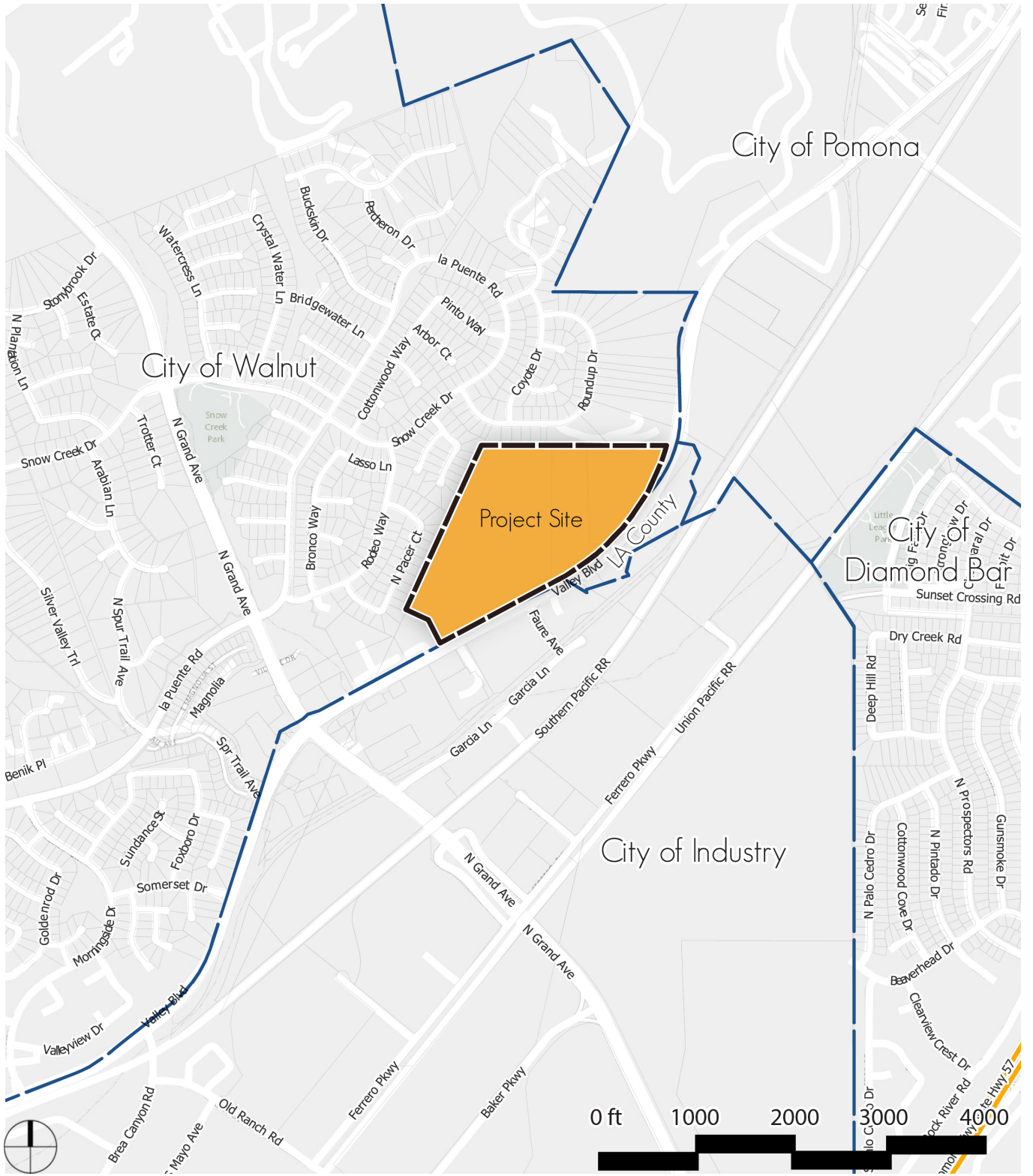


Existing Project Site



Source: KTGy

Exhibit 1.1, Regional Context



Source: KTGy

Exhibit 1.2, Local Context

1.4 SPECIFIC PLAN SUMMARY

The Terraces at Walnut project is the result of intensive planning and careful design to create a well-planned, infill project, consisting of detached and/or attached, “for-sale” housing, as well as a commercial district within the city limits of Walnut. The project site is currently vacant.

The design of The Terraces at Walnut Specific Plan incorporates place-making principles into a pedestrian-friendly community containing pocket parks, a lifestyle area, trails, walkways, and landscaped slopes. This Specific Plan includes the following uses, as shown on *Exhibit 1.3, Land Use Plan*:

- A commercial district consisting of a minimum of 16,000 square feet and a maximum of 30,000 square feet of retail, office, and/or restaurant uses.
- A variety of housing choices, including detached single-family dwellings, small-lot single-family dwellings, and townhomes totaling up to 290 dwelling units.
- A minimum of 2.0 acres is reserved for open space in the form of a neighborhood park, pocket parks, and open spaces that include emergency vehicle access.
- Other improvements such as landscaped slopes, streets, and public service improvements.

The Specific Plan is designed to function as a cohesive community within the City of Walnut. The architectural design of the project will be consistent with the Mediterranean “hilltop village” theme. The commercial district will include more refined elements, whereas the residential neighborhoods may be either rustic or refined, depending on the theme of the neighborhood.

The Specific Plan will have a unifying landscape theme, including a system of paths and trails through the project site. The trail system is designed to foster a sense of discovery and provide connections to various pocket parks, which have been specifically designed to take advantage of the views.

This Specific Plan encourages an environmentally conscious or “Green” design to provide for a sustainable community. Builders of the Specific Plan will be encouraged to incorporate energy-saving materials and features to reduce energy and water consumption needs, and to minimize the impacts associated with development on the environment. All development within The Terraces at Walnut Specific Plan will comply with the applicable California Green Buildings Standards Code.



* The location and size of the Townhome District Park and retail plazas are conceptual in nature and may be relocated within the District. These elements will be reviewed as part of the Site Plan Review process.



Project Summary:

Commercial District:	3.0 Acres
Residential Districts (Single-Family, Small-Lot, and Townhome):	23.2 Acres
Public Parks and Slopes:	15.4 Acres
Public and Private Streets:	7.4 Acres
Total Acres:	49.0 Acres

Total Dwelling Units:	Up to 290 Units
Total Commercial Building Area:	Between 16,000 and 30,000 sq. ft.

Source: KTGy, Google

Exhibit 1.3, Land Use Plan

1.5 DISCRETIONARY ACTIONS AND APPROVALS

The City of Walnut is the Lead Agency for purposes of California Environmental Quality Act (CEQA) compliance and has prepared an Environmental Impact Report (EIR) to consider the following discretionary actions. These actions are required to implement this Specific Plan:

- **General Plan Amendment:** An approval of a General Plan Amendment will be necessary to change the Land Use Designation of the entire property from the current designation of “Future Specific Plan No. 3” to “Specific Plan” on the City’s General Plan Land Use Map.
- **Zone Change:** An approval of a Zone Change will be necessary to change the zoning of the entire property from the current “Residential Planned Development” and “Heavy Commercial” Zones with a “Mixed-Use/Housing Opportunity Overlay Zone 3” (MU-HOO-3) to “The Terraces at Walnut Specific Plan” on the City’s Zoning Map.
- **Specific Plan:** The Terraces at Walnut Specific Plan has been prepared to realize the objectives of the proposed project as defined herein. The Specific Plan will be adopted by Resolution by the City of Walnut City Council, with the Development Standards chapter adopted by Ordinance.
- **Tentative Tract/Parcel Maps (TTMs/TPMs):** TTMs and/or TPMs for the Specific Plan area will be prepared and processed through the City in accordance with Chapter 23 of the City of Walnut Municipal Code and in accordance with the Subdivision Map Act of the California Government Code.
- **Certification of the Environmental Impact Report (EIR):** The City of Walnut has determined that an EIR is required to analyze the potential environmental impacts of the project and include mitigation measures, as appropriate, to reduce potential environmental impacts. The EIR has been prepared in accordance with the California Environmental Quality Act (CEQA) and the State of California CEQA Guidelines. The City of Walnut will consider certification of the EIR prior to taking action on the requested approvals.
- **Mitigation Monitoring and Reporting Program:** The City will evaluate and adopt a Mitigation Monitoring and Reporting Program (MMRP), which will be considered by the City related to the changes made to the project or conditions of project approval that were adopted in order to mitigate or avoid significant effects on the environment.
- **Approval of a Development Agreement:** A Development Agreement may be negotiated between the City of Walnut and applicant(s) that will establish vesting of development rights and entitlements, identify project improvements, timing of improvements, as well as the responsibilities and rights of both the City and the applicant(s).

All the above entitlements, with the exception of TTMs or TPMs, will require approval by the Walnut City Council. TTMs or TPMs will require approval of the Planning Commission and/or City Council. Final Maps will require approval by the City Council.

2.1 RELATIONSHIP TO THE CITY OF WALNUT GENERAL PLAN/ZONING CODE

As required by State Law, this Specific Plan is consistent with the applicable goals and policies contained within the adopted City of Walnut General Plan. The goals and policies identified within each element of the City of Walnut General Plan have been evaluated, and a statement of compliance with the General Plan has been included in *Appendix A, General Plan Consistency Analysis*. This Specific Plan serves as the Zoning for the Specific Plan area.

2.1.1 General Plan Land Use

The Specific Plan area is designated on the City of Walnut's General Plan Land Use Map as "Future Specific Plan No. 3." A General Plan Amendment has been requested to establish The Terraces at Walnut Specific Plan for the project and change the land use designation to "Specific Plan" (see *Exhibit 2.1, Proposed General Plan Land Use Designation*).

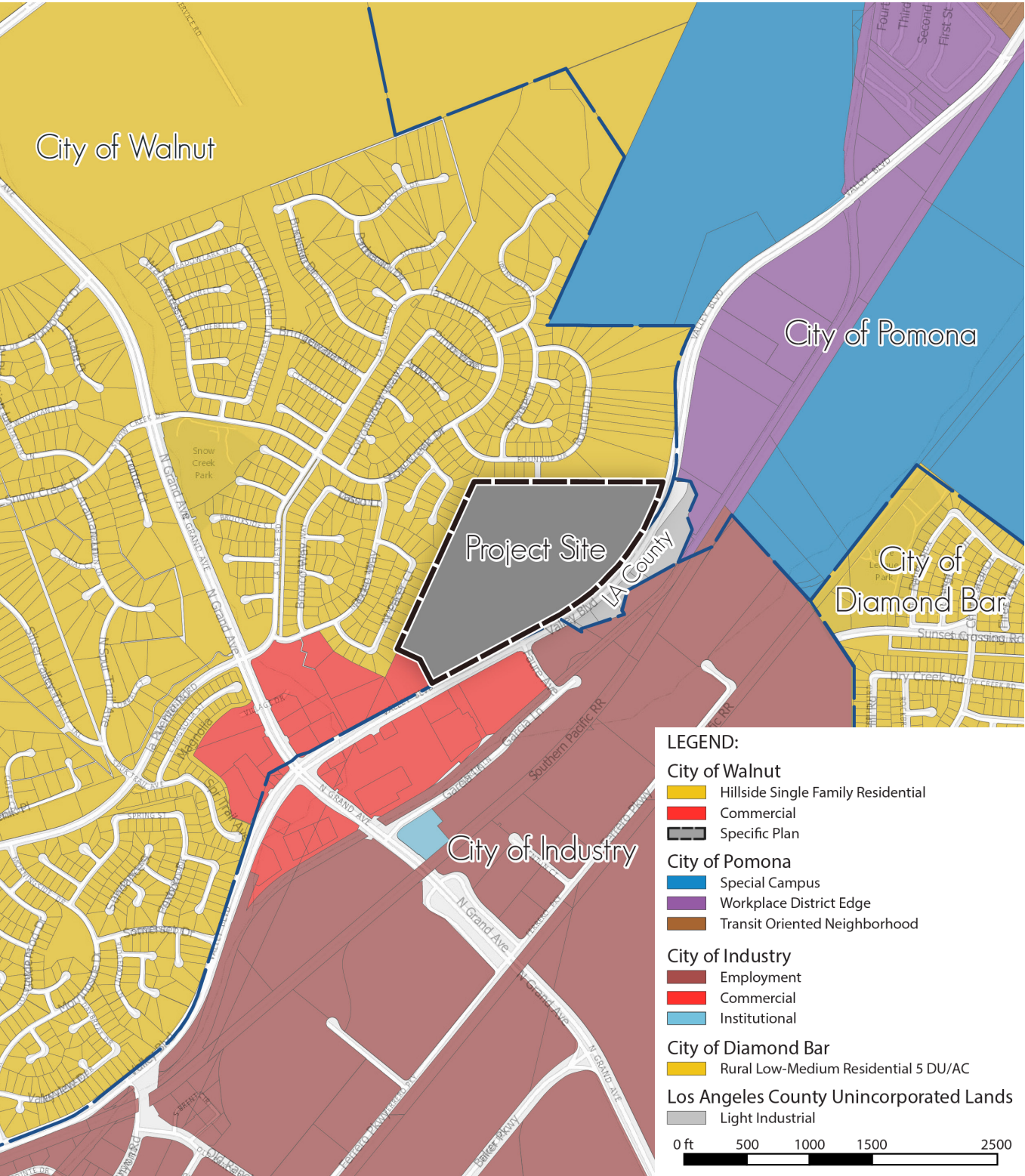
2.1.2 Zoning

The City's current zoning for the Specific Plan area is "Residential Planned Development" (RPD) and "Heavy Commercial" (C-3). The City of Walnut approved a Zoning overlay on October 23, 2013, pursuant to the certified Housing Element (2013-2021) and designated the site as "Mixed-Use/Housing Opportunity Overlay Zone 3" (MU-HOO-3). According to the Walnut Zoning Code, the purpose of this overlay is to:

Designate certain areas of the City of Walnut as suitable for higher density residential uses...and to provide a variety of commercial and retail uses that are integrated as a cohesive development with higher density residential uses (Chapter 6.20).

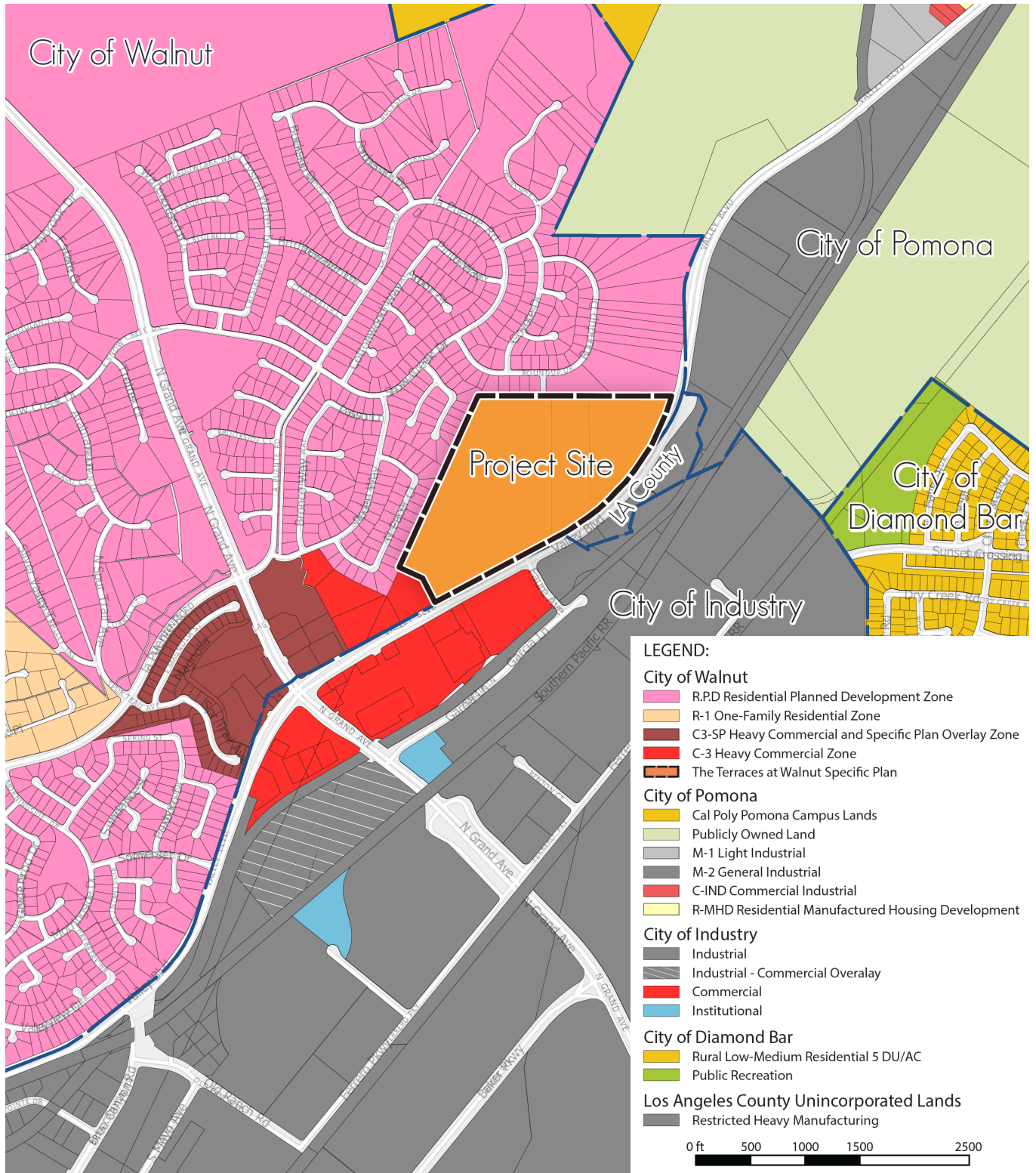
The Terraces at Walnut Specific Plan is designed to implement these goals.

Section 6.20.050 of the MU-HOO Zone requires a Specific Plan to be adopted to implement a mixed-use or higher density residential development. To adopt The Terraces at Walnut Specific Plan, a Zone Change is necessary. As such, the zoning of the site would change to "The Terraces at Walnut Specific Plan" (see *Exhibit 2.2, Proposed Zoning*).



Source: KTGy, County of Los Angeles, Cities of Walnut, Diamond Bar, Industry and Pomona

Exhibit 2.1, Proposed General Plan Land Use Designation



Source: KTGy, County of Los Angeles, Cities of Walnut, Diamond Bar, Industry and Pomona

Exhibit 2.2, Proposed Zoning

2.2 PROJECT CONTEXT

The site includes a number of external influences that impact the design of the project. These influences include those shown on *Exhibit 2.3, Opportunities and Constraints Analysis*, and described below:

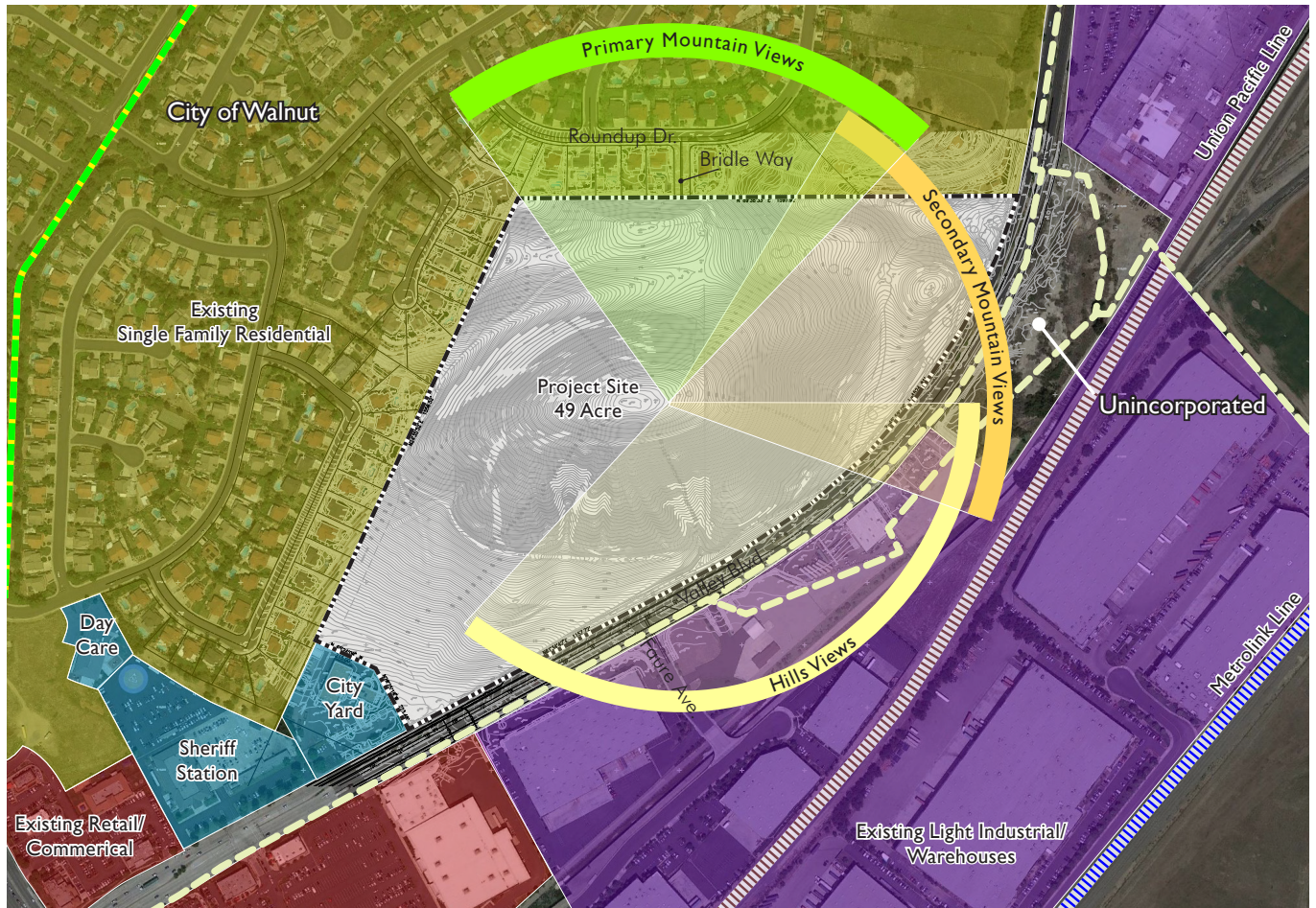
- Existing single-family dwellings abutting the northerly and westerly project boundaries.
- Existing City of Walnut Maintenance Department and Recreation Services Facility (City Yard) abutting the southwesterly project boundary.
- Proximity to the existing retail shopping center, The Village at Snow Creek, located southwest of the site.
- Warehousing facilities within the City of Industry and vacant, unincorporated property located across Valley Boulevard to the southeast.
- Located along the City of Walnut easterly boundary on Valley Boulevard.
- A hill located near the middle of the property that is approximately 200 feet higher than Valley Boulevard and approximately 100 feet higher than the residential area immediately west of the site. Mountain and hillside views from the site are available to the north, east and south.
- Two rail lines, Union Pacific and Metrolink, located to the east of the project site.

2.3 EXISTING SITE CONDITIONS AND SETTING

2.3.1 Site Topography

The Specific Plan area is located in the eastern portion of the City of Walnut, generally north of Valley Boulevard at Faure Avenue. The site contains gently sloping topography in the southwestern portion of the property, with a domed-shaped hill in the central portion of the site that is over 200 feet in height. The elevations of the site range between approximately 620 and 855 feet above mean sea level (amsl), with general surface drainage directed toward the southwest.

The existing natural slopes throughout the site are generally at 2:1 (horizontal:vertical) slope or flatter, with the exception of an area located near the middle of the site, adjacent to Valley Boulevard, where the slopes are slightly steeper than 2:1 in isolated areas. There are two existing steep cut slopes located toward the eastern portion of the site along Valley Boulevard, that are between approximately 40 and 50 feet in height and at a slope of approximately 1:1. There are concrete drainage swales located along the top of these two existing steep cut slopes.



N. T. S.

Legend

- Project Boundary
- Primary Mountain Views
- Secondary Mountain Views
- Hills Views
- Existing Trails/Equestrian Trail
- City Limit
- Union Pacific Line
- Metrolink - Riverside Line

Source: KTGy, Walden & Associates, Google Earth

Exhibit 2.3, Opportunities and Constraints Analysis

2.3.2 Biological Resources

According to the Biological Assessment prepared for the project by Helix Environmental Planning, Inc., the site is covered primarily by a mix of non-native grassland and disturbed habitat. There are five federal and/or state listed species (four animal and one plant) known to occur in the general vicinity of the project area. Three of the animal species require riparian habitat that does not occur on the property. The one plant species, Santa Ana River woollystar, occurs on flood plains associated with the Santa Ana River. No habitat for this species occurs on the property. Habitat for the fourth animal species, coastal California gnatcatcher, is comprised of sage scrub. The sage scrub habitat occurs on the property and is disturbed from the past fire(s). It occurs in two small patches and would likely not contain a significant population of the coastal California gnatcatcher.

Tree survey reports were prepared for the project based on the proposed limits of grading identified on *Exhibit 3.9, Proposed Cut and Fill*. According to reports prepared by Golden State Land & Tree Assessment, the vast majority of trees identified within the project limits are comprised of non-native and/or invasive tree species. Many of the trees on-site are diseased, stressed, lacking vigor, or are in a state of decline due to lack of maintenance, environmental stressors, and competition from nearby invasive species. Several trees pose a substantial risk to public safety due to codominant stems with included bark, disease, or other conditions. Evidence was found suggesting borer and termite infection along with the persistence of other diseases (viral/bacterial). No Heritage Trees, California black walnuts, western sycamores, or oak species are present within the project limits as defined in the City's Municipal Code.

Of the trees identified in the Tree Survey reports, a total of 217 trees would be removed to facilitate the development of the project. The trees that would be removed consist of Carrotwood Tree, Chinese Flame Tree, Tree of Heaven, Mexican Elderberry, and Peruvian Pepper species. Most of the trees proposed to be removed are located adjacent to the Valley Boulevard right-of-way, along the northerly property line, or located off-site to the north on lots 17 and 18. For every three (3) existing trees removed, one (1) 24-inch minimum size box tree shall be planted.

2.3.3 Geology and Soils

According to the Geotechnical Report prepared for the project by GeoTek, Inc., the site is located in an area geologically mapped to be underlain mostly by Quaternary age alluvial deposits and Tertiary age sedimentary bedrock. No active faults are indicated in the immediate vicinity on available maps for the area. Small portions of the southwesterly and northeasterly portions of the site are located in areas identified by the State of California as having the potential for liquefaction.

2.3.4 Hydrology

The project is located within the San Gabriel River Watershed which is located in the eastern portion of Los Angeles County. This watershed drains into the San Gabriel River, flowing 58 miles south until its confluence with the Pacific Ocean. Major tributaries to the San Gabriel River include Walnut Creek, San Jose Creek, Coyote Creek, and numerous storm drains from 19 incorporated cities.

The project site consists of undeveloped open space with a hill in the middle. Due to this topography, storm water flow is conveyed via natural and concrete ditches to three corners of the project, where storm drain systems exist along Valley Boulevard and an adjacent property. From these systems, pipe flow enters San Jose Creek, a reinforced cement concrete (RCC) channel. San Jose Creek confluences with the San Gabriel River to the east.

2.3.5 Existing Circulation

The entire site fronts onto Valley Boulevard, which is identified as a “Major Street” in the City of Walnut General Plan. Valley Boulevard has two to three travel lanes in both directions and a center median along most of the project frontage. There is one existing unsignalized intersection fronting the site – Valley Boulevard and Faure Avenue. Faure Avenue is located within the City of Industry and is identified as a “Collector Street” in their General Plan. Faure Avenue has one travel lane in each direction and does not have any median improvements.

The site also abuts the Bridle Way unimproved right-of-way to the north. This right-of-way is wide enough to accommodate a local street and could connect the site to Roundup Drive and the Snow Creek subdivision to the north.

The nearest bus stop is located approximately one-quarter (1/4) of a mile to the southwest, at the intersection of Grand Avenue and Valley Boulevard. This bus stop is serviced by Metro and provides service to California Polytechnic University, Pomona, the City of Industry park and ride facility, and the El Monte Station. The El Monte Station provides access to Metrolink rail services (San Bernardino Line) and Metro’s Silver Line (busway).

2.3.6 Easements

In the 1970s, easements were recorded onto the property for road and drainage purposes along the entire Valley Boulevard frontage. The width of this easement varies and ranges from approximately 3 feet to almost 80 feet.

2.4 PROJECT VISION AND OBJECTIVES

The project is envisioned as a Mediterranean-inspired “hilltop village.” The Terraces at Walnut Specific Plan is designed to implement a series of realistic and achievable project objectives that will help to implement the applicable City of Walnut General Plan goals and policies and ensure that the project develops as a high-quality community. These objectives, which are identified below, have been refined throughout the planning and design process, including a community outreach meeting conducted on September 21, 2015.

- Implement the City’s planned commercial and higher density residential districts facing the urban edge, consistent with the goals and policies of the City of Walnut General Plan.
- Provide horizontal separation (buffer) from existing single-family homes abutting the site. Based on the provisions within this Specific Plan, dwelling units within the Specific Plan area will be a minimum of 85 feet from dwelling units within surrounding neighborhoods.
- Provide new infill commercial uses and housing on a vacant site.
- Showcase distant views and vantage points with terracing and site orientation.
- Cluster development to promote walking and establish a strong sense of neighborhood.
- Interconnect the residential districts by incorporating an internal trail network.
- Reinforce sense of place through project-specific identity signage.
- Utilize the natural topography to define residential neighborhoods.
- Enhance the hill top and terraces as a memorable and meaningful public realm, where residents have close access to the pocket park system described as a “string of pearls.”



Conceptual Project Analog, “Hilltop Village” – Tuscany, Italy

PLAN ELEMENTS

3.1 PURPOSE AND INTENT

This Chapter contains a discussion of the various plan elements for The Terraces at Walnut Specific Plan, including the following:

- Land Use Plan
- Circulation Plan
- Infrastructure and Public Services Plan
- Grading Plan

Each plan works in tandem with the other plans to establish a framework for the Specific Plan area, ensuring that the Project will develop as a quality and cohesive commercial and residential community.

3.2 LAND USE PLAN

The Terraces at Walnut is planned as an infill redevelopment project that can include up to 290 dwelling units and between 16,000 and 30,000 gross square feet of retail, restaurant, office, or other similar uses on 49 acres. The Project includes approximately 2.0 acres of open spaces in the form of a neighborhood park, pocket parks, and open spaces that include emergency vehicle access. *Table 3.1, Land Use Summary*, below depicts a breakdown of the different land uses proposed within the Specific Plan area. Please also refer to *Exhibit 3.1, Land Use Plan*.

Table 3.1
Land Use Summary

LAND USE	ACREAGE	UNITS/SQUARE FOOTAGE	INTENSITY
RESIDENTIAL			
Single-Family District	2.6 acres	12 DU	4.6 DU/AC
Small-Lot District	15.2 acres	Up to 201 DU*	13.2 DU/AC
Townhome District	5.4 acres	Up to 83 DU*	15.4 DU/AC
RESIDENTIAL TOTAL	23.2 acres	Up to 290 DU	12.5 DU/AC
NONRESIDENTIAL			
Parks/Slopes	15.4 acres	--	--
Commercial District	3.0 acres	Min 16,000 sq.ft; 30,000 sq. ft. Max	0.15 to 0.23 FAR
PRIVATE AND PUBLIC RIGHTS-OF-WAY			
Streets	7.4 acres	--	--
PROJECT TOTALS	49.0 ACRES	UP TO 290 DU; 16,000- 30,000 SQ. FT.	

*The actual number of units built within these two districts may vary, however, the total number of units shall not exceed 290 dwelling units for the entire Specific Plan area.



* The location and size of the Townhome District Park and retail plazas are conceptual in nature and may be relocated within the District. These elements will be reviewed as part of the Site Plan Review process.

N. T. S.

Source: KTGy, Google

Exhibit 3.1, Land Use Plan

3.2.1 Commercial District

Located on the western portion of the Specific Plan area, the 3-acre Commercial District will consist of between 16,000 and 30,000 square feet of gross leasable area. The permitted and conditionally-permitted uses include, but are not limited to retail, grocery stores, restaurants, medical offices, neighborhood services providers, and general offices. As indicated in *Exhibit 5.2, Height Districts*, the buildings within the Commercial District will be one to two stories in height with on-surface parking.

3.2.2 Single-Family District

Located in the northwestern portion of the Specific Plan area, the 2.6-acre Single-Family District consists of 12 dwelling units. Each lot will have minimum lot dimensions of 60 feet by 120 feet and will contain one single-family detached home. As indicated in *Exhibit 5.2, Height Districts*, the maximum height for homes in this District will be two stories (35 feet maximum). In addition, each unit will include at least a two-car garage and a back yard for private recreation use.

3.2.3 Small-Lot District

The Small-Lot District includes up to 201 for-sale dwelling units on 15.2 acres. As indicated in *Exhibit 5.2, Height Districts*, this District will have a maximum height of 35 feet and three stories on the uppermost pad, and a maximum height of 35 feet and two stories on each of the terraces. The Small-Lot District includes detached, single-family or detached, multi-family units. Each unit will have an individual, direct entry on the ground level. These dwellings could be on conventional single-family lots, rear-loaded single-family lots, or on a common lot and oriented around a paseo, motorcourt, and/or a green court.

3.2.4 Townhome District

The Townhome District includes up to 83 for-sale dwelling units on 5.4 acres. As indicated in *Exhibit 5.2, Height Districts*, this District will have a maximum height of 35 feet and two stories. The Townhome District includes attached, multi-family units where direct unit entries are located on the ground level. This District will be located behind the Commercial District to provide a transitional density to the Small-Lot housing type. Orientations allow flexibility to maximize the private views. In addition, each unit will include at least a two-car garage.

3.2.5 Land Use Plan General Development Standards

- A. The Specific Plan area shall have a maximum of 290 dwelling units.
- B. Dwelling units may be transferred from one Residential District to the other, provided that the area devoted to the Single-Family District shall be a minimum of 2.6 acres and shall include a minimum of 12 units.
- C. With the exception of gates to block vehicular traffic for emergency vehicle access (EVA), the Specific Plan area will not be gated in order to promote connections to the surrounding area.
- D. Within the Single-Family District, the rear yard of single-family houses shall abut the rear yards of existing single-family houses located directly west and north.

- E. Each unit within the Single-Family District shall provide a minimum of 900 square feet of private open space (15-foot minimum dimension) in the form of an uncovered, private yard that is enclosed by a fence or wall. Slope area may be used to satisfy this requirement.
- F. Each unit within the Small-Lot and Townhome Districts shall provide a minimum of 60 square feet of private open space (6-foot minimum dimension) in the form of a yard, covered or uncovered patio, front porch, balcony and/or deck.
- G. Design Criteria for the Project is included in *Chapter 4, Design Guidelines*, of this Specific Plan. Development Standards are included in *Chapter 5, Development Standards* of this Specific Plan.

3.3 CIRCULATION PLAN

The purpose of this Section is to establish the general layout and design standards for roadways within the Specific Plan area and to implement the Circulation Element of the City of Walnut. *Exhibit 3.2, Circulation Plan* includes a roadway system that provides for efficient and safe vehicular and pedestrian movement within and around the Specific Plan area. The circulation system for the Specific Plan includes major elements as identified below.

3.3.1 Public Streets Near Project Site

3.3.1.1 East Valley Boulevard

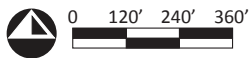
East Valley Boulevard fronts along the southeasterly boundary of the Specific Plan area and is an east-west, four-lane divided roadway, with a right-of-way of 100 feet. East Valley Boulevard will provide the only direct vehicular access to the Specific Plan area. Improvements to East Valley Boulevard include the installation of a sidewalk, a landscaped parkway and setback area along the Commercial District. A landscape parkway and setback will be included along the remainder of the Project's frontage. Raised median improvements to include a dedicated left-turn pocket into the Project at Faure Avenue. A traffic signal will also be constructed at Local Public Street A/Faure Avenue and East Valley Boulevard.

3.3.1.2 Roundup Drive (Local Street)

Roundup Drive is a public local street which provides access to the residential subdivision north of the Specific Plan area. This street will provide emergency vehicle access only to the Specific Plan area via the currently unimproved right-of-way reserved for Bridle Way.

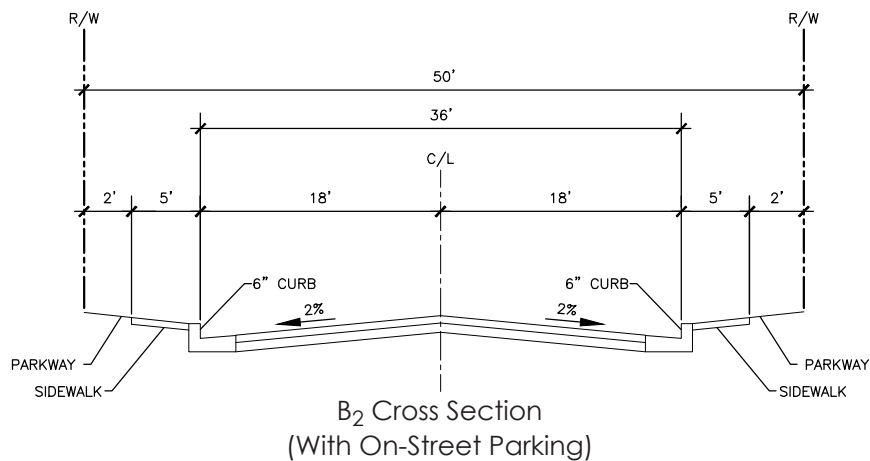
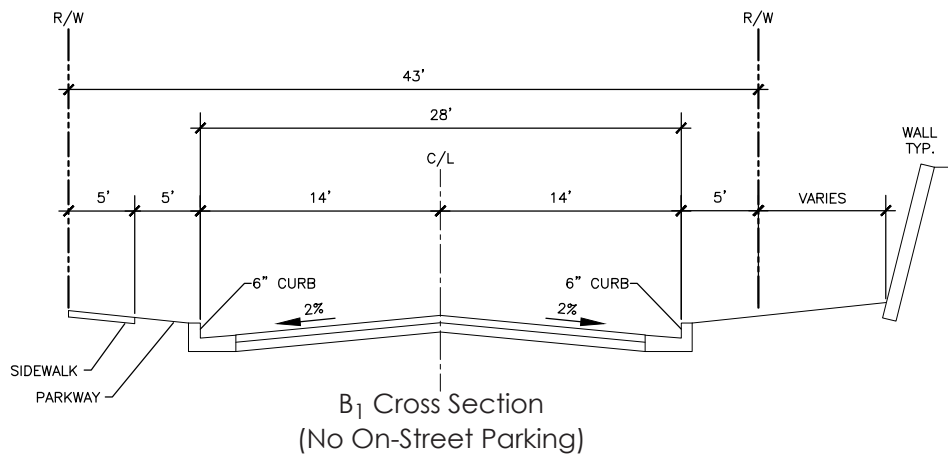
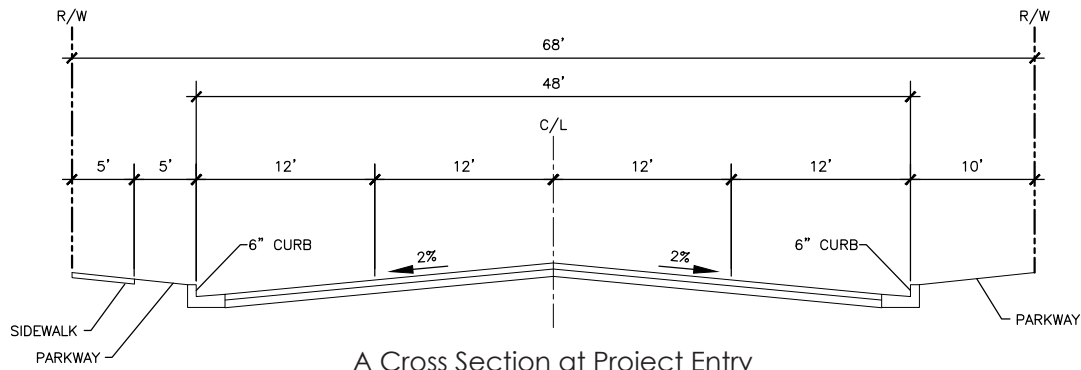


E.V.A. = Emergency Vehicle Access



Source: MBI

Exhibit 3.2, Circulation Plan



Source: MBI

**Final alignments will meet all applicable Federal, State, and LA County Fire regulations regarding accessibility and emergency access.*

Exhibit 3.3, Typical Street Cross Sections

3.3.2 Project Streets

3.3.2.1 Public/Private Street A

Street A extends approximately 250 feet into the Project site and turns into Street B just beyond the Commercial District entrance. This street will be the primary access point for the Project's residents and will also serve as access to the Commercial District. Street A is anticipated to be a dedicated City street, maintained by the City.

Street A is designed with a 68-foot right-of-way and 48-foot curb-to-curb dimension. This street will include a sidewalk and parkway on the west side of the street. Refer to *Exhibit 3.3, Typical Street Cross Sections* for typical sections of Street A.

3.3.2.2 Private Street B

Proposed private Street B begins at the terminus of Street A just beyond the Commercial District entrance, along the edge of the Small Lot District, through the Single-Family District and terminating at the Bridle Way emergency vehicle access. Street B is anticipated to be maintained by a common Homeowner's Association (HOA) and open for public use.

After the Commercial District entry, Street B is designed with a 43-foot right-of-way and 28-foot curb-to-curb dimension, with standard curb and gutter, and no parking on either side of the street. This street will include a sidewalk and parkway on the west side of the street. Street B will include a sidewalk on both sides of the street beyond the first private drive intersection into the Small Lot District. Within the Single-Family District, Street B is designed with a 50-foot right-of-way and 36-foot curb-to-curb dimension, with standard curb and gutter, and on-street parking on both sides of the street. This street will include a sidewalk on both sides of the street. Refer to *Exhibit 3.3, Typical Street Cross Sections* for a typical section of Street B.

3.3.2.3 Private Drives

Proposed private drives within the Specific Plan area are privately owned and maintained by the one or more HOAs. These private drives extend off of Street B, providing access to the Small-Lot and Townhome Districts. These private drives have a minimum 24-foot curb-to-curb dimension. Where applicable or required, the private drive will include a sidewalk on one or both sides of the drive.

Private drives are also located within the Commercial District's parking lot and will be subject to standards in *Section 5.8, Off-Street Parking Standards*.

3.3.2.4 Emergency Vehicle Access

An emergency vehicle access point will be provided from the cul-de-sac end of Street B, extending north to Roundup Drive. This access consists of a 24-foot wide asphaltic path with curb and gutter. A gate will be located within the emergency vehicle access, preventing unauthorized vehicular access to the existing single-family residential neighborhood to the north. This access will be designed to meet applicable load bearing requirements.

3.3.3 Pedestrian Circulation

The Project's design encourages pedestrian activity between the Project's Districts and with the residential neighborhood to the north (refer to *Exhibit 3.2, Circulation Plan*). Residents within the existing neighborhood could visit and experience the site's unique views at the various pocket parks throughout the site. Residents could also visit and shop in the Commercial District without the need to get into a car. Pedestrian circulation will be accommodated by accessible sidewalks, paved paths, and paseos directly serving the community. There will also be secondary, non-accessible stairs at slopes at select locations in between the terraces.

3.4 INFRASTRUCTURE PLAN

Infrastructure facilities (such as, but not limited to water, sewer, and storm drains) shall comply with the requirements of the City of Walnut and the relevant service agencies. All construction shall comply with all provisions of applicable building codes.

3.4.1 Water System

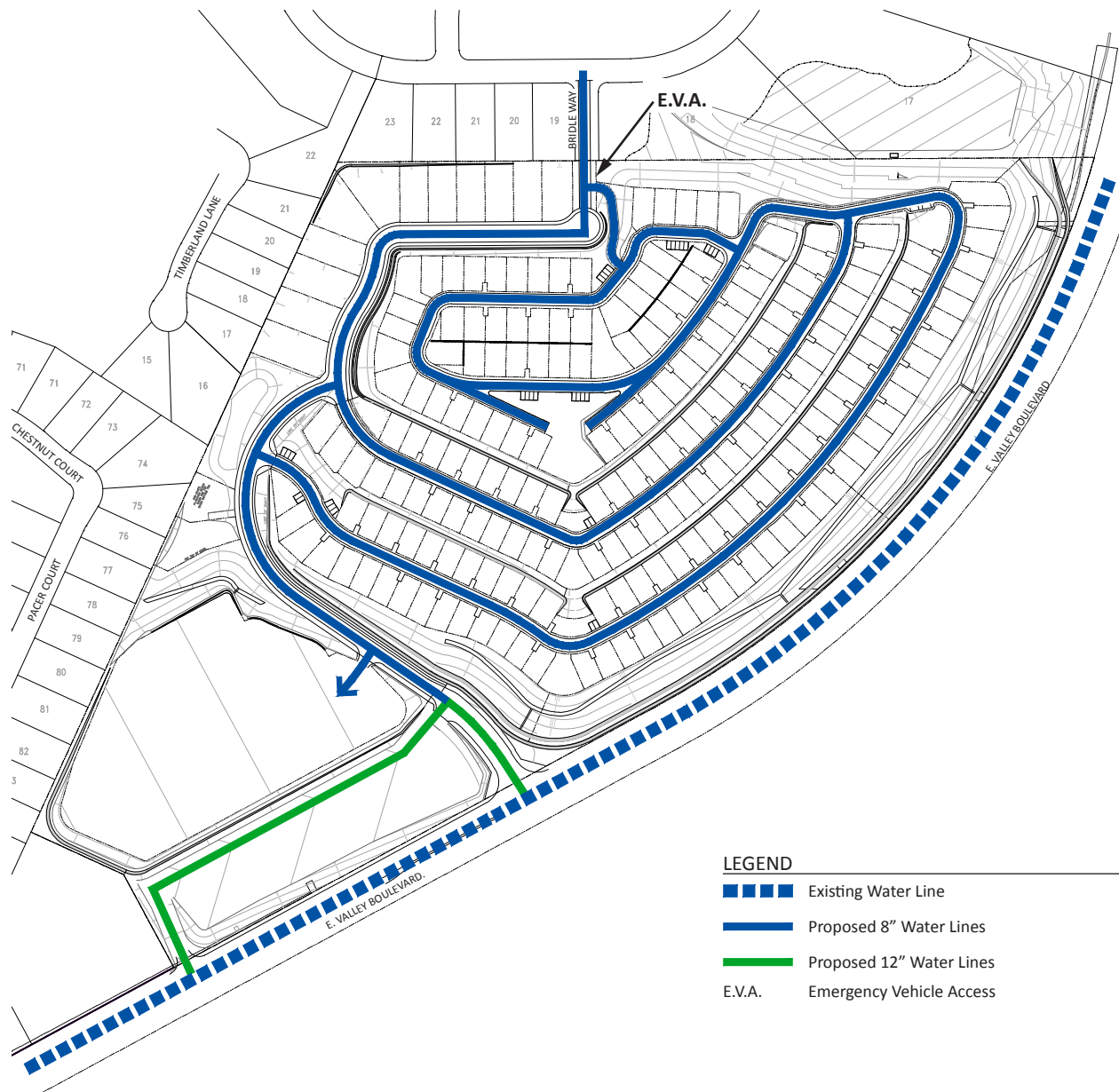
3.4.1.1 Domestic Water

Domestic Water service for the Project will be provided by the Walnut Valley Water District (WVWD) 930 Zone. Parallel 12-inch and 24-inch domestic water pipelines exist in Valley Boulevard. WVWD will require each of two connections on the 12-inch for direct service to the Project. An 8-inch in-tract pipeline exists in Roundup Drive at Bridal Way and is the third proposed point of connection for the Project at the north end of the Project site. The Project will extend water lines into the site from each connection. The Project site pipelines will be public and owned and operated by the WVWD. All proposed on-site public pipelines will be sized in accordance with the residential fire flow requirements of LA County Fire. The fire flow required for the residential land uses can be served by 8-inch pipelines for serving typical residential fire flows. The piping layout for the Commercial District are proposed to be served by 12-inch pipelines for a higher expected fire flow than that required for the residential areas. Refer to *Exhibit 3.4, Domestic Water Plan* for the Project's conceptual potable water system layout.

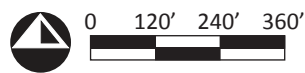
3.4.1.2 Recycled Water

Non-potable water service for the Project will be provided by WVWD's 810 Recycled Water pressure zone. A 16-inch recycled water pipeline exists in Valley Boulevard. WVWD will require all public landscapes within the Project to be served from their recycled water system. The on-site distribution system is proposed to be a private system with the service connection to the 16-inch pipeline located adjacent to the residential entrance road on Valley Boulevard. Pumping will be required for pressurized service to The Terraces at Walnut on-site irrigation system. The on-site system is proposed to include the pump station and 6-inch/4-inch pipeline network.

The on-site irrigation system will require a pump for lifting source recycled water from 60 psi to approximately 110 psi in order to have minimum service pressures at the highest landscape areas of the Project site. The pump will be located at the proposed service connection in Valley Boulevard near the Project entry as the sole source for irrigation water to all greenbelts, slopes, and parks within the Project site, and will be decoratively enhanced with screening materials, colors, and landscaping that are consistent with the community design theme. This pump station, along with any required utility infrastructure, should be placed in areas that limit visibility from the public realm to the extent feasible. Refer to *Exhibit 3.5, Conceptual Recycled Water Plan* for the Project's conceptual recycled water system layout.

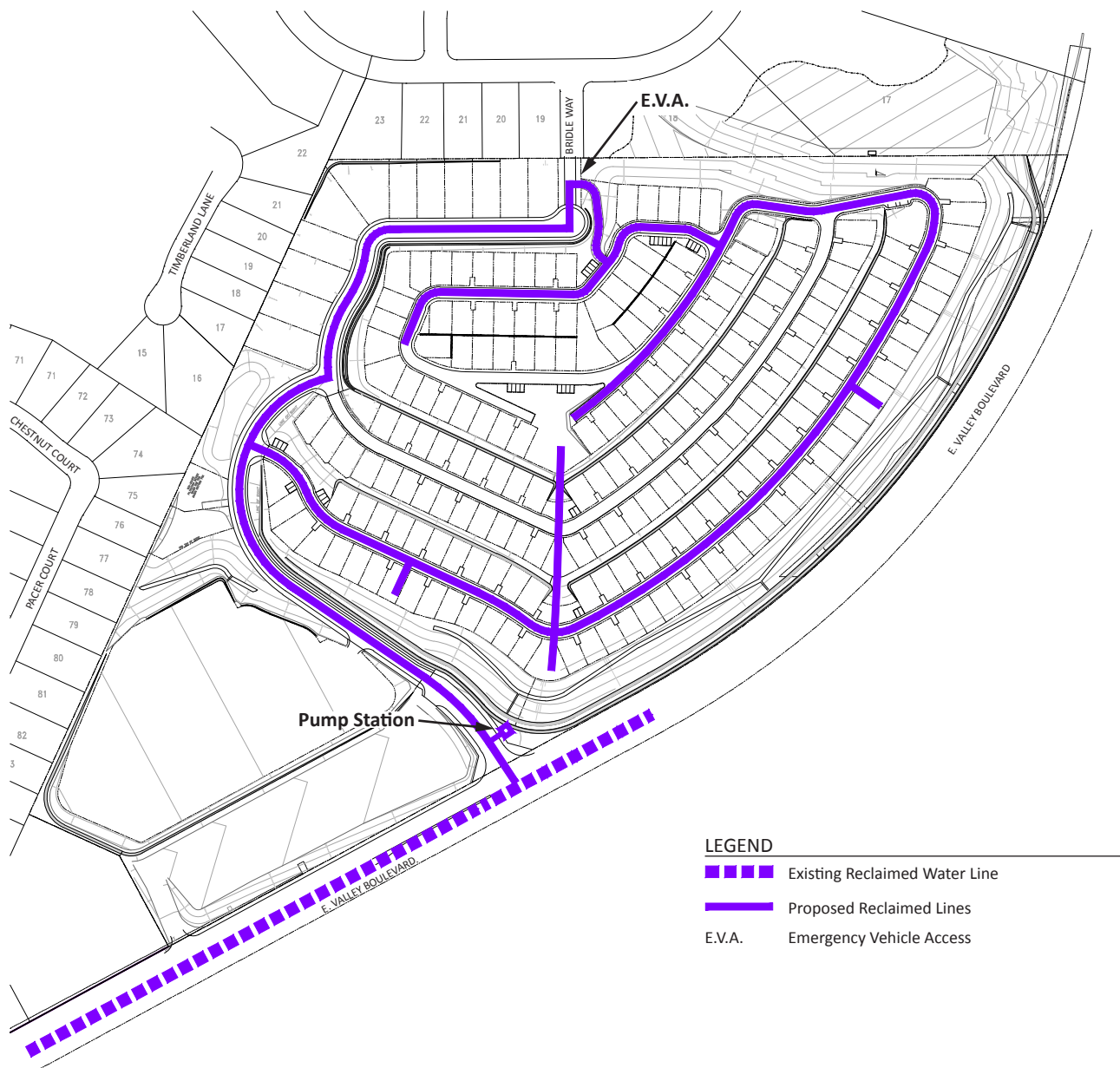


E.V.A. = Emergency Vehicle Access



Source: MBI

Exhibit 3.4, Domestic Water Plan



LEGEND

- Existing Reclaimed Water Line
- Proposed Reclaimed Lines
- E.V.A. Emergency Vehicle Access

E.V.A. = Emergency Vehicle Access



Source: MBI

Exhibit 3.5, Conceptual Recycled Water Plan

3.4.2 Sewer System

Sewer service for the Project will be provided by LA County Department of Public Works (LACDPW) or City of Walnut. Separate on-site public gravity sewer systems are proposed for each of the Residential and Commercial Districts of the Project. The Project site's sewer system will be owned and operated by LACDPW or the City of Walnut. LACDPW operates an 8-inch gravity sewer in Valley Boulevard, which would be extended or paralleled, to each of two proposed service connections – one for the Commercial District and one for the Residential Districts – in order to provide flexibility for the Project. There is a possibility that the existing 8-inch LACDPW sewer line in Valley Boulevard may not have sufficient capacity for full build-out of the Project, and ultimately a parallel sewer line in Valley Boulevard would be constructed to the LA County Sanitation District's system in Grand Avenue. Refer to *Exhibit 3.6, Sanitary Sewer Plan* for the Project's conceptual sewer system layout.

3.4.3 Drainage Plan

All runoff from the residential, commercial, and private streets portion of the Project will be captured in curb-side catch basin inlets and conveyed in storm drain pipes through the site to an under-ground extended detention chamber within the Commercial District before joining the existing storm drain system within Valley Boulevard. Refer to *Exhibit 3.7, Storm Drainage Plan* for the Project's conceptual drainage design.

During smaller storm events, storm drain pipes will convey low-flow runoff up to the 85th percentile storm event volume off-line into and through approved water treatment devices. The runoff from the higher portions of the Small-Lot District and all of the Single-Family District are tributary to a large proprietary Bio-Retention Basin/System. Both the Townhome District and Commercial Districts are tributary to separate,

smaller Bio-Retention vault/devices. Once cleaned, runoff water is reintroduced to the main storm drain system tributary to the underground extended detention chamber within the Commercial District.

During larger storm events, storm drain pipes still divert the low-flow runoff for cleaning, but runoff in excess of the treatment quantity will be conveyed directly to the underground extended detention chamber within the Commercial District. The extended detention chamber will be sized to capture peak runoff volumes to protect down-stream infrastructure from flooding and will also have a metering outlet structure lowering the rate of runoff before joining the existing storm drain system within Valley Boulevard.

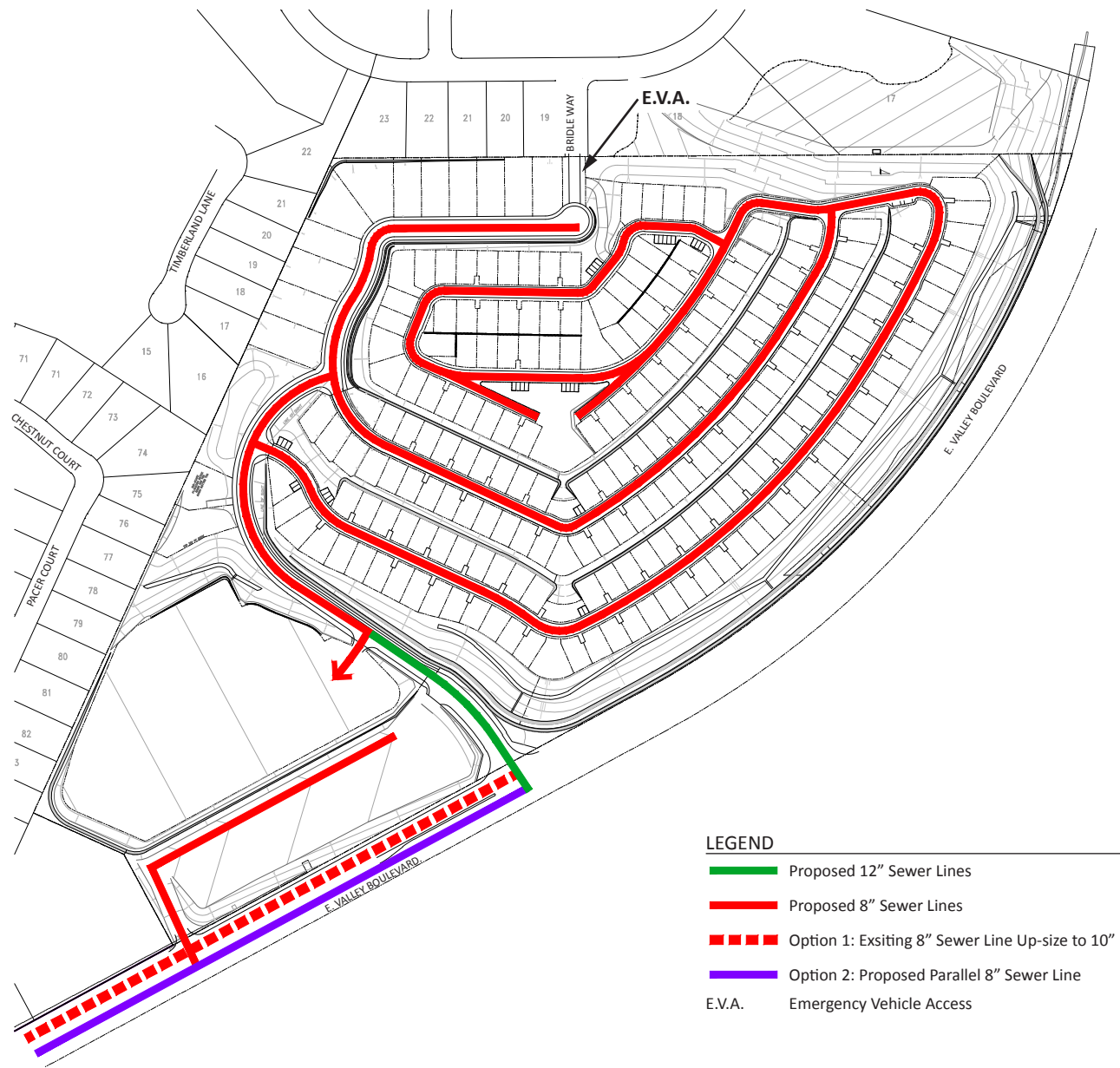
3.4.4 Utilities

Telephone, cable television, and internet services to the Specific Plan area will be provided by Frontier Communications or Spectrum.

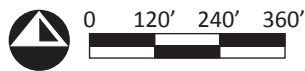
Natural gas service for the Specific Plan area will be provided by the Southern California Gas Company. Existing gas lines are located within adjacent public streets rights-of-way and will provide connections to the Project.

Electrical service to the Specific Plan area will be provided by Southern California Edison (SCE), pursuant to the California Public Utilities Commission and Federal Energy Regulatory Commission regulations.

Trash collection, waste disposal, recycling services, and green waste services will be provided by Valley Vista Services, which is the only service provide approved by the City of Walnut with an exclusive franchise.

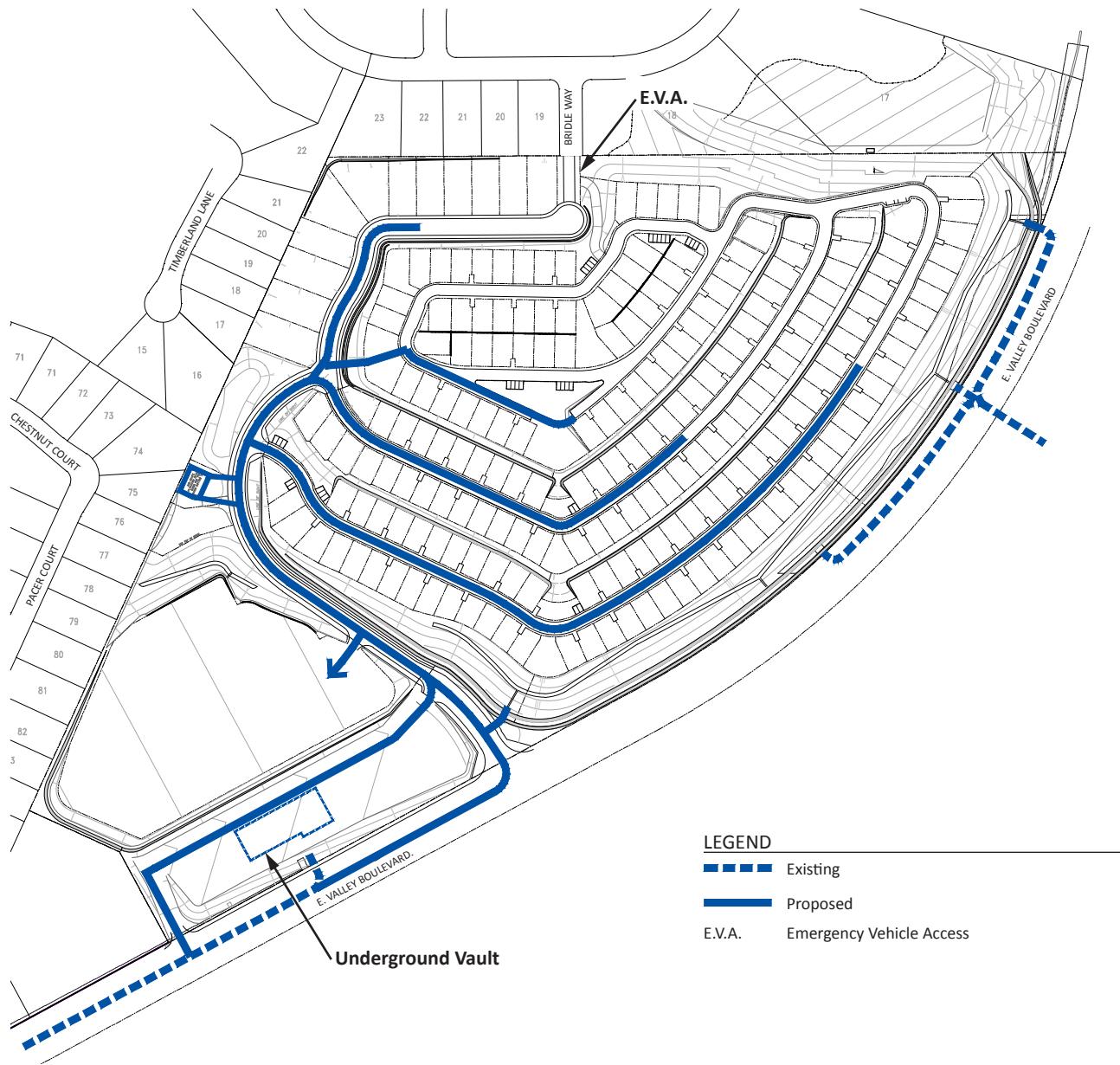


E.V.A. = Emergency Vehicle Access

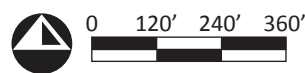


Source: MBI

Exhibit 3.6, Sanitary Sewer Plan



E.V.A. = Emergency Vehicle Access



Source: MBI

Exhibit 3.7, Storm Drainage Plan

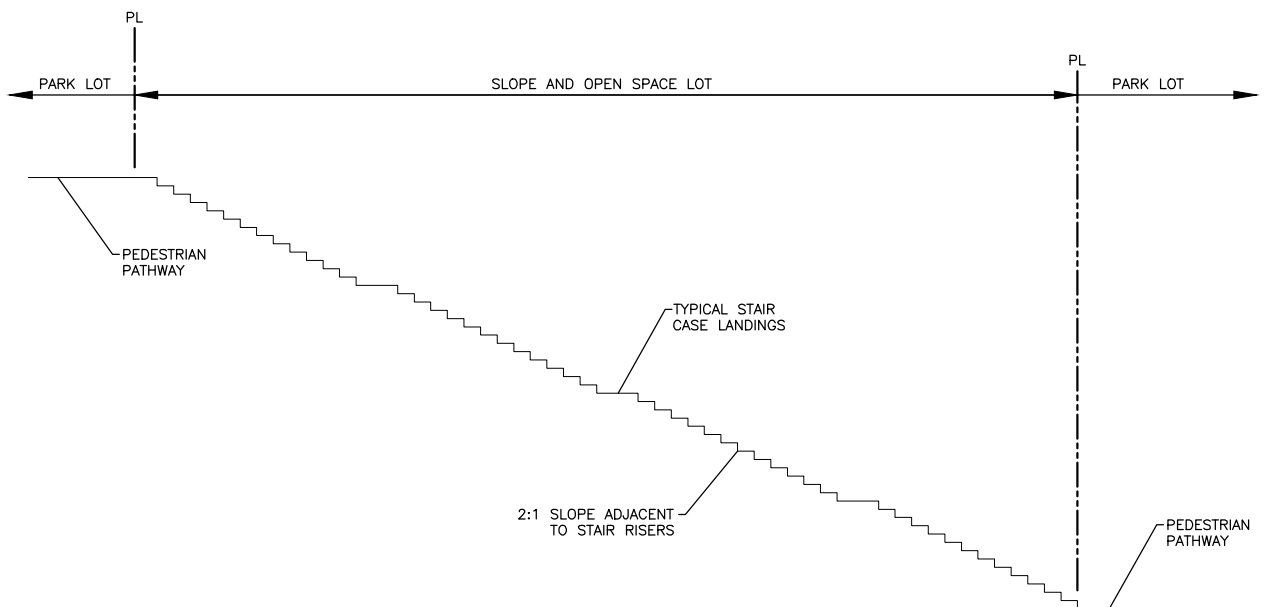
3.4.5 Public Services

Public services are considered and planned as part of the overall Specific Plan development concept. Public services include police protection, fire protection, schools, and libraries. Fire and police protection are provided by Los Angeles County Fire Department and Los Angeles County Sheriff's Department, respectively. School services are provided by Walnut Valley Unified School District. Library services are provided by Los Angeles County. All public services are detailed in the Project EIR.

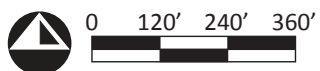
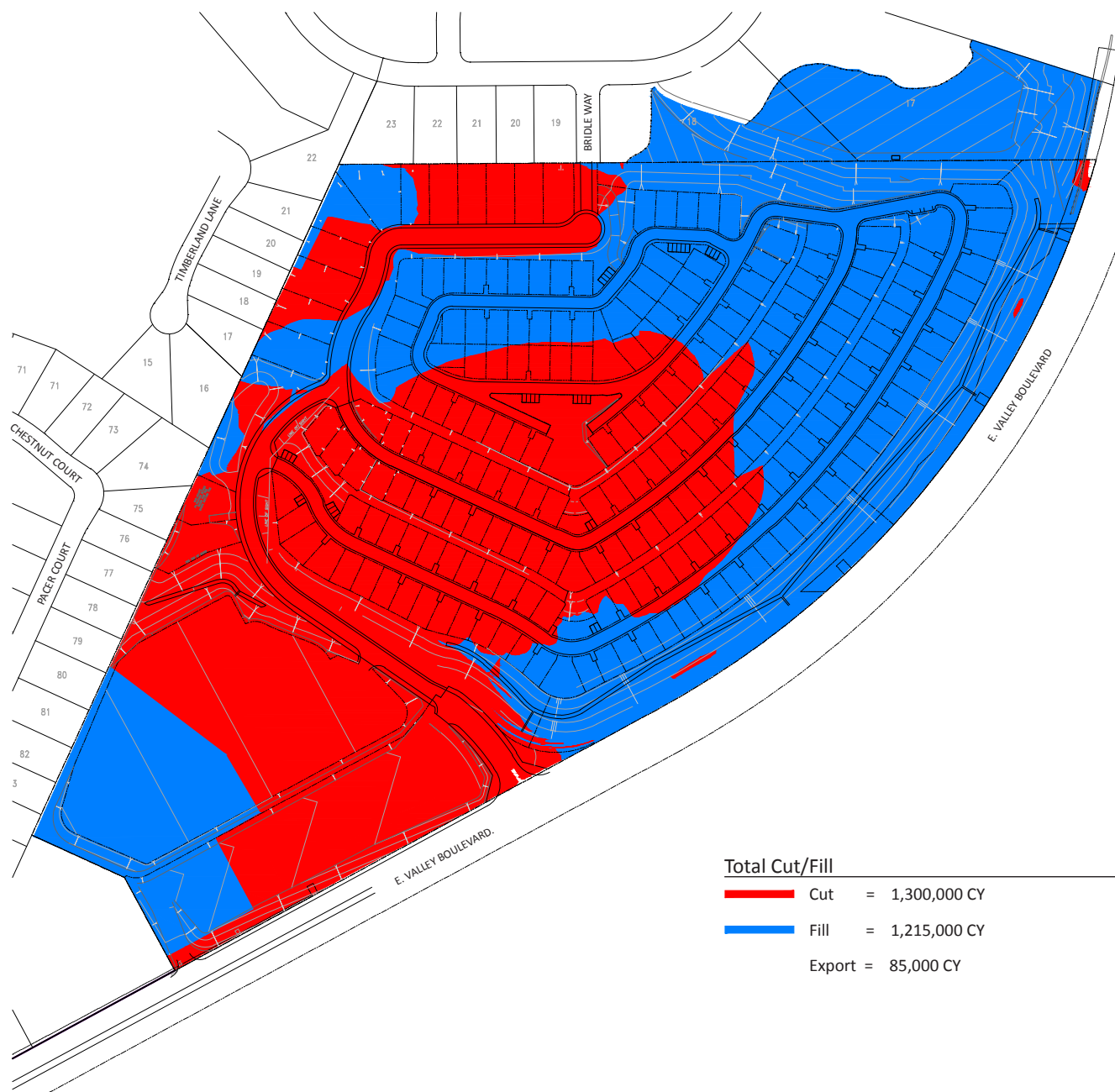
3.5 GRADING PLAN

The Terraces at Walnut Specific Plan area will be graded to allow for development on the Project site, while respecting the existing natural terrain. The existing hill that comprises a significant portion of the site will be altered to create developable terraces. Staircases in between these terraces will provide a connective pedestrian path between the Project's open spaces and the existing residential community to the north. These staircases will descend/ascend at roughly the same rate as the 2:1 slope adjacent to the staircase. The staircase will have a minimum width of 10 feet. Design guidelines for the staircase are discussed in *Chapter 4, Design Guidelines*.

The grading plan will result in approximately 1,300,000 cubic yards of cut and approximately 1,215,000 cubic yards of fill. Approximately 85,000 cubic yards of material will be exported from the site. Additional minor grading may be necessary to provide geotechnical stability to walls, roadways, and utilities. Refer to *Exhibit 3.8, Proposed Cut and Fill* for the location of the Project's conceptual grading earthwork.



Typical Staircase Pedestrian Connections in Between Terraces



Source: MBI

Exhibit 3.8, Proposed Cut and Fill

3.5.1 Grading Plan General Development Standards

- Grading plans for all future developments within the Specific Plan area shall comply with the current City Walnut standards except as modified by this Specific Plan and/or an approved geotechnical study for the Project.
- A preliminary geotechnical engineering report and soil engineering investigation shall be submitted with subdivision maps. The recommendations of the engineering geologist and soil engineer shall be incorporated into the grading plan design.
- Grading techniques shall meet applicable City of Walnut codes and be consistent with City of Walnut General Plan.

3.6 PROJECT WALLS AND FENCES

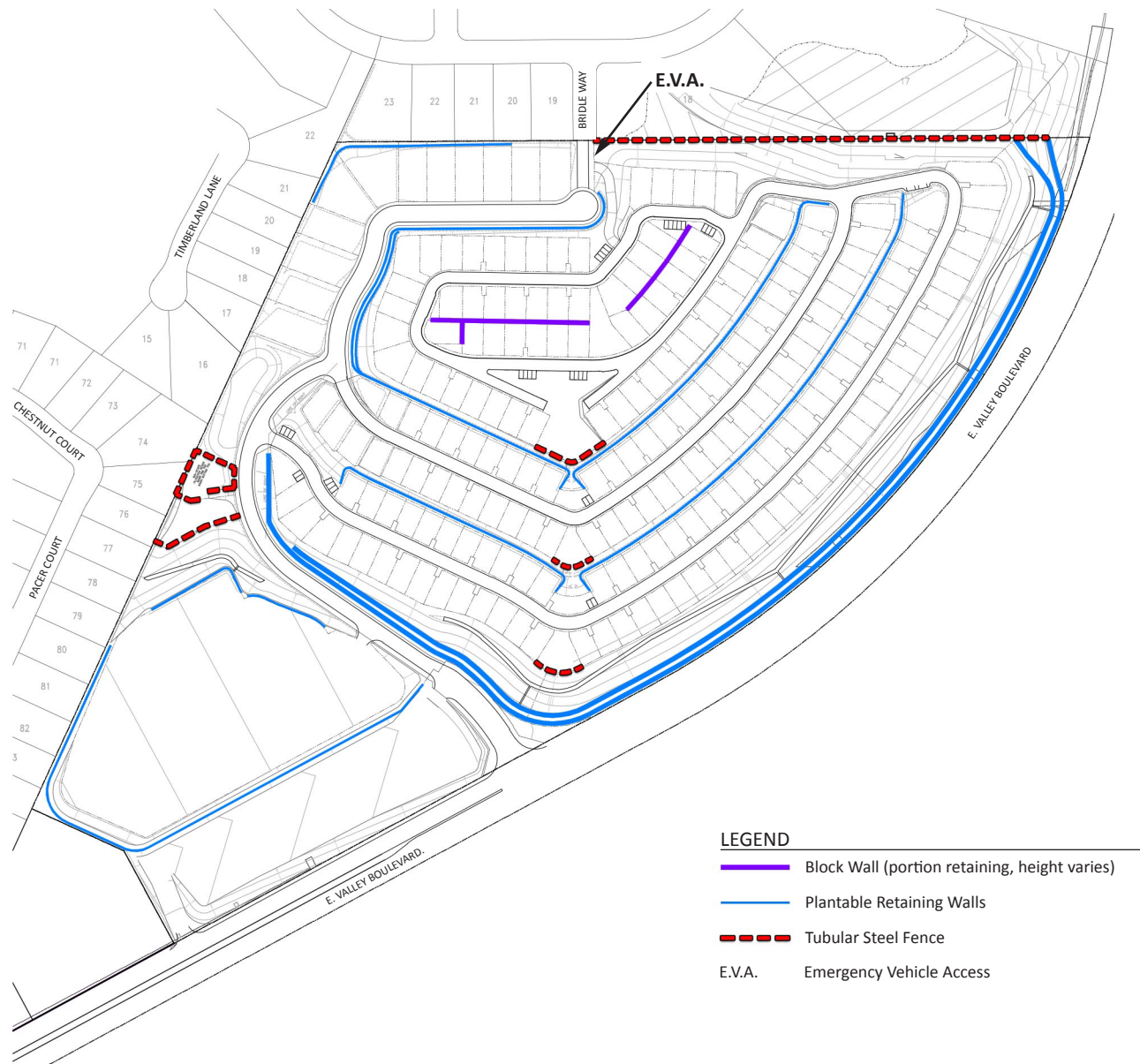
In order to support and mimic the steep slopes of the existing hill, a two-tiered retaining wall (mechanically-stabilized earth [MSE] wall, each not to exceed 25 feet, 6 inches in height) will be constructed along the Valley Boulevard frontage, from the northeasterly Project boundary to Street A. These retaining walls will continue along Street A/B, winding up the hill adjacent to the street. The proposed wall system is unique in that it can accommodate planting on the face of the wall. Planting on the wall allows large expanses of wall to become hidden and integrated into the topography and achieve the Project landscape theme that has been characterized as “hilltop village.” The interlocking block face of the wall creates a lip that prevents erosion by holding soil. The back of the block is open to the backfill soils to allow for root penetration into the embankment soils behind the



Example, MSE Retaining Wall

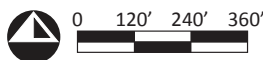
block face. Soil content, chemistry, water/irrigation availability, temperature, and aspect (directional orientation) will determine the types of plants to be used. The most common plants include Rosemary, Bougainvillea, Creeping Fig, and Ivy Geranium. To maintain these walls, only a narrow landscape/open area that is approximately five (5) feet in width at the toe of the slope is necessary.

To access the walls, maintenance employees will either walk along the bottom of the wall and use ladders or walk along the top of the wall, then reel down the face of the wall to trim plants, remove dead plants, or perform any other necessary maintenance needs. The five-foot wide area would be used to gather trimmings, dead plants, and other items which could then be easily removed. The landscape on the walls will also be irrigated at all times. The location of these MSE walls and some common walls and fences are depicted on *Exhibit 3.9, Conceptual Wall and Fence Plan*. Additional walls not depicted on this exhibit may be constructed, provided they comply with the applicable provisions of this Specific Plan and/or the WMC. All wall and fencing materials depicted on this exhibit shall be reviewed and approved during the Tentative Tract Map and/or Architectural Review consideration by the Planning Commission and/or City Council.



E.V.A. = Emergency Vehicle Access

* Final wall/fencing locations and materials will be reviewed and approved by the Planning Commission and/or City Council during the Tentative Tract Map/Architectural Review process.



Source: MBI

Exhibit 3.9, Conceptual Wall and Fence Plan

DESIGN GUIDELINES

4.1 INTRODUCTION

This Chapter contains the site planning, architectural and landscaping design guidelines for The Terraces at Walnut Specific Plan. These guidelines will ensure that the Specific Plan area develops as a cohesive and high-quality community, and that the design objectives and framework principles established at the beginning of the design process are incorporated into the built environment (refer to *Section 2.4, Project Vision and Objectives*). This Chapter will provide future planners, architects, landscape architects, builders, and engineers general direction by which they can see the plan through to its fruition, while still allowing for enough flexibility for designers to incorporate their creative expertise into the proposed built environment.

These design guidelines are intended to be flexible in general. The strongest level of design intent is specified by the use of terms such as “must,” “shall” and “prohibited.” Preferred design items are designated as a condition which is “encouraged,” “preferred,” “recommended,” “appropriate,” or as one that “should” be included. Preferred design items are considered “voluntary” and need not be included in a proposed development. Items that include one or more criteria or elements that are qualified with “discouraged,” “inappropriate” or “should not” may be acceptable, if the approval authority (i.e. Assistant City Manager, Planning Commission, and/or City Council) finds the proposed design is generally consistent with the overall design, intent, and goals of



Example, The Terraces at Walnut Community

this Specific Plan. Furthermore, the approval authority may find a development consistent with the purpose and intent of this Chapter without the proposal being consistent with each and every guideline.

Images in this Chapter are intended to depict one form of compliance with the implementation of these design guidelines. Images labeled “Example” or “Typical” may be used as reference for the design intent specified in the caption.

4.2 COMMUNITY DESIGN

4.2.1 Authentic Sense of Place

Through thoughtful integration of site planning, place-making elements, thematic landscaping and authentic architecture, a unique sense of place and distinctive character will be created for The Terraces at Walnut which is reminiscent of a Mediterranean hilltop village envisioned for the community.

4.2.2 Hilltop Village Concept

The existing topography of the site provides a unique opportunity. Relatively steep slopes rise above existing development, offering views of the general surrounding area and of scenic hills in the distance. The Project will provide a range of housing types, retail and recreational opportunities interconnected together by a series of trails and pedestrian walkways. The trails will connect the existing neighborhood to the proposed Residential Districts and will also connect



Example, Authentic Use of Materials

to the jewels of the Project – the pocket parks with views. Coupled with the terrain, landscaping, and architecture, the design will reinforce a functioning and lively community that evokes the aesthetic of a hilltop Mediterranean village.

4.2.3 Terraced Development

The authenticity of the hilltop village concept will primarily be made possible due to the existing topography of the site. In order to preserve this terrain to the maximum extent possible, a terracing design concept was implemented, minimizing grade change and ridgeline alteration.

This terracing concept serves to differentiate the Commercial and Residential Districts. Retail development is located at the lowest terrace where it will be visually and physically accessible to those travelling along Valley Boulevard. The residential units located on the upper terraces could be architecturally distinct from one another, yet still be being compatible to the overall Mediterranean architectural character. Terraces containing the Small-Lot District will be oriented to capture views of the nearby hills and mountains in the distance.



Example, Pocket Park With Views

4.2.4 Designing the City's Eastern Gateway

The location and the dramatic topography of the Project site afford a unique opportunity to create a gateway into the City of Walnut. The site is located near the eastern City limits along Valley Boulevard, a busy arterial thoroughfare. Site specific signage and monummentation will be incorporated at major entries to the Project, which will be of appropriate scale and design to provide a sense of entry that complements the character of the Project. Attractive landscaping along Valley Boulevard will further enhance the arrival experience.

A comprehensive sign program for the Project area will be submitted for review and approval by the Planning Commission during the Architectural Review process.

4.2.5 Interface with Adjacent Single-Family Homes

Surrounding the Project site on the northern and western edge property lines are single-family homes. The Specific Plan requires greater building setbacks for the Townhome and Single-Family Districts abutting the existing single-family lots, providing a sizable separation from existing development. This separation will ensure that existing single-family homes are adequately buffered from proposed development. Furthermore, the proposed dwellings within the Single-Family District will be comparable in size and density to the surrounding, existing neighborhoods. Bridle Way, identified as a local public City street providing connection to the rear of the Project, will be closed to vehicular traffic (except for emergency access) ensuring that no vehicular trips generated by the Terraces at Walnut community go through the existing neighborhoods.



Example, Single-Family District

4.3 COMMERCIAL DISTRICT ARCHITECTURAL DESIGN GUIDELINES

The horizontal mixed-use nature of the Commercial District will provide a range of retail, office, commercial and neighborhood-serving uses. The physical and visual integration of these uses will activate the character of the Project. Below are design guidelines applicable to the development within the Commercial District. All site development within the Commercial District, including future additions and exterior modifications, shall be consistent with these guidelines.

4.3.1 Commercial Streetscene

The streetscape, building placement, massing and façade details will be essential to creating an aesthetically interesting place for pedestrian and business activity. These same features greatly affect how light strikes and frames the buildings, having a large impact on how the space and the pedestrian environment is perceived. The following elements and considerations can be used to facilitate the streetscape appearance by enhancing the dynamic interrelationships of light, depth, and place.

Buildings should be sited to create a pedestrian-friendly environment with an emphasis on creating a sense of place. Buildings set back a significant distance from pedestrian walkways are discouraged.

The pedestrian environment should be activated by landscape and architecturally vibrant storefronts. Some of the following features should be incorporated on elevations facing a pedestrian-oriented area may include, but are not limited to, the following:

- Planters.
- Accent or festive lighting.
- Focal objects (murals, sculptures, topiaries).
- Outdoor dining spaces and seating areas.



Example, Commercial District



Example, Pedestrian-Friendly Environment



Example, Outdoor Dining Spaces



Example, Artistic Façade



Example, Projection and Overhang



Example, Color Variation

- Awnings and/or canopies.
- Decorative lighting features.
- Decorative flatwork that incorporates materials and colors consistent with the architectural theme.

4.3.2 Architectural Detailing

Commercial buildings should have articulation along Valley Boulevard and major pedestrian thoroughfares to generate pedestrian scaling and visual interest along the streetscape.

- When buildings of a single form and height are used, these buildings should be articulated with layered wall planes, banding, architectural details and/or materials.
- Large expanses of reflective, opaque, or highly-tinted glass are discouraged.
- Artwork and storefront windows are encouraged for retail buildings to help create a dynamic and interesting façade.
- Projections, overhangs, recesses, banding, awnings, accent materials, and architectural details should be used to provide shadow, articulation, and scale to building elevations.
- On smaller “pad” buildings, all building sides should be treated architecturally.

At least two (2) to three (3) of the following techniques should be used in the design of tenant façades to enhance building architecture and reduce overall mass:

- Color change/color variation.
- Change in texture and/or building material.
- Vertical/horizontal wall plane projections/recesses.
- Variation of roofline (height and/or form).

- Engaged pilasters.
- Architectural elements significantly different from main building in mass or height.
- Quoins at building corners.
- Other architectural projections.

Exterior materials, windows and details should be consistent with the scale, proportion, and architectural style of the building to which they are attached.

4.3.3 Building Entries

Entryway design elements and variations shall give orientation and aesthetically pleasing character to the building. Each tenant storefront shall have a clearly defined, highly visible pedestrian entrance and include at least one (1) or more of the following:

- Canopies.
- Overhangs.
- Recesses/projections.
- Peaked roof forms.
- Arches.
- Outdoor patios.
- Architectural details such as tile work and cornices which are integrated into the building structure and design.
- Integral landscape areas and/or places for sitting.

4.3.4 Building Colors and Materials

Color and finishes on all elevations of building exteriors shall be coordinated to provide a continuity of design. A selection of complementary colors and materials shall be used to produce diversity and provide visual and architectural interest.



Example, Canopy and Outdoor Patio at Entry



Example, Muted Natural and Pastel Colors and Natural Stone Material



Example, Service Area Screening



Example, On-Site Utility Screening

Such materials and colors include, but are not limited to:

- Muted natural colors.
- Earth tone colors.
- Natural stains.
- Natural stone material.

Undesirable colors on building exteriors shall include, but are not limited to:

- Fluorescent colors.
- Neon colors.
- Pastel colors.
- Bright colors as the primary wall color.
- Primary colors (red, yellow, and blue) as the primary wall color.

The chosen building colors should match the proposed architectural style of the building. Corporate colors or branding shall not dictate exterior building color and designs.

4.3.5 Mechanical and Functional Equipment

Screening of mechanical equipment, waste enclosures, service areas and other service-oriented building necessities shall be integrated into the site and building design. The architectural style and materials of the principal building shall be reflected in the design of the screening, enclosures and/or service buildings. Other guidelines include:

- Large waste containers shall not be located between a building and Valley Boulevard.
- All roof-mounted equipment (excluding roof-mounted solar panels) shall be screened by parapets, screen walls, fencing, equipment wells, structural enclosures, or similar features from ground-level views from Valley Boulevard.

- On-site utilities should be installed underground where feasible and as permitted by the utility companies. Above-ground utilities shall be screened or incorporated and blend into Project landscape whenever possible.

4.4 SINGLE-FAMILY AND SMALL-LOT DISTRICT ARCHITECTURAL DESIGN GUIDELINES

To implement the Mixed-Use/Housing Opportunity Overlay No. 3 (MU/HOO-3) overlay, the Project includes large-lot single-family homes in the northwestern portion of the Project. The density then transitions to small-lot single-family homes closer to Valley Boulevard. All site development within the Single-Family and Small-Lot Districts, including future additions and exterior modifications, shall be consistent with these guidelines.

4.4.1 Neighborhood Planning

Single-family homes will reflect the desired Mediterranean “hilltop village” aesthetic and contribute to the overall character of The Terraces at Walnut community. Important neighborhood development elements include:

- Functional vehicular access and circulation within the District.
- Utilizing high-quality design and site orientation to integrate and buffer the surrounding neighborhoods.
- Reinforcement of neighborhood identity through compatible architectural design and landscape elements consistent with the theme of the community.



Example, Single-Family District



Example, Acceptable Site Orientation



Example, Intimate, Pedestrian Scale



Example, Plotting on Gentle Slope



Example, Small-Lot Single Family



Example, Garage Doors Set Back from Street

A. Pedestrian Scale

A strong balance will be established between the built form and landscape. The goal is to create an intimate and secure neighborhood that encourages street activity, promotes walking, and allows convenient access to trails, community pocket parks, and the Commercial District.

B. Plotting Design

The Single-Family District is composed of terraced parcels that follow the gentle slope up the western and northern edges of the Project site. These parcels are designed to be comparable in size to the surrounding, existing neighborhoods. An emergency vehicle and pedestrian access point will connect existing development to the north to the Single-Family District.

Important neighborhood development elements include the following.

- Integrate a pedestrian-friendly circulation system and provide access to shared outdoor recreation amenities.
- Encourage promoting outdoor socialization by placing private open spaces close to the sidewalk, while still providing privacy for the interior of the unit.
- Encourage the plotting of homes on curvilinear streets to avoid a monotonous streetscene.
- Vary setbacks along the street.

C. Garages

Below are the guidelines applicable to garages and driveways for single-family homes.

- To reduce the visual dominance of the garage doors, garages within the Single-Family District facing the public street shall be set back a minimum of 25 feet from the front property line. Garages within the Small-Lot District facing the public street shall be set back a minimum of 20 feet from the front property line.
- Garage doors shall be consistent with the architectural style of the house.
- All garage doors shall be roll-up garage doors.
- Common parking spaces located between dwelling units are encouraged to be of a different paving material or color from individual driveways.

4.4.2 Architectural Design Guidelines

A. Building Form and Massing

The front elevation of the house is an important element in creating a quality neighborhood. Special attention will be placed on this elevation and how it interacts with the public realm. Placing an emphasis on living spaces facing the street with variation in building massing creates a strong pedestrian-oriented street scene.

- Building forms should be consistent with the architectural style and incorporated as a functional element or detail enhancement.
- Massing elements offsetting a minimum of two (2) feet are encouraged to avoid elevations that appear to have “pasted on” elements.



Example, Set Back Garages on Streetscene



Example, Garage Doors Consistent with Architecture Style



Example, Style-Appropriate Massing



Example, Front Elevation Form and Massing



Example, Covered Porch at Front Entry



Example, Varied Roof Massing

- Porches and loggias are encouraged to be five (5) feet minimum in depth and have an eight (8)-foot plate height.
- Massing shall be consistent with the architectural style of the house. Streetscenes and/or elevations with several, inconsistent massing breaks should be avoided.
- All homes within the Single-Family District shall include four-sided architecture. In the Small-Lot District, the front, rear and publicly-visible side elevations shall have the same level of detail as the front elevation.
- Where appropriate with the architectural style of the house, “recessed” two-story elements are encouraged to create human scale buildings.
- Front elevations are encouraged to emphasize the placement of living areas, porches, covered terraces, entries, and windows to enhance the streetscene.

B. Roof Design

Roof form is an important design element as it relates to the character of a community, observed from both the external edges and inside the neighborhood. Varying roof forms along the street creates a positive visual edge.

- Roofs shall be composed of a series of simple roof forms.
- Long linear, unbroken lines are discouraged.
- Roofs shall vary in massing along all streetscenes.
- Roof forms and pitches shall be compatible with the architectural style of the home.

C. Architectural Detailing

Special attention is encouraged for the treatment of publicly visible entries (doors, porches, courtyards) using enhanced trim and details to emphasize that these are primary focal points. Articulated and unique window treatments are also encouraged to further enhance wall surfaces that are visible to the general public.

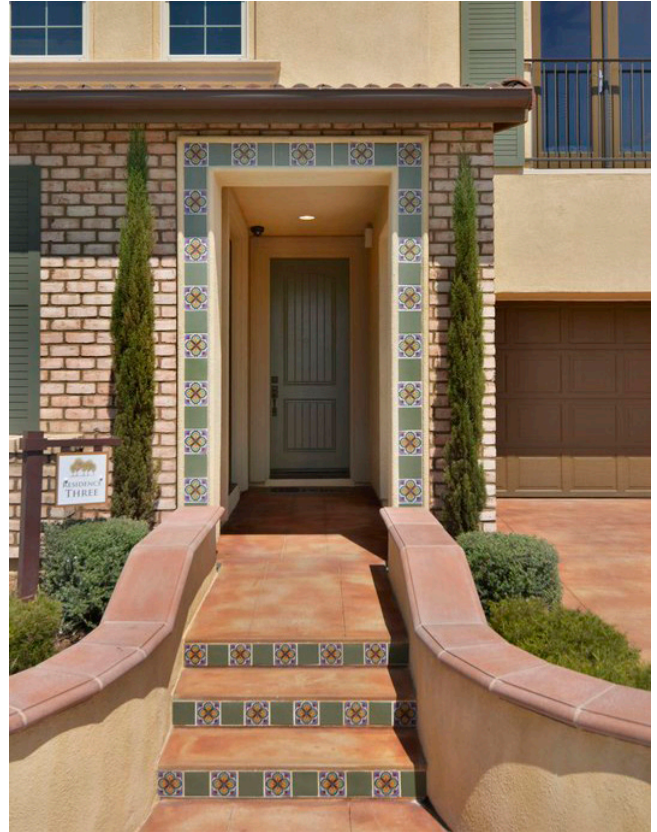
(1) Windows

At least one (1) feature window treatment should be present on all front and street-exposed building elevations. Feature windows are trimmed or detailed in a manner that creates visual interest and is consistent with the architectural style of the building. Feature window treatments may include:

- A window of unique size or shape.
- Bay window.
- A substantial surround.
- Decorative iron window grilles (such as wrought iron grilles).
- Decorative head or sill treatments.
- Grouped windows with complete trim surrounds or unifying head and/or sill trim.
- A Juliet balcony with style-appropriate materials.
- Recessed windows, where appropriate.
- Other decorative window features may be approved by City staff.

(2) Building Colors

Color and finishes on all elevations of building exteriors shall be coordinated to provide a continuity of design. A selection of complementary colors and materials shall be used to produce diversity and provide visual and architectural interest.



Example, Enhanced Details at Entry



Example, Decorative Window Feature



Example, Style-Appropriate Windows



Example, Earth Tone Colors



Example, Material Changes at Inside Corner

Such colors include, but are not limited to:

- Muted natural colors.
- Earth tone colors.
- Natural stains.

Undesirable colors on building exteriors include, but are not limited to:

- Fluorescent colors.
- Neon colors.
- Pastel colors.
- Bright colors as the primary wall color.
- Primary colors (red, yellow, and blue) as the primary wall color.

The chosen building colors should be appropriate to the architectural style of the building. Architectural styles for The Terraces at Walnut Project are identified in *Section 4.6, Architectural Styles*.

(3) Materials and Details

- Building details such as doors and windows should be in proportion to the overall building massing. These elements shall be recessed to provide architectural interest.
- Application and type of materials shall be compatible with the architectural style of the building.
- Stone materials shall be natural or manufactured (e.g. flagstone) and not made of vinyl or foam.
- Material changes shall occur at inside corners (or at a logical location if there is no inside corner).
- Bars and security grills on windows and doors are prohibited.
- Undesirable materials include plywood siding (including T-11) and plywood garage doors.

D. Functional Elements

- Exterior projecting structures, including but not limited to, porches, patio covers and trellises, should reflect the character, color, and materials of the building to which they are related.
- Columns and posts should project a substantial and durable image.
- Exposed gutters and downspouts should be colored to complement or match the roof, fascia material or surface to which they are attached.
- Where chimneys are a prominent architectural feature, design and placement should be done sensitively to not detract from the general design or appearance of the building. Chimneys should include architectural elements consistent with the chosen theme.



Example, Exposed Gutters and Downspout Complementing Roof Color

4.5 TOWNHOME DISTRICT ARCHITECTURAL DESIGN GUIDELINES

4.5.1 Neighborhood Planning

The Townhome District will consist of multi-family dwelling units, which will be up to two (2) stories tall. Townhomes are in-line, attached single-family homes where the entries face a drive or a pedestrian paseo. Vehicular entrances may be located at the front or rear elevation. All site development within the Townhome District, including future additions and exterior modifications, shall be consistent with these guidelines.



Example, Townhome District

A. Pedestrian Scale

A strong balance will be established between the built form and the landscaping in the Townhome District. The goal is to create an intimate and secure neighborhood that encourages street activity, promotes walking and allows convenient access to trails, community pocket parks and the Commercial District.



Example, Pedestrian Scale



Example, Balance Between Built Form and Landscape



Example, Design With Strong Pedestrian Connection



Example, Promoting Outdoor Socialization

B. Plotting Design

The Specific Plan promotes a healthy and socially connected lifestyle for its residents through the integration of walkways, appropriately scaled and sited architecture of compatible styles, and a varied collection of landscape open spaces. Buildings in the Townhome District will reflect the desired Mediterranean hilltop village aesthetic and contribute to the overall character of the Terraces at Walnut community. Important neighborhood development elements include the following.

- Provide functional vehicular access and circulation within the community.
- Integrate a pedestrian-friendly circulation system.
- Provide access to shared outdoor recreation amenities.
- Reinforce neighborhood identity through compatible architectural design.
- Encourage promoting outdoor socialization by placing private open spaces close to the sidewalk, while still providing privacy for the interior of the unit.

C. Garages

Below are the guidelines applicable to garages within the Townhome District.

- Garage doors shall be consistent with the architectural style of the house.
- All garage doors shall be roll-up garage doors.

4.5.2 Architectural Design Guidelines

A. Building Form and Massing

The following elements and considerations should be used to vary the massing for multi-family dwellings.

- Front elevations and elevations facing a street, drive or park are encouraged to have offset masses or wall planes (horizontally or vertically) to help break up the overall mass of a building.
- Building forms shall be consistent with the architectural style of the building and incorporated as a functional element or detail enhancement.
- Building details such as doors and windows should be in proportion to the overall building massing.
- Massing elements projecting a minimum of two (2) feet are encouraged to avoid elevations that appear to have “pasted on” elements.
- Porches and loggias are encouraged to be five (5) feet minimum in depth and have an eight (8)-foot plate height.
- Massing shall be consistent with the architectural style of the house. Streetscenes and/or elevations with several, inconsistent massing breaks should be avoided.



Example, Garage Doors Consistent with Architectural Style



Example, Offset Massing



Example, Projections (Shed Roofs)



Example, Projection Facing Outdoor Space



Example, Balconies Breaking Wall Plane



Example, Variety of Roof Forms

Architectural Projections

Projections can be used to emphasize design features such as entries, major windows or outdoor spaces.

Projections are encouraged on all multi-family dwellings. Projections include, but are not limited to:

- Bermuda shutters.
- Awnings (cloth, metal, wood).
- Balconies.
- Roof overhangs.
- Projecting upper-story elements.
- Tower elements.
- Window/door surrounds.
- Bay windows or dormers.
- Trellis elements.
- Shed roof elements.
- Porch elements.

Balconies

Balconies break up large wall planes, offset floors and create visual interest to the façade. Balconies may be covered or open, recessed into or projecting from the building mass. Balconies should also be an integral element of, and in scale with, the building mass.

B. Roof Design

Roof form is an important design element as it relates to the character of a community, observed from both the external edges and inside the neighborhood. Variety of roof forms along the street creates a positive visual edge.

- Roofs shall be composed of a series of simple roof forms.
- Roofs shall vary in massing along streetscene.
- Roof forms and pitches shall be compatible with the architectural style of the building.

C. Architectural Detailing

Special attention is encouraged for the treatment of publicly visible entries (doors, vestibules, porches, courtyards) using enhanced trim and details to emphasize that these are primary focal points. Articulated and unique window treatments are also encouraged to further enhance wall surfaces that are visible from the general public.

(1) Windows

At least two (2) feature window treatments per building should be present on all front elevations. Feature windows are trimmed or detailed in a manner that creates visual interest and is consistent with the architectural style of the building. Feature window treatments may include:

- A window of unique size or shape.
- Bay window.
- A substantial surround or recess.
- Decorative iron window grilles (such as wrought iron grilles).
- Decorative head and/or sill treatments.
- Grouped windows with complete trim surrounds or unifying head and/or sill trim.
- A Juliet balcony with style-appropriate materials.

(2) Building Colors

Exterior colors and finishes on all elevations of a building shall be coordinated to provide a continuity of design. A selection of complementary colors and materials shall be used to produce diversity and provide visual and architectural interest.



Example, Compatible Roof Forms



Example, Articulated Elevation Facing Open Space



Example, Grouped Windows with Unifying Header and Sill



Example, Earth Tone Colors



Example, Material Changes at Inside Corner

Such colors include, but are not limited to:

- Muted natural colors.
- Earth tone colors.
- Pastel colors.
- Natural stains.

Undesirable colors on building exteriors include, but are not limited to:

- Fluorescent colors.
- Neon colors.
- Bright colors as the primary wall color.
- Primary colors (red, yellow and blue) as the primary wall color.

(3) Materials and Details

- Application and type of materials should be compatible with the architectural style of the building.
- Material changes shall occur at inside corners (or at a logical location if there is no inside corner).
- Stone materials shall be natural or manufactured (e.g. flagstone) and not made of vinyl or foam.
- Bars and security grills on windows and doors are prohibited.
- Undesirable materials include plywood siding (including T-11) and plywood garage doors.

D. Functional Elements

- Exterior projecting structures, including but not limited to, porches, patio covers and trellises, shall reflect the character, color and materials of the building to which they are related to.

- Stairs should be compatible in type and material to the deck and landing.
- Columns and posts should project a substantial and durable image.
- Exposed gutters and downspouts should be colored to complement or match the roof, fascia material or surface to which they are attached.
- Where chimneys are a prominent architectural feature, design and placement should be done sensitively to not detract from the general design or appearance of the building.



Example, Substantial and Durable Columns

4.6 ARCHITECTURAL STYLES

The architectural styles for The Terraces at Walnut are influenced by the vision of the Project and have been carefully selected to evoke a feeling of a Mediterranean hilltop village. These styles will provide the Residential Districts with a sense of personality and familiarity.

The design characteristics listed in this Section provide a foundation in creating appealing residential streetscenes, character and scale. All future residential developments shall choose at least one (1) of the residential styles. The Planning Commission may approve a different architectural style or criteria that differs from these design guidelines as part of the Site Plan and Architectural Review process.

Development within the Commercial District does not need to comply with the architectural guidelines in this Section. However, the design of the Community District shall be compatible with the Mediterranean hilltop village theme.



Example, Residential Architecture



Example, Commercial Architecture



4.6.1 Andalusian Architectural Style

Due to its location at the southern tip of Spain, the architecture of the Andalusian region blends Spanish and Moorish architecture. The Andalusian architectural style features details such as light stucco walls and recessed windows, brick, and stone accents, pointed arches and decorative stucco screens. Elements of the Andalusian architectural style include:

- Simple one-, two-, or three-story massing.
- Main roof form should be a gable or hip roof with secondary gable, hip, or shed roofs. The eaves should include stucco details or corbel details. Roof pitch should not exceed 4:12.
- Roof material should be clay-colored barrel or 's'-shaped concrete roof tiles.
- A minimum of (1) window on the front elevation should be recessed and set within a full arch element.
- Body colors include lighter, warmer colors, including but not limited to creams and off-whites. Trim colors should be pre-cast or the same as the body. Accent colors should be bright.
- The front elevation should have wrought iron elements such as a decorative grille, awnings, or sculpted arches or walls.
- The exterior material should be stucco with optional Spanish tile accents and/or bricks on visible elevations.

4.6.2 Italianate Architectural Style

The Italianate architectural style includes interpretations of the formal palaces found throughout cities in Italy. Façades are generally symmetrical and may or may not include block accents on the front elevation. Elements of the Italianate architectural style include:

- Simple, box-like two- or three-story massing.
- Main roof form should be a hip roof with secondary hip or shed roofs. Roof pitch should not exceed 4:12.
- Roof material should be clay-colored 's'-shaped concrete roof tile.
- All publicly-visible windows should be tall and narrow, typically in groups of two (2) or three (3). Windows are encouraged to be recessed.
- Body colors include light to medium, earthy warm colors. Trim colors should be mid to dark brown, simulating stained wood or medium pre-cast colors. White/off-site would also be an acceptable trim color. Accents should be dark, saturated, warm, and cool colors.
- The primary hip roof should have decorative cornices underneath the eaves.
- The exterior material should be stucco with optional pre-cast concrete trim. The body may also incorporate stone material.





4.6.3 Mediterranean Architectural Style

The Mediterranean architectural style includes two- and three-story interpretations of single-family homes found along villages near the Mediterranean coast in Spain. Façades are generally asymmetrical and have one or more arched forms at the front elevation with predominant gable roof forms. Elements of the Mediterranean architectural style include:

- Simple two- or three-story massing.
- Roof forms should be a hip or gable roof with intersecting shed or gable roofs. Roof pitch should not exceed 4.5:12.
- Roof material should be clay-colored barrel or 's'-shaped concrete roof tiles.
- All publicly-visible windows should have a header, sill, and/or decorative grille.
- Body colors include lighter, warmer colors, including but not limited to creams and off-whites. Trim colors should be mid to dark brown, simulating stained wood. Accent colors for the entry door and shutters should be wood-tone or bright.
- The front elevation should have wrought iron elements such as a decorative grille or balcony railing.
- The exterior material should be stucco with optional Spanish tile accents on visible elevations.



4.6.4 Monterey Architectural Style

This architectural style originated from California during the mid-1800s, while under Mexican rule. It includes Spanish elements adapted for the local climate. The massing of this style is generally box-like with a simple front-to-back gable roof. Elements of the Monterey architectural style include:

- Simple, box-like two- or three-story massing.
- Main roof form should be a front-to-back gable roof of hip roof with secondary shed or gable roofs. Roof pitch should not exceed 4:12.
- Roof material should be a dark, earth-tone flat concrete tile meant to mimic wood shakes or 's'-shaped concrete roof tiles in clay color.
- All publicly-visible windows should be recessed, project, include a decorative iron element, include a header and/or sill, or include shutters.
- Body colors include light to medium, warm colors. Trim colors should be mid to dark brown, simulating stained wood, and/or white. Accents should be muted shades of blue, green, rust and burgundy.
- The front elevation should have a balcony with wood or wood-like railings.
- The exterior material should be stucco, with optional earth-toned bricks accents meant to simulate small abode bricks on the front elevation underneath the balcony.





4.6.5 Provençal Architectural Style

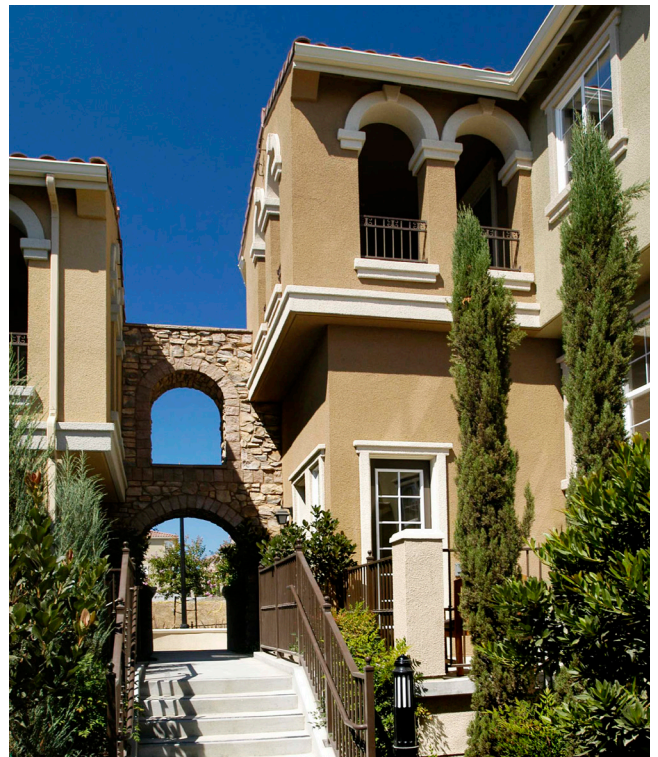
The Italianate architectural style includes interpretations of the more formal residences found throughout the Provence region in France. Façades are generally symmetrical and may or may not include stone or brick accents on the front elevation. Elements of the Provençal architectural style include:

- Simple, box-like two- or three-story massing.
- Main roof form should be a hip or gable roof with secondary hip or gable roofs. Roof pitch should not exceed 4:12.
- Roof material should be clay-colored barrel or 's'-shaped concrete roof tile.
- All publicly-visible windows should be tall and narrow. Windows are encouraged to be recessed.
- Body colors include light to medium, earthy warm colors. Trim colors should be mid to dark brown, simulating stained wood or medium pre-cast colors. White/off-site would also be an acceptable trim color. Accents should be dark, saturated, warm, and cool colors.
- The primary roof form should have corbel details underneath the eaves.
- The exterior material should be stucco. An accent stone or brick material may be included at the base of the building.

4.6.6 Tuscan Architectural Style

The Tuscan architectural style includes interpretations of rustic estates found throughout the Tuscany region of Italy. Façades are generally asymmetrical and include stone accents at the front elevation. Elements of the Tuscan architectural style include:

- Simple two- or three-story massing.
- Main roof forms should be a hip roof with secondary shed or gable roofs. Roof pitch should not exceed 5:12.
- Roof material should be barrel or 's'-shaped concrete roof tiles. The color of the roof tile may range from clay to brown.
- All publicly-visible windows should be recessed, include a header and a sill, or include shutters.
- Body colors include dark, earthy warm colors. Trim colors should be mid to dark brown, and/or white. Accents should be dark, saturated, warm, and cool colors.
- The front elevation should have wrought iron elements such as balcony railings and light fixtures.
- The exterior material should be stucco with stone veneer accents on elevations visible to the public.



4.7 LANDSCAPE DESIGN GUIDELINES

The landscaping of the public spaces, including the Project entries, parkways, parks, trails, and open spaces is a major component of the overall community design for The Terraces at Walnut. Complementary to the unifying architectural themes, these landscapes will form the heart of the community. They provide an important aesthetic element, create and enhance community gathering places, encourage recreational opportunities, promote the use of alternative transportation such as walking and bicycling, and minimize and mitigate impacts to the environment. The intent of The Terraces at Walnut landscape program is to incorporate natural and drought tolerant vegetation to enhance the community design concept of a Mediterranean “hilltop village.”

The Terraces at Walnut Specific Plan landscape design guidelines expand upon and enhance design requirements found in *Chapter 5, Development Standards* and applicable City zoning, building and water conservation regulations. Landscape within the Specific Plan area will be designed in substantial conformance with the Specific Plan.

The overall community landscape comprises nine (9) distinct landscape zones to create a landscape framework, as shown in *Exhibit 4.1, Conceptual Landscape Plan*. Landscape zones are indicated below and described further within this Section.

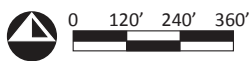
- Thematic Landscapes - Project Entries, Entry Road and Parks and Recreation Areas
- East Valley Boulevard Parkway Landscape
- Single-Family Residential Lots
- Small Single-Family Lots
- Townhomes
- Commercial Center
- Project Edge and Landscape Buffer
- Slope Landscaping and Erosion Control
- Storm Water Basin

Exhibit 4.2, Conceptual Landscape Illustrative, is a rendered view of the overall Specific Plan area and proposed landscaping and vegetation. This exhibit represents one possible scenario as to how the site may be developed. The final landscape plan may differ from this exhibit; however, it should be generally consistent with the concept represented in this exhibit.



E.V.A. = Emergency Vehicle Access

Note: The conceptual landscape shall be reviewed and approved by the City of Walnut. There are multiple design alternatives that will comply with this Specific Plan.



LEGEND

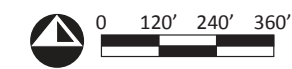
- Commercial Center
- Thematic Landscape Palette
(Project Entries, Entry Road, Recreation Areas)
- Bioretention Device
- Townhomes
**includes one recreation area*
- Small Single Family Lots
- East Valley Boulevard Parkway Landscaping
- Erosion Control Landscaping
- Project Edges and Landscape Buffer
- Single Family Residential Lots
- Community Entry and Entry Monument
- Commercial Entry and Entry Monument
- Plantable Retaining Areas
- Pedestrian Route

Source: MBI

Exhibit 4.1, Conceptual Landscape Plan



Note: Exhibit represents one possible development scenario and the applied landscape concept. There are multiple design alternatives that will comply with this Specific Plan.



Source: MBI

Exhibit 4.2, Conceptual Landscape Illustrative

4.7.1 General Landscape Guidelines

The Project's landscape places will create the heart of the community and establish an active community destination. It is essential that these public places be attractive, complement the architectural styles envisioned for the Project, provide comfort from the valley environment, and incorporate elements of sustainability to the greatest extent feasible.

The following guiding principles set the general direction for design of The Terraces at Walnut landscape places:

- Implement a landscape concept that is low-water use, well adapted to the environment of the site, and is enhanced with various materials and plantings to incorporate year-round-color, depth, and visual interest.
- Incorporate the latest design principles of environmental sensitivity, conservation and sustainability into the landscape planning and design to the greatest extent feasible.
- Maximize and encourage vibrant streetscapes with an emphasis on the pedestrian experience by providing shade, engaging amenities, and efficient connectivity.
- Enhance the public domain by providing a structured, pedestrian-friendly streetscape, sidewalks, parks, and public gathering spaces that facilitate walking to local retail and entertainment uses.
- Create a destination for a safe public gathering place for daytime and nighttime activity.
- Provide opportunities to collect and treat urban runoff.
- Utilize turf grass only in park areas and other important public gathering places.
- Final landscape concept plans and construction plans for community entry treatments, streetscapes, parks, trails and open spaces, and edge/buffer treatments shall be prepared by a licensed landscape architect and reviewed and approved by the City.

4.7.1.1 Water Conservation

- Streetscapes will utilize the climate-adapted and native plant materials to minimize irrigation needs. Landscape concepts will utilize permeable materials such as decomposed granite and rocks/cobble to reduce irrigation demands.
- All planting areas should be irrigated with a state-of-the-art, high-efficiency automatic irrigation system.
- Parks, parkways, HOA landscaped areas and other common areas should utilize reclaimed water to reduce demands on domestic water, wherever possible.
- Irrigation systems should be zoned for exposure (south and west exposures together), topography and varying water requirements of plant material.

4.7.1.2 Slopes

Slopes are a highly visible element in the community and a major landscape feature of the overall landscape design. Slopes shall be landscaped with a composition of trees, shrubs and groundcovers that control erosion, do not obstruct views, and enhance the aesthetics of the site.

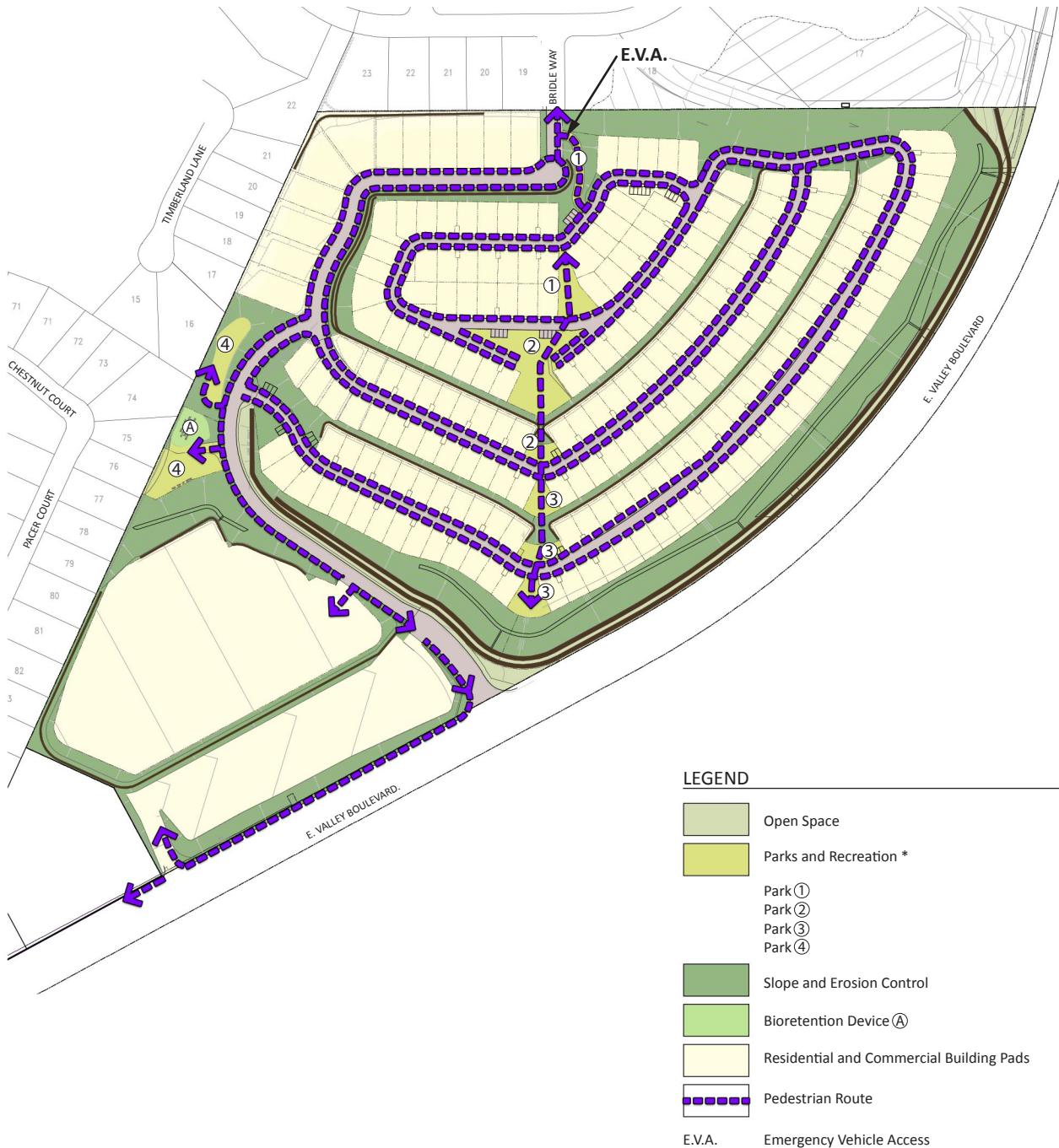
- Slopes should be irrigated separately from level areas on dedicated valves.
- 2:1 slopes must be covered with jute mesh or other soil-stabilizing material to reduce erosion and facilitate healthy plant growth.
- Turf should not be used on slopes in excess of (steeper than) 3:1.
- Slopes should include plant materials identified in *Section 4.7.6, Plant Palette*.

4.7.2 Open Spaces

4.7.2.1 Parks and Usable Open Space

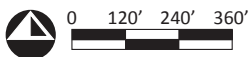
A minimum of 2.0 acres is designated for parks and open space, including open spaces that also function as emergency vehicle access. Many of the pocket parks include vista points, which take advantage of the panoramic views.

These open spaces will function as the central gathering areas, inspired by the unique topographical influences that provide the community with passive recreation. Irrigated turf grass and/or artificial turf will be utilized in areas anticipated for heavy pedestrian use and picnicking. The pocket parks will capture views, incorporate large shade and palm trees, playgrounds, shade structures, potted plants, seating, seat walls, public art, shaded picnic tables, barbecues, and/or small gardens. Pedestrian linkages will be provided to connect the pocket parks on the terraces to each other. This pedestrian network can also be used as an exercise pathway. Refer to *Exhibit 4.3, Open Space Plan; Exhibit 4.4, Conceptual Park Plan, Area 1; Exhibit 4.5, Conceptual Park Plan, Area 2; Exhibit 4.6, Conceptual Park Plan, Area 3; Exhibit 4.7, Conceptual Park Plan, Area 4; and Exhibit 4.8, Conceptual Townhome District Park* for conceptual park plans. Final design may differ based on market trends or as part of more refined design studies. Below are the guidelines to be incorporated for the neighborhood park, pocket parks, and open spaces.



E.V.A. = Emergency Vehicle Access

Note: The conceptual landscape plan shall be reviewed and approved by the City of Walnut. There are multiple design alternatives that will comply with this Specific Plan. The location and size of the Townhome District Park is conceptual in nature and subject to change.

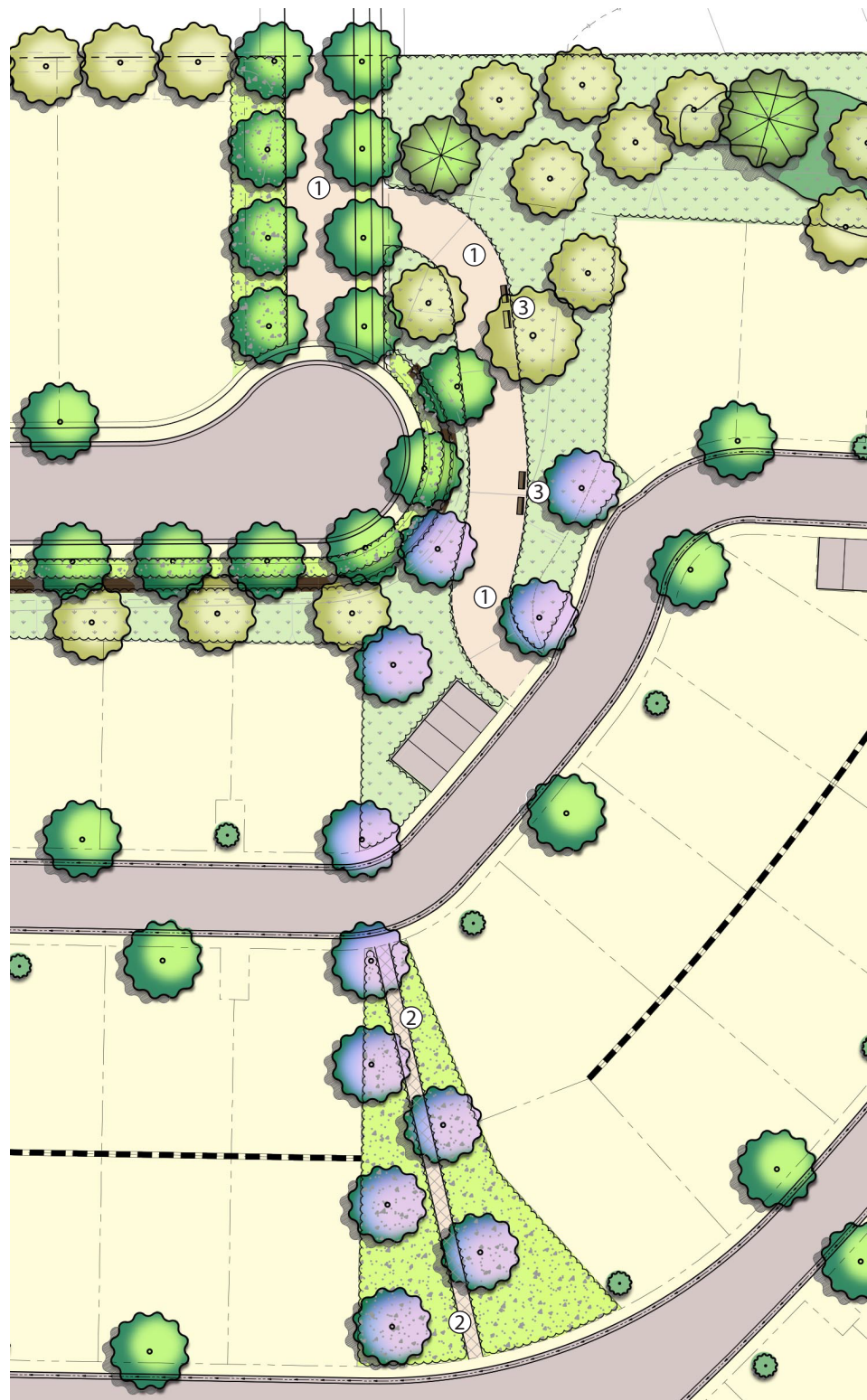


Source: MBI

Exhibit 4.3, Open Space Plan

LEGEND

- ① Emergency Vehicle Access (E.V.A.)/ Pedestrian Connectivity
- ② Enhanced Paving
- ③ Site Furnishings



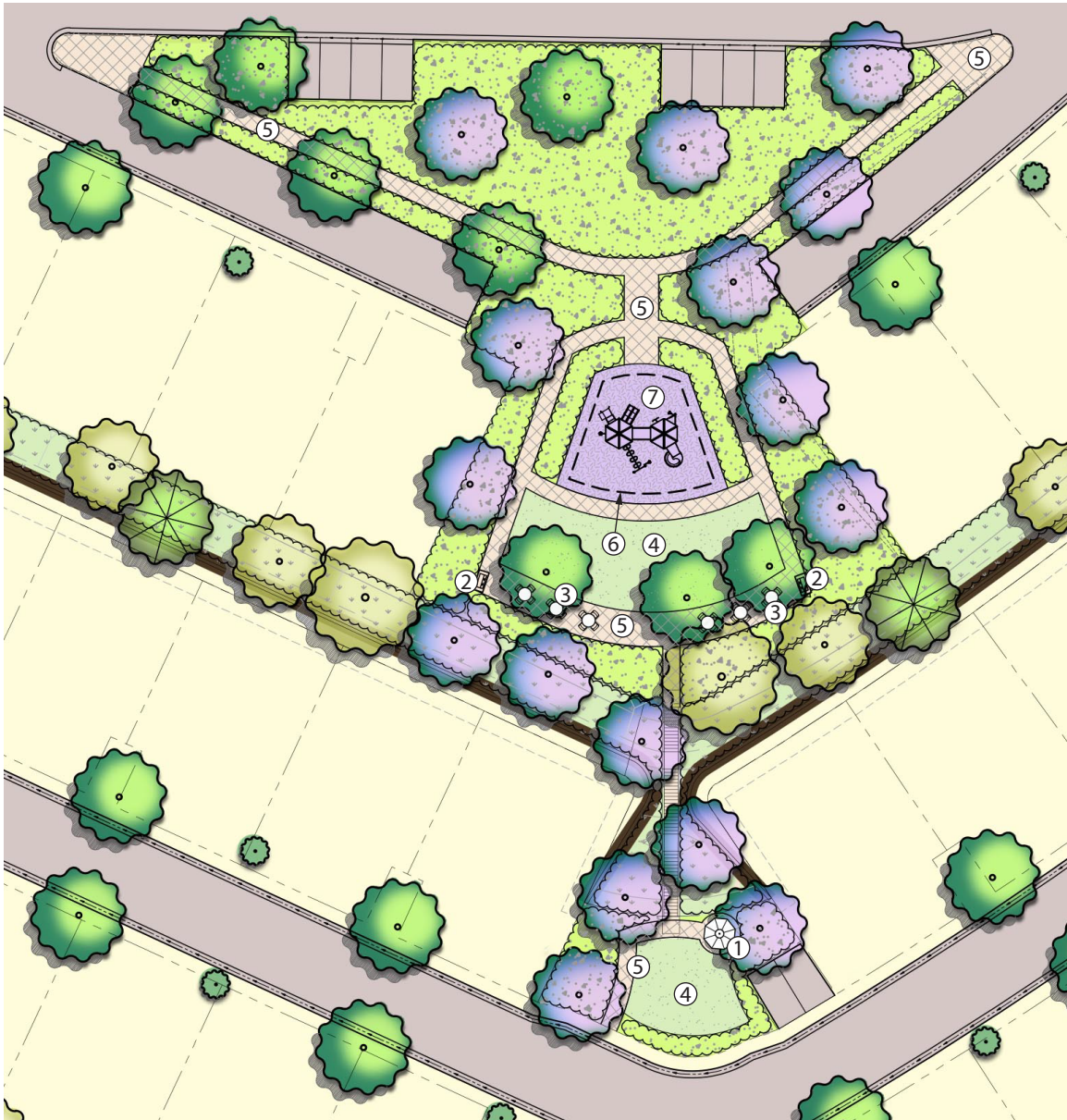
Note: Any lighting, etc. shall be decorative. There are multiple design alternatives that will comply with this Specific Plan.



NOT TO SCALE

Source: MBI

Exhibit 4.4, Conceptual Park Plan, Area 1

**LEGEND**

- | | |
|--------------------|--------------------|
| ① Umbrella Tables | ⑥ Shade Cover |
| ② BBQ | ⑦ Shaded Play Area |
| ③ Site Furnishings | |
| ④ Open Turf | |
| ⑤ Enhanced Paving | |

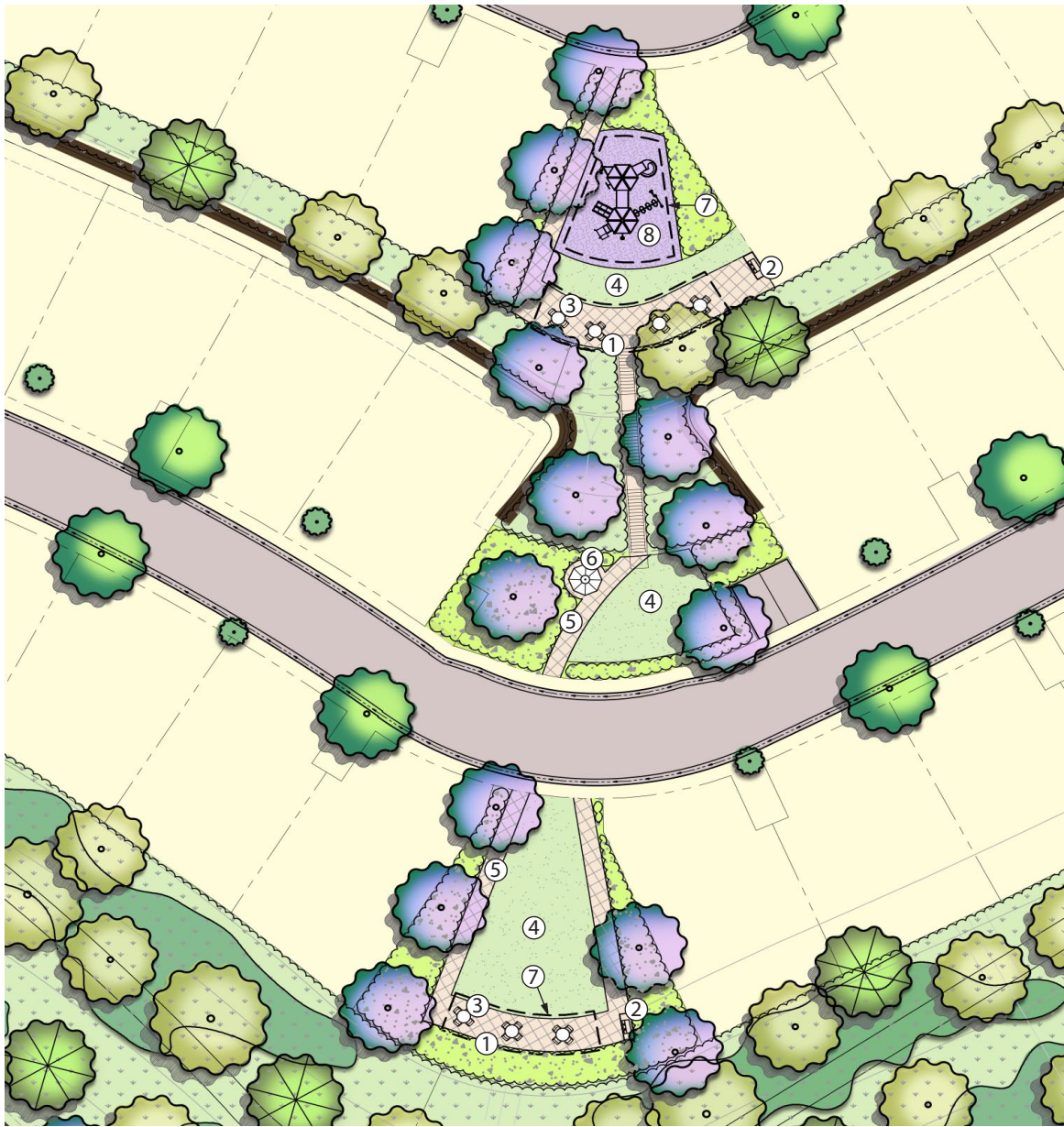
Note: Any lighting, etc. shall be decorative. There are multiple design alternatives that will comply with this Specific Plan.

Source: MBI



NOT TO SCALE

Exhibit 4.5, Conceptual Park Plan, Area 2



LEGEND

- | | |
|--------------------|--------------------|
| ① View Area | ⑥ Umbrella Table |
| ② BBQ | ⑦ Shade Cover |
| ③ Site Furnishings | ⑧ Shaded Play Area |
| ④ Open Turf | |
| ⑤ Enhanced Paving | |

Note: Any lighting, etc. shall be decorative. There are multiple design alternatives that will comply with this Specific Plan.



NOT TO SCALE

Source: MBI

Exhibit 4.6, Conceptual Park Plan, Area 3

LEGEND

- ① Park Entrance
- ② Perimeter Walkway
- ③ Bioretention Device
- ④ Site Furnishings
- ⑤ Open Turf
- ⑥ Shade Cover
- ⑦ Shaded Play Area
- ⑧ 60" H Tubular Steel Fence



Note: Any lighting, etc. shall be decorative. There are multiple design alternatives that will comply with this Specific Plan.

Source: MBI



NOT TO SCALE

Exhibit 4.7, Conceptual Park Plan, Area 4



LEGEND

- ① Umbrella Tables
- ② Enhanced Paving
- ③ Shade Cover
- ④ Shaded Play Area

The design, location, and size of the Townhome District Park is conceptual in nature and subject to change. There are multiple design alternatives that will comply with this Specific Plan. The final design, location, and size of this park shall be reviewed as part of the Site Plan Review process for the Townhome District.

Note: Any lighting, etc. shall be decorative. The design, location, and size of the Townhome District Park is conceptual in nature and subject to change. There are multiple design alternatives that will comply with this Specific Plan. The final design, location, and size of this park shall be reviewed as part of the Site Plan Review process for the Townhome District.



NOT TO SCALE

Source: MBI

Exhibit 4.8, Conceptual Townhome District Park

- Provide shade structures (such as, but not limited to shade pavilions, overhead awnings, and canopies) and deciduous trees that enhance pedestrian-friendly sidewalks and public gathering spaces. Deciduous trees help temper hot summer conditions and permit sunlight in cool winter condition.
- All turf, shrub, and groundcover areas will utilize plant materials appropriate for drought responsive design approach and in harmony with the landscape materials described elsewhere in these design guidelines.
- Furnishings such as signage, shade structures, benches, trash/recycle receptacles, tree grates, tree guards, bollards, bike racks, and drinking fountains are encouraged to be provided throughout the site to enhance park functionality and promote informal gathering places. Furnishings shall be durable and clustered in areas of both sun and shade to encourage a wide range of seasonal use. Metal furnishings for use by people and pets for resting, such as benches, shall not be permitted due to excessive heat gain in high summer temperatures.
- Include lighting that enhances the vehicular and pedestrian experience and safety. Lighting should minimize uncontrolled light and glare, light trespass, and night sky pollution by incorporating low-brightness lighting fixtures utilizing warm, color-corrected light sources and appropriate beam cut-off. Energy-efficient lamp technologies are encouraged, such as metal halide, LED or other light sources as approved by the City. Energy-saving control systems are encouraged, such as photovoltaic-sensors, to turn lights off when adequate daylight is available.
- Parks, open spaces, and trails should be designed to invite the public to access the site, to maximize views out to surrounding hills and mountains, where possible, and include opportunities for sitting, resting and shade.
- Park building and structures shall incorporate elements consistent with the Specific Plan's overall community theme and be compatible with an architectural style identified in *Section 4.6, Architectural Styles*.

4.7.2.2 Water Quality Basin

The design of the basin should be integrated into the landscape and appear as a landscape feature, rather than as an engineered, utilitarian facility. Engineered features such as fences, concrete surfaces, and exposed earth, can be incorporated into these facilities, but should be designed with materials compatible with the theme of the Project or softened with landscape and/or earthen mounds.

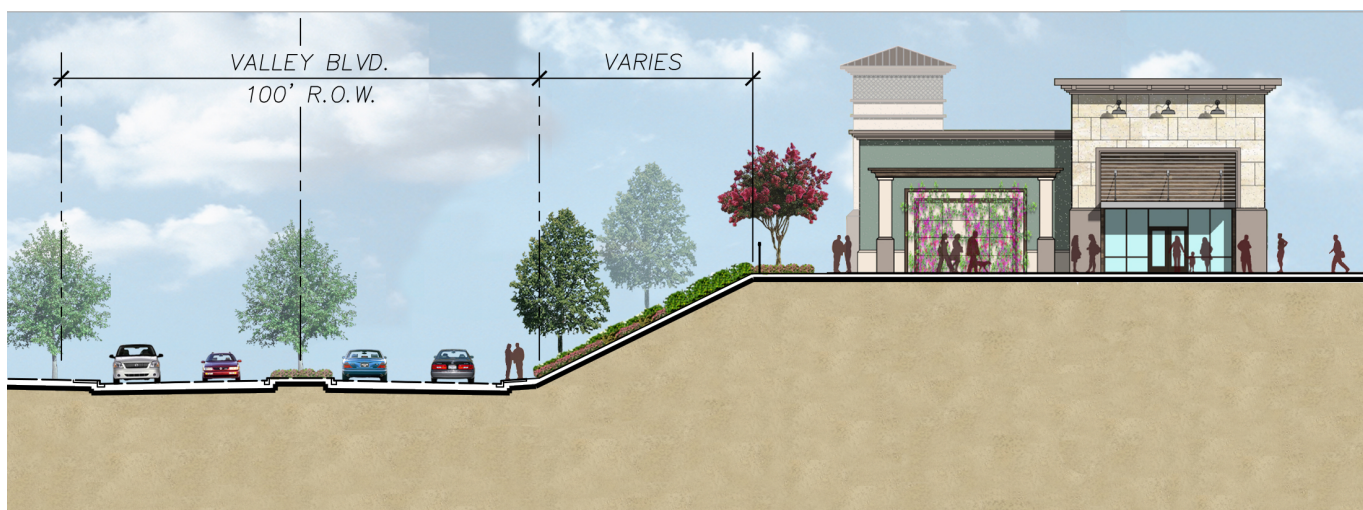
4.7.3 Community Streetscapes

The streetscape concept is intended to establish a theme for each roadway designation within the Specific Plan. The streetscape components consist of sidewalks, street trees, parkways, and setback areas. The intent of these design guidelines is to enhance the pedestrian experience, provide flexibility and diversity in plant material selection, and incorporate sustainable design, while still maintaining an overall community theme and design hierarchy. All components of the streetscape including, but not limited to walls, materials, fixtures, hardscape, and light standards, shall be consistent with the architectural theme of the community.

4.7.3.1 Valley Boulevard

The eastern side of the Small-Lot District abuts Valley Boulevard and includes two (2) 25-foot tall retaining walls close to the right-of-way. The design includes a landscape area between the back of the curb and the wall, allowing trees, shrubs, groundcovers and vines to be planted to soften the scale of the wall. In addition, street trees will be planted to achieve a continuous canopy along the road.

Adjacent to the Commercial District, the landscape adjacent to Valley Boulevard includes a minimum 15-foot minimum landscape zone from the right-of-way to allow for an extensive landscape zone next to the curb-adjacent sidewalk. The landscape will include a continuous shade canopy for pedestrians using the sidewalk. The graphic below depicts the planned landscape along Valley Boulevard adjacent to the Commercial District.



Example, Valley Boulevard Streetscape

Source: MBI

4.7.3.2 Project Entry Road (Street A/B)

The Project entrance street (Street A/B) is the primary access to the Residential Districts. This street includes the major entry statement and connects the Residential Districts to the Commercial District. This street also includes two (2) 25-foot tall retaining walls on the eastern side close to the right-of-way. The design includes a curb-separated sidewalk on the west side of the right-of-way, allowing trees, shrubs, groundcovers and vines to be planted to soften the scale of the wall on the east side of the right-of-way. The access road will include flowering trees and shrubs at the intersection with Valley Boulevard, and a continuous canopy of shade trees when Street B is within the Residential Districts.

4.7.3.3 Local Streets

The streets serving the Small Lot and Townhome Districts include a noncontiguous sidewalk and that will be privately maintained by the Homeowner's Association (HOA). Street trees and landscape will be a continuation of the adjacent yards and be compatible with the landscape adjacent to the dwelling units.

4.7.4 Community Gateways and Entry Monumentation

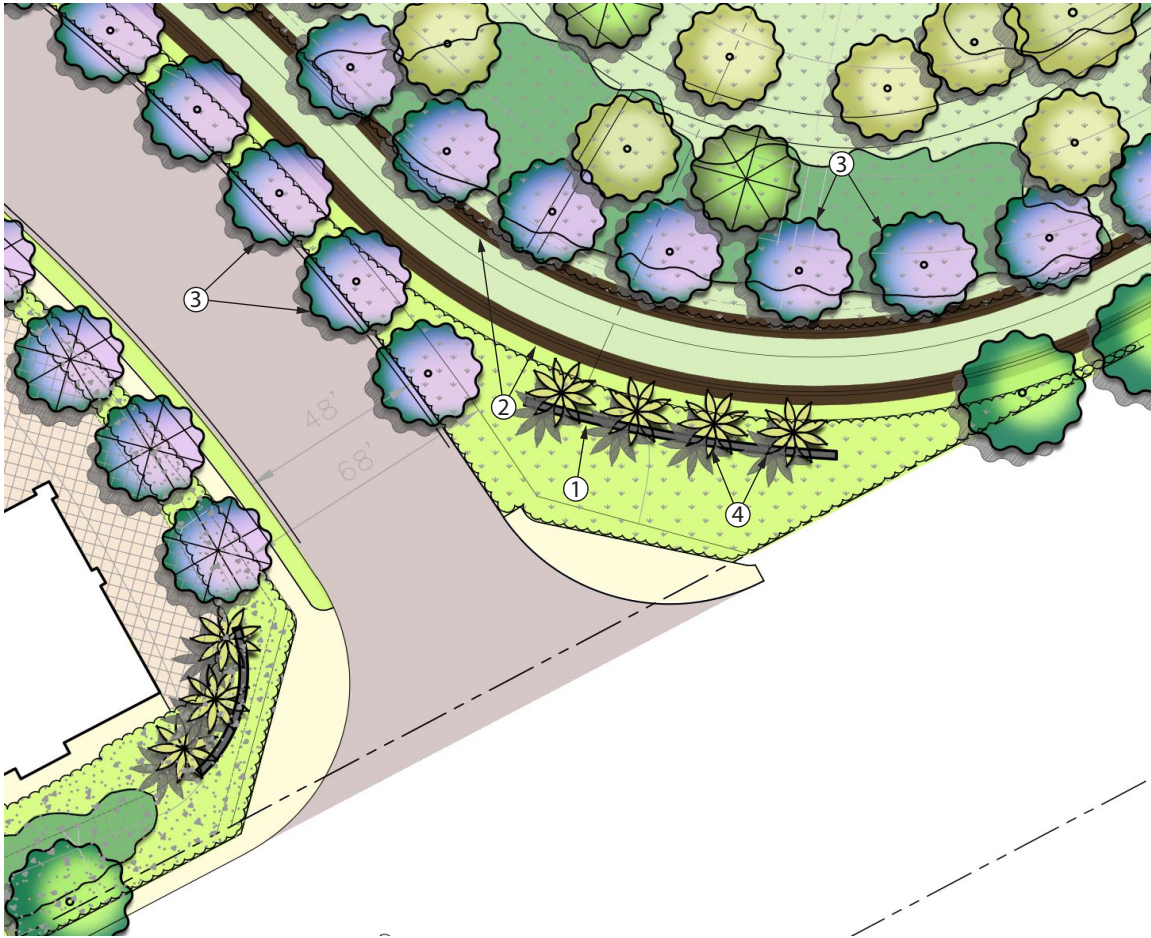
Multiple opportunities exist for creating identifiable Project monumentation and entry statements that announce the Project to residents, employees, and visitors to the site.

All gateways and monumentation shall be enhanced with landscaping and lighting, including halo-lit, reverse halo-lit, externally illuminated, non-illuminated, or other acceptable “high-quality” design acceptable to the City.

4.7.4.1 Primary Community Entry

The primary gateway and community entry statement is located where pedestrians and vehicles enter the community to provide an identity statement for The Terraces at Walnut. As depicted on *Exhibit 4.1, Conceptual Landscape Plan*, the primary community entry and entry monument is located at the intersection of the main Project access road (Street A) and Valley Boulevard. Refer to *Exhibit 4.9, Community Gateway Conceptual Plan*, and *Exhibit 4.10, Community Entry Monument*, for a conceptual illustration of the community gateway. Final design may differ based on market trends or as part of a refined design and shall be subject to review with the City. The Primary Community Entry shall be designed as follows:

- The intersection corners will provide a visual marker by creating a palm skyline that will tie into the Mediterranean hilltop village concept.
- The entry features and monumentation will be complementary of the village’s Mediterranean architectural theme and compatible with the materials used for the Project.
- The entry features will be designed as community identity statements including monument signage. These areas shall be unique and could include public art to create a community landmark.
- The monuments could include raised planters, the community name and/or logo, light fixtures, and landscape.
- The entry should include flowering shade trees, colorful groundcovers, and accent planting.
- Hardscape for the entry should incorporate permeable pavers, decomposed granite, and/or angular cobbles to reduce irrigation, improve water quality and add visual interest. Furthermore, rocks from the site could be used, if feasible.
- The primary community entry includes a pump station for recycled water service. The pump station and other above-grade utilities shall be placed to limit public visibility to the maximum extent feasible.
- Any above-grade portion of the pump station shall be screened by landscape, monumentation, and/or decorative treatments. Any screening shall be consistent with the community’s landscape and hardscape theme.



LEGEND

- ① Stucco Monument Wall with Precast Concrete Cap
- ② Plantable Retaining Walls
- ③ Flowering Accent Trees
- ④ Palm Trees

Note: Monumentation shown for illustrative purposes only. There are multiple design alternatives that will comply with this Specific Plan. Monumentation design shall be reviewed as part of the Site Plan or Architectural Review process.



NOT TO SCALE

Source: MBI

Exhibit 4.9, Community Gateway Conceptual Plan



LEGEND

- ① Stucco Monument Wall with Precast Concrete Cap
- ② Sign Letters
- ③ (2) Plantable Retaining Walls
- ④ Palm Trees

Note: Monumentation shown for illustrative purposes only. There are multiple design alternatives that will comply with this Specific Plan. Monumentation design shall be reviewed as part of the Site Plan or Architectural Review process.

NOT TO SCALE

Source: MBI

Exhibit 4.10, Community Entry Monument

4.7.4.2 Typical Commercial Entry

Commercial Entries, indicated on *Exhibit 4.1, Conceptual Landscape Plan*, are located at Valley Boulevard and at Street A. These commercial entries reinforce the Project's theme, add an entry statement and landmark to define the Commercial District, and enhance the streetscene of Valley Boulevard and Street A. Refer to *Exhibit 4.11, Typical Commercial District Entry Conceptual Plan* and *Exhibit 4.12, Typical Commercial District Entry Monument* for a conceptual illustration of the typical commercial entry along Valley boulevard. Final design may differ based on market trends or as part of a refined design. Commercial entry features are as follows:

- The commercial entries should be designed as small community entry plazas, smaller in scale than the primary community entry, and will include monument signage that is different but complements the style of the monumentation for the primary community gateway.
- The entry features and monumentation will be complementary of the community's Mediterranean architectural theme and compatible with the materials used for the community.
- The monuments could include raised planters, the Project name and/or marketing logo, light fixtures and landscape that also complement the primary community entry.
- The entry should include flowering shade trees, colorful groundcovers, and accent planting that also complement the primary community entry.
- Hardscape for the entry should incorporate permeable pavers, decomposed granite, and/or angular cobbles to reduce irrigation, improve water quality, and add visual interest. The hardscape of these entries should also complement the primary community entry. Furthermore, rocks from the site could be used, if feasible.

4.7.4.3 Townhome District Entry

The entrance to the Townhome District shall be enhanced with elements such as signage monumentation, gateway monumentation appropriate with the architectural theme of the District, enhanced paving, focal landscape elements, and/or pedestrian walkways. There shall be an enhanced pedestrian connection between the Townhome District and the abutting Commercial District. The pedestrian connection shall occur along Street A and B and could include, but is not limited to, elements such as shade trees, benches, ornamental or other pedestrian-oriented lighting, focal landscape elements, and/or public art.

4.7.4.4 Walls and Fences

All exposed, permanent walls and fences within the community shall be decorative in nature. Below are the guidelines for walls and fences within the community.

- Walls shall be designed to blend with the overall architectural character of the community, including material, color, and texture. Wherever possible, landscaping should be used to soften the appearance of walls.
- Excluding planted mechanically-stabilized earth (MSE) walls, long expanses of exposed fence or wall surfaces shall be offset and architecturally designed to prevent monotony.



LEGEND

- ① Decorative Entry Columns
- ② Enhanced Paving
- ③ Flowering Accent Trees
- ④ Palm Trees

Note: Monumentation shown for illustrative purposes only. There are multiple design alternatives that will comply with this Specific Plan. Monumentation design shall be reviewed as part of the Site Plan or Architectural Review process.



NOT TO SCALE

Source: MBI

Exhibit 4.11, Typical Commercial District Entry Conceptual Plan



LEGEND

- ① Stucco Monument Wall with Precast Concrete Cap
- ② Sign Letters
- ③ Palm Trees
- ④ (3) Tenant Spaces

Note: Monumentation shown for illustrative purposes only. There are multiple design alternatives that will comply with this Specific Plan. Monumentation design shall be reviewed as part of the Site Plan or Architectural Review process.

NOT TO SCALE

Source: MBI

Exhibit 4.12, Typical Commercial District Entry Monument

- All fences shall be made of attractive, durable, and weather-resistant materials. Wrought iron, tubular steel, and other metal fencing shall be anodized or treated to resist rusting and be green or black in color.
- Decorative walls and view walls shall have pillars, pilasters, or other vertical wall face relief at every property line intersection.
- Unfinished walls are prohibited.
- When a protective barrier is required, it shall not detract from the appearance of the wall and shall be designed to be compatible with the wall.

4.7.4.5 Staircases

The Project includes staircases creating a pedestrian connection between the terraces. These terraces are integrated into the topography. The stairs shall be designed to integrate into nature by the use of earth-toned colors and materials, and shall not be utilitarian in design. Elements such as decorative railings, arbors, canopies, decorative paving, artwork, and any other decorative elements subject to approval of the Assistant City Manager, or his/her designee, may be incorporated into the design of the staircases.

4.7.5 Landscape Furnishings, Public Art, and Utilities

Landscape furnishings and utilities include the various objects generally found adjacent to the street or within the community's common open spaces and include elements such as fire hydrants, mail boxes, benches, utility vaults and boxes, traffic signal boxes, bike racks, trash receptacles, etc. The location and appearance of these furnishings and utilities should be a harmonious part of the streetscape and open space, when feasible.

These items could also include a mural or other form of artwork at key focal points, such as the primary vehicular entry, plazas within the retail area, and within the Project's parks.

Within the Specific Plan area, every effort will be made to balance the aesthetic needs of The Terraces at Walnut community with the functional needs of utility design. Project designers will work with applicable service providers to reduce visual clutter, eliminate locational conflicts, and enhance the community. Techniques to be considered include undergrounding, when possible, landscape screening, construction of a façade, use of neutral or complementary colors, and incorporating a mural or other artistic treatment. The use of murals on City-owned utility boxes is highly encouraged, but will need approval from the City's Public Works Director and the Assistant City Manager, or his/her designee.

Design standards for appearance vary with the various utility items and the agencies involved. In some cases, the standards are fairly strict, while in others, ample room exists for negotiation. As an example, the U.S. Postal Service (USPS) requires ganged, curb-side post boxes for new single-family detached development. This may be provided by several boxes at a single location, or the installation of Cluster Box Units (CBU) as approved by the USPS. However, the structure surrounding these boxes can be designed to integrate with the character of The Terraces at Walnut community.

4.7.5.1 Public Art Guidelines

This Specific Plan encourages the inclusion of public art, water features, and other decorative elements in highly visible areas such as commercial plazas, public parks, and at the primary community entry (at Faure Avenue and Valley Boulevard). Elements such as arbors, murals, and decorative water fountains will create artistic harmony between the community's buildings, landscape, and open spaces.

The goals of the public art are as follows:

- To add to the cultural heritage of the City of Walnut through aesthetic enhancement of the community and the surrounding neighborhoods.
- To make durable art of excellent quality available to residents, visitors, and the community-at-large to stimulate intellectual and artistic growth.
- To create focal points within the Project for the enjoyment and contemplation of art.
- To enhance the stature of the City of Walnut by defining its commitment to artists and to the creative process as a vital element of urban dynamics.

The guidelines for public art are as follows:

1. Public art may be integrated into the buildings, plazas, parks, and at the primary community entry.
2. All art used in exterior areas shall be constructed of durable, all-weather materials including, but not limited to, glass, metal, paint, wood, stone, tile, brick and other similar durable, low maintenance materials.



Example, Painted Fire Hydrant



Example, Decorative Bike Rack

3. The art may be created using a variety of mediums and techniques and be as fleeting as sprays of water or as permanent as a sculpture. Examples of items qualifying as art include, but are not limited to: water features, decorative tiles, paving and mosaics, murals (including on utility boxes and walls), sculptures, decorative carvings, ornamental benches, special light displays, decorative bike racks, and other items of a unique and high-quality nature that embody artistic elements.
4. Each piece of art shall be designed to enhance or complement the outdoor area or building to which it relates.
5. Art may not involve advertising, the name of the Project, and/or special events and activities.
6. Art shall be placed in public right of way, commercial property or HOA common area property and must comply with all applicable site-distance requirements.

The applicant shall have the right to choose the art pieces within the Project. The Planning Commission may review the art as part of a larger development, but shall not have the ability to review for artistic merit. Stand-alone art visible from public views such as painted murals on walls or utility boxes, decorative bicycle racks, or stand-alone art located within the public right-of-way, shall be reviewed by the Public Works Director and/or the Assistant City Manager, or their designee.

4.7.6 Plant Palette

The Specific Plan's plant palette incorporates native and drought tolerant trees, shrubs, and groundcovers to provide the envisioned landscape character. All plantings within The Terraces at Walnut Specific Plan area will be selected from the plant palette, below. Any trees and landscape shall be approved by the City prior to installation. Any planting within the rear yards of single-family residences need not comply with this plant palette.

4.7.6.1 Valley Boulevard Parkway Landscaping

Trees:

- *Cupaniopsis anacardioides* – Carrotwood Tree
- *Lophostemon confertus* – Brisbane Box
- *Pinus canariensis* – Canary Island Pine

Shrubs:

- *Arbutus unedo* 'Compacta' – Dwarf Strawberry
- *Callistemon* 'Little John' – Bottle Brush
- *Ligustrum lucidum* – Glossy Privet
- *Myrtus communis* 'Compacta' – Dwarf Myrtle
- *Olea europaea* 'Little Ollie' – Dwarf Olive
- *Pittosporum tobira variegata* – Variegated Tobira
- *Prunus caroliniana* – Carolina Cherry
- *Raphiolepis indica* 'Ballerina' – India Hawthorne
- *Viburnum tinus* 'Spring Bouquet' – Laurustinus
- *Xylosma congestum* 'Compacta' – Compact Shiny Xylo

Groundcover:

- *Acacia ongerup* – NCN
- *Baccharis pilularis* – Dwarf Coyote Brush
- *Carex species* – Ornamental Grass
- *Lonicera japonica* – Japanese Honeysuckle
- *Myoporum parvifolium* – NCN
- *Rosmarinus officinalis* – Rosemary

Vines (for retaining walls):

- *Bougainvillea species* – Bougainvillea
- *Ficus pumila* – Creeping Fig
- *Parthenocissus tricuspidata* – Boston Ivy

4.7.6.2 Thematic Landscape Palette (Project Entries, Entry Road, Open Spaces)

Trees:

- *Calodendron capense* – Cape Chestnut
- *Jacaranda mimosifolia* – Jacaranda
- *Lagerstroemia indica* – Crepe Myrtle
- *Pistacia chinensis* – Chinese Pistache
- *Tipuana Tipu* – Tipu Tree

Accent Shrubs:

- *Agave species* – Agave
- *Aloe species* – Aloe
- *Bougainvillea species* – Bougainvillea
- *Hesperaloe parviflora* – Red Yucca
- *Muehlenbergia species* – Ornamental Grass
- *Phormium tenax* – Flax
- *Rosa 'Iceberg'* – Iceberg Rose
- *Strelitzia reginae* – Bird of Paradise

Shrubs:

- *Arbutus unedo 'Compacta'* – Dwarf Strawberry
- *Callistemon 'Little John'* – Bottle Brush
- *Ligustrum lucidum* – Glossy Privet
- *Myrtus communis 'Compacta'* – Dwarf Myrtle
- *Olea europaea 'Little Ollie'* – Dwarf Olive
- *Pittosporum tobira variegata* – Variegated Tobira
- *Prunus caroliniana* – Carolina Cherry
- *Raphiolepis indica 'Ballerina'* – India Hawthorne
- *Viburnum tinus 'Spring Bouquet'* – Laurustinus
- *Xylosma congestum 'Compacta'* – Compact Shiny Xylo

Groundcover:

- *Carex species* – Ornamental Grass
- *Raphiolepis indica 'Ballerina'* – India Hawthorne
- *Rosa 'Carpet Rose'* – Carpet Rose

4.7.6.3 Residential Districts

Trees:

- *Chionanthus retusus* – Chinese Fringe Tree
- *Cercidium species* – Palo Verde
- *Koelreutaria paniculata* – Golden Rain Tree
- *Lagerstroemia indica* – Crepe Myrtle
- *Liriodendron tulipifera* – Tulip Tree
- *Magnolia grandiflora* – Southern Magnolia
- *Olea europaea* – Olive
- *Pyrus calleryana 'Aristocrat'* – Flowering pear
- *Sapium sabiferum* – Chinese Tallow Tree
- *Tabebuia ipe* – Tababuia
- *Tristanopsis laurina* – Water Gum
- *Ulmus parvifolia* – Evergreen Elm

Shrubs:

- *Arbutus unedo 'Compacta'* – Dwarf Strawberry
- *Callistemon 'Little John'* – Bottle Brush
- *Ligustrum lucidum* – Glossy Privet
- *Myrtus communis 'Compacta'* – Dwarf Myrtle
- *Olea europaea 'Little Ollie'* – Dwarf Olive
- *Pittosporum tobira variegata* – Variegated Tobira
- *Prunus caroliniana* – Carolina Cherry
- *Raphiolepis indica 'Ballerina'* – India Hawthorne
- *Viburnum tinus 'Spring Bouquet'* – Laurustinus
- *Xylosma congestum 'Compacta'* – Compact Shiny Xylo

Groundcover:

- *Raphiolepis indica 'Ballerina'* – India Hawthorne
- *Rosa 'Carpet Rose'* – Carpet Rose
- *Trachelospermum jasminoides* – Star Jasmine

4.7.6.4 Commercial District

Trees:

- *Arecastrum romanzoffianum* – Queen Palm
- *Eriobotrya deflexa* – Bronze Loquat
- *Feijoa sellowiana* – Pineapple Guava
- *Lagerstroemia indica* – Crepe Myrtle
- *Ligustrum lucidum* – Glossy Privet
- *Magnolia grandiflora* – Southern Magnolia
- *Olea europaea* – Olive
- *Pyrus calleryana* ‘Aristocrat’ – Flowering pear

Accent shrubs:

- *Agave species* – Agave
- *Aloe species* – Aloe
- *Bougainvillea species* – Bougainvillea
- *Hesperaloe parviflora* – Red Yucca
- *Muehlenbergia species* – Ornamental Grass
- *Phormium tenax* – Flax
- *Rosa* ‘Carpet Rose’ – Carpet Rose
- *Rosa* ‘Iceberg’ – Iceberg Rose
- *Strelitzia reginae* – Bird of Paradise

Shrubs:

- *Arbutus unedo* ‘Compacta’ – Dwarf Strawberry
- *Callistemon* ‘Little John’ – Bottle Brush
- *Ligustrum lucidum* – Glossy Privet
- *Myrtus communis* ‘Compacta’ – Dwarf Myrtle
- *Olea europaea* ‘Little Ollie’ – Dwarf Olive
- *Pittosporum tobira variegata* – Variegated Tobira
- *Prunus caroliniana* – Carolina Cherry
- *Raphiolepis indica* ‘Ballerina’ – India Hawthorne
- *Rosa* ‘Iceberg’ – Iceberg Rose
- *Strelitzia reginae* – Bird of Paradise
- *Xylosma congestum* ‘Compacta’ – Compact Shiny Xylo

Groundcover:

- *Raphiolepis indica* ‘Ballerina’ – India Hawthorne
- *Rosa* ‘Carpet Rose’ – Carpet Rose
- *Trachelospermum jasminoides* – Star Jasmine

4.7.6.5 Slope Erosion Control Landscaping

Trees:

- *Calocedrus decurrens* – Incense Cedar
- *Cercidium species* – Palo Verde
- *Pinus species* – Pine
- *Quercus species* – Oak Tree
- *Schinus molle* – California Pepper

Shrubs:

- *Agave species* – Agave
- *Laurus nobilis* – Sweet Bay
- *Muehlenbergia rigens* – Deer Grass
- *Opuntia species* – Cholla
- *Prunus caroliniana* – Carolina Cherry
- *Plumbago auriculata* – Cape Plumbago
- *Tecoma capensis* – Cape Honeysuckle

Groundcover:

- *Acacia ongerup* – NCN
- *Baccharis pilularis* – Dwarf Coyote Brush
- *Lonicera japonica* – Japanese Honeysuckle
- *Myoporum parvifolium* – NCN

4.7.6.6 Community Edges and Landscape Buffer

Trees:

- *Calocedrus decurrens* – Incense Cedar
- *Cercis species* – Redbud
- *Lophostemon confertus* – Brisbane Box
- *Pinus canariensis* – Canary Island Pine

Shrubs:

- *Laurus nobilis* – Sweet Bay
- *Plumbago auriculata* – Cape Plumbago
- *Tecoma capensis* – Cape Honeysuckle
- *Rhus ovata* – Sugar Bush

Groundcover:

- *Acacia ongerup* – NCN
- *Baccharis pilularis* – Dwarf Coyote Brush
- *Lonicera japonica* – Japanese Honeysuckle
- *Myoporum parvifolium* – NCN

4.7.6.7 Storm Water Basins

Trees:

- *Platanus racemose* – California sycamore
- *Quercus agrifolia* – Live Oak

Shrubs:

- *Agave species* – Agave
- *Laurus nobilis* – Sweet Bay
- *Muehlenbergia rigens* – Deer Grass
- *Opuntia species* – Cholla
- *Prunus caroliniana* – Carolina Cherry
- *Plumbago auriculata* – Cape Plumbago
- *Tecoma capensis* – Cape Honeysuckle

Groundcover:

- *Acacia ongerup* – NCN
- *Baccharis pilularis* – Dwarf Coyote Brush
- *Lonicera japonica* – Japanese Honeysuckle
- *Myoporum parvifolium* – NCN

4.7.7 Edge Conditions

Edges for the community will be defined by using walls, paving (along Valley Boulevard), and landscape Edges will include but not limited to:

- Landscape buffers;
- Landscape slopes;
- Medians and walkways along portions of Valley Boulevard; and
- Plantable MSE walls and/or retaining walls.

The edge between The Terraces at Walnut and the adjacent existing residences will be thoughtfully landscaped with plant materials that will provide a buffer and measure of privacy between the existing homes and new development and preserve views where feasible.

4.8 COMMERCIAL DISTRICT SIGNAGE GUIDELINES

The purpose of these guidelines is to achieve a unified and cohesive overall appearance, while allowing for flexibility in signage. Controlled wayfinding and identity signage are major factors in creating and preserving the design character of the community. Below are the general guidelines for signage.

4.8.1 General Signage Guidelines

- Signs should be limited to a maximum of three (3) colors unless the use of corporate color schemes or logos dictates the use of more than three (3) colors. There should be a significant contrast between lettering colors and background colors for legibility.
- All signs shall be enhanced, including halo-lit, reverse halo-lit, externally illuminated, non-illuminated, or other acceptable “high-quality” design acceptable to the City and approved through a comprehensive sign program.
- Sign conduits, transformers, junction boxes, etc. must be concealed from view.
- Encourage the use of brief messages.
- No sign shall be placed in such a manner that visibility of signs on an adjacent property is obscured.
- Signs should not extend above the eave line or parapet of the buildings on which they are located, except where such signs form an integral part of the building.

- Select sign colors and materials that contribute to legibility and design integrity.
- The sign copy shall be appropriately sized for the sign structure or wall. Signs should not be too large to overwhelm the elevation, nor should they be too small to be illegible. Sign shall not be more than 80 percent of the width of the unit frontage to which is attached.
- The sign structure shall be consistent with the architectural style of the building that it is placed on or close to.

4.8.2 Major and Minor Tenant Identification

The purpose of these signs is to identify major and minor tenants within the Project. There are typically three (3) different types of signs utilized for tenant identification:

- Monument signs.
- Wall signs.
- Projecting signs.

4.8.2.1 Monument Sign Guidelines

- Use a consistent color scheme and design on all free-standing signs within the Commercial District.
- Signs shall be constructed of permanent, durable materials.
- Monument signs should be designed with the width of the base of the sign equal to or more than the width of the sign face.
- Exposed support posts are discouraged.
- Plastic is prohibited except for use for the sign copy. Plexiglass is acceptable.

4.8.2.2 Wall and Projecting Sign Guidelines

- Locate signs as close to the customer entrance as possible.
- Raceways and sign supports shall not be visible.
- Exposed neon is not a permitted for wall signs.
- Internally-illuminated box signs and banners used as permanent signs are prohibited.
- Projecting signs shall be placed perpendicular to the building wall and should not extend above building eave of a sloped roof or highest point on a flat roof.
- Projecting signs shall be attached to the building fascia or canopy with an attractive and decorative support.
- Exterior signs shall be constructed of permanent and durable materials.
- Creative signage designs and techniques are encouraged.



Example, Architecturally-Consistent Sign Structure



Example, Monument Sign

4.8.3 Changeable Signage

The purpose of changeable signage is to create excitement and provide a visually-interesting internal retail area. Two (2) styles of this signage used in within the Commercial District to achieve this goal are “pageantry” and “marquee signs.”

4.8.3.1 Pageantry

Pageantry includes flags, pole-mounted banners, kiosks, canopies, lights, directories, ground-mounted graphics, or other similar, temporary or permanent (but changeable) elements. The intent is to allow regular changes to the pageantry elements in terms of color, design, and other visual content so the pageantry signage can always look current.



Example, Monument Sign



Example, Projecting Sign



Example, Changeable Signage



Example, Pageantry (Directory)

Guidelines for pageantry include:

- Pageantry may be located in any portion of the Project site, except that pageantry shall not be placed on or over a public street.
- Air-inflated signs, moving signs, paper, cardboard, Styrofoam, stickers, and decals are not acceptable forms of pageantry (directories and kiosks excepted).
- Pageantry shall not include flashing, flickering, rotating, or moving lights.
- Temporary promotional advertising (banners) is not considered to be pageantry.
- Kiosks and directories should provide vertical breaks in the sign structure.
- Individual panels shall be recessed, framed, or treated to avoid a flat appearance of the sign face.

4.8.3.2 Marquee Signs

Marquee signs are typically used to provide information about current showings or events for theaters and live entertainment uses. Guidelines for marquee signs include:

- Marquee signs may project or be integrated into the building to promote enhanced articulation.
- Plain, rectangular marquee signs without any articulation are discouraged.
- Marquee signs may be manual or electronic.
- Marquee signs may include advertisements.

4.8.4 Directional Signage

The purpose of directional signage is to facilitate the flow of vehicular and pedestrian traffic within the Commercial District.

4.8.4.1 Directional Signs and Wayfinding Program

Directional and wayfinding signs are typically horizontal signs with individual tenant names and directional arrows. Guidelines for directional signs include:

- The Project name may be located on the sign in a smaller, more understated manner to not detract from the wayfinding.
- Directional and signs with exposed unistrut supports shall be avoided.
- Vehicular directional signs should be located at major vehicular intersections and at strategic locations. They also act as identity markers for pedestrians once they have parked their car.
- The placement of directional signs shall not limit sight lines.
- Pedestrian directional signs are highly encouraged in areas of high pedestrian activity.

4.8.5 Temporary Signage

The purpose of temporary signage is to inform the public of a special event of limited duration, such as a grand opening. The guidelines below apply to temporary signage:

- Temporary signage should not be affixed onto the roof of a building, a window or landscape.



Example, Pageantry (Lights)



Example, Directory with Vertical Break



Example, Marquee Signs



Example, Pedestrian Wayfinding Sign



Example, Vehicular Wayfinding Sign

- Temporary signage material should consist of vinyl, nylon, canvas, or cloth.
- Temporary signage should be well maintained.

4.9 SUSTAINABLE DESIGN STRATEGIES

Sustainable practices can lessen the environmental impacts of development with techniques that include compact development, reduced impervious surfaces, energy-efficient design and improved water detention and conservation, as well as improved pedestrian and bicycle amenities that reduced reliance on the automobile.

This Specific Plan encourages “Green” building practices that reduce the impact on the environment, decrease energy costs, and create healthier living through improved indoor air quality and safer building materials.

Because the concept of sustainability is still evolving, it is anticipated that new sustainable strategies will be continually developed during the build-out period of the Specific Plan. This Specific Plan encourages the implementation of realistic sustainable design strategies into the Project design. Below is a sampling of sustainable design strategies that may be utilized within the Specific Plan area.

4.9.1 Site Planning

Elements of sustainable design and site planning may include the following:

- Provide physical linkages throughout the Project that promote walking.
- Consider the use of pervious materials for walkways, trails, driveways, and parking lots.
- Minimize the amount of paved areas for roads, parking, and patios where feasible.

- Concentrate development near local services and amenities.
- Encourage shared parking.

4.9.2 Energy Efficiency

Most buildings can reach energy efficiency levels that exceed California Title 24 standards, yet most only strive to meet the standard. It is reasonable to strive for energy reduction in excess of that required by Title 24 standards. Where feasible and appropriate, the following strategies are encouraged, but not required:

- Passive design strategies can dramatically affect building energy performance. These measures may include building shape and orientation, passive solar design, and the use of natural lighting.
- Incorporate the use of Low-E windows or use Energy Star windows.
- Use a properly sized and energy-efficient heating/cooling system in conjunction with a thermally efficient building shell.
- Consider utilizing light colors for wall finish materials.
- Install high R-value wall and ceiling insulation.
- Incorporate photovoltaic systems into building design.
- Install high-efficiency lighting (LED, fluorescent lighting, etc.) where possible.



Example, "Green" Building Practice (Solar PV)



Example, "Green" Building Practice (EV Charging Station)

Development within The Terraces at Walnut is encouraged to implement some of the strategies of the Energy Star program, which is an energy performance rating system developed by the U.S. Department of Energy and the Environmental Protection Agency. The program certifies products and buildings that meet strict energy-efficiency guidelines. Involvement in the Energy Star program will be completely optional at the discretion of the developer/builder.

4.9.3 Materials Efficiency

Select sustainable construction materials and products by evaluating characteristics such as reused and recycled content, zero or low off gassing of harmful air emissions, zero or low toxicity, sustainably harvested materials, high recyclability, durability, longevity, and local production. Such products promote resource conservation and efficiency. Using recycled-content products also helps develop markets for recycled materials that are being diverted from California's landfills, as mandated by the Integrated Waste Management Act.

- Use dimensional planning and other material efficiency strategies. These strategies reduce the amount of building materials needed and lower construction costs.
- Design adequate space to facilitate recycling collection and to incorporate a solid waste management program that reduces waste generation.

- Establish a construction waste recycling program with a local waste management company, with a goal of recycling no less than 50 percent of the construction waste generated by construction of the Project. Excavated soil and land-clearing debris do not contribute to this requirement.
- The waste disposal company shall be responsible for providing recycle bin(s) to facilitate recycling.

4.9.4 Water Efficiency

Elements of water efficiencies may include the following:

- Use ultra low-flush toilets, low-flow shower heads and other water conserving fixtures and appliances.
- Use state-of-the-art irrigation controllers and self-closing nozzles on hoses.
- Minimize turf areas within the community.
- Use drought-tolerant plants that require minimal or no irrigation.
- Use reclaimed water for irrigation of common areas, wherever available.

4.9.5 Occupant Health and Safety

- Choose construction materials and interior finish products with zero or low emissions to improve indoor air quality.
- Provide effective drainage from the roof and surrounding landscape.
- Install adequate ventilation in bathrooms.
- Encourage the use of low VOC paints and wallpapers.
- Encourage the use of low VOC Green Label carpet.

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DEVELOPMENT STANDARDS

5.1 GENERAL PROVISIONS

The regulations contained in this Chapter are intended to provide for development of all properties located within The Terraces at Walnut Specific Plan area, inclusive of future additions and remodels. This Chapter establishes the permitted uses and physical development standards for the planned development within the Specific Plan area.

The standards contained in this Chapter of the Specific Plan supersede those of the Walnut Municipal Code (WMC), unless otherwise stated herein. Where the language in this Specific Plan is undefined, unclear, or vague, then the final interpretation and determination shall be made by the Assistant City Manager, or his/her designee. At his or her discretion, the Assistant City Manager may forward an item requiring interpretation to the City of Walnut Planning Commission for determination. Any determination by the Planning Commission may be appealed to the City Council. All decisions by the City Council shall be deemed final.

In instances of conflicting regulations and standards, the standards and regulations contained in this Specific Plan shall take precedence over the WMC. If this Specific Plan is silent on an issue, then the standards in the WMC or other applicable city, state or federal code shall apply, as appropriate. The provisions in this Chapter are not intended to interfere with, abrogate, or annul any easement, covenant, or other agreement between parties.

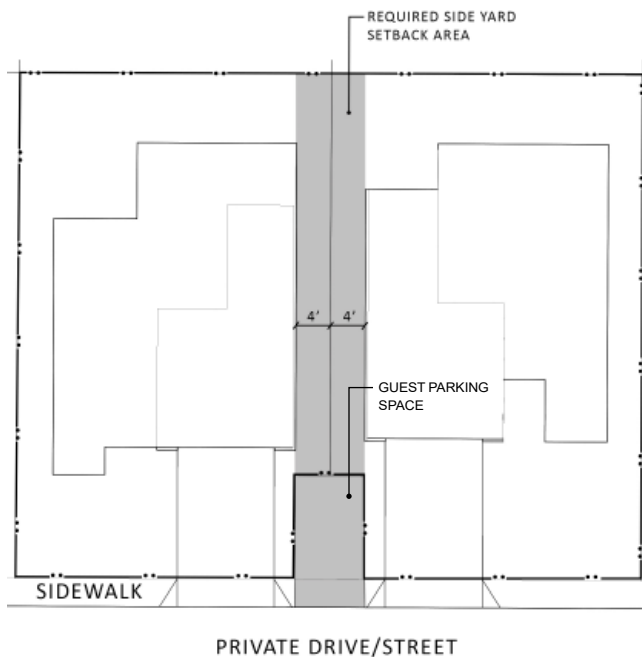
The City's current zoning for the Specific Plan area is "Residential Planned Development" (RPD) and "Heavy Commercial" (C-3). The City of Walnut approved a zoning overlay on October 23, 2013, pursuant to the certified Housing Element (2013-2021) and designated the site as "Mixed-Use/Housing Opportunity Overlay Zone 3" (MU-HOO-3). A Zone Change is proposed to change the zoning of the site to "The Terraces at Walnut Specific Plan."

5.2 DEFINITIONS

For the purposes of this Chapter, definitions shall be the same as described in Section 6.08.020, Definitions, of the WMC, except as otherwise defined below and within this Specific Plan.

- A. *Building, Height of.* The vertical distance measured from the top of the finished floor of the lowest level of the building to the highest point of the building, exclusive of penthouses, chimneys, ventilators, roof structures for the housing of elevators, stairways, tanks, fire or parapet walls, skylights, architectural features (such as domes, cupolas, towers, spires, etc.) limited to ten feet above the height limit, or similar equipment required to operate and maintain the building, provided that the space above the height limit does not provide additional floor space.
- B. *Dwelling, One-Family.* A detached building on one legal lot designed or used exclusively for the occupancy of one family and having a kitchen facility for only one family.
- C. *Front Elevation.* The elevation that fronts onto a street, drive or pedestrian paseo that includes pedestrian access to the building.
- D. *Lot, Building Area (or Lot Area).* The total area, measured in a horizontal plane, within the lot lines of a lot exclusive of any slopes greater than a 4:1 slope and any easement areas.
- E. *Lot Depth.* The average horizontal distance between the front and rear lot lines measured in the mean direction of the side lot lines. The depth of a cul-de-sac or knuckle lot shall be measured at mid-point of the front property line to the mid-point of the rear property line.
- F. *Lot Frontage.* The line where a lot abuts on a dedicated street or highway right-of-way line. Frontage is expressed in lineal feet and is measured along the right-of-way line.
- G. *Lot Width.* The horizontal distance between the side lot lines, measured at the mid-point of the side property lines.
- H. *Open Air Festival.* An organized event or series of events and performances held outdoors, such as a farmer's market.
- I. *Open Space, Usable.* Open spaces that may be used for the recreational enjoyment of residents and visitors, but also serve another function. An example of this is a fire lane or emergency vehicle access that could also be used as a trail.
- J. *Pageantry.* A type of signage that is intended to be elaborate and ceremonious. Examples include flags, banners, kiosks, and similar signage used for advertising, decorative purposes or to announce festivals and other special events.
- K. *Park.* Usable open space that may be used for the common recreational enjoyment of residents and visitors. These may be passive areas such as a grass/landscape area with benches and/or passive lighting or active areas with playgrounds, splash pads, and/or sports courts. Parks shall have a minimum dimension of 18 feet and a minimum area of 2,400 square feet.
- L. *Setback Line, Front Yard.* The line which defines the depth of the required front yard. The setback line is parallel with the front lot line.

- M. *Setback Line, Side Yard.* The line which defines the depth of the required side yard. The setback line is parallel with the side lot line, except if a common parking space on a separate lot is located between two separate lots. In said case, the setback line shall be as indicated in the exhibit below.



5.4 MINIMUM COMMON OPEN SPACE

The Specific Plan includes common open space elements providing passive recreational opportunities for residents of the Project area and the existing, adjacent neighborhood. Design guidelines for these spaces can be found in *Section 4.7, Landscape Design Guidelines*.

- **Neighborhood Park:** A neighborhood park with a minimum area of 0.5 acre shall be provided.
- **Pocket Parks and Usable Open Space:** A minimum of 1.5 acres shall be devoted to pocket parks and usable open space. Usable open spaces that double as emergency vehicle access may count towards this requirement.

All of the common open space mentioned above may count towards for local park code requirements (Quimby Act), except for those areas that also function as an emergency vehicle access. Changes to the proposed location and size of the open spaces may be implemented without amending this Specific Plan as long a minimum of 2.0 acres of common open space is provided.

5.3 ALLOWABLE DEVELOPMENT

The Specific Plan permits a range of development allowed once the Project is built-out, as specified in *Table 5.1, Allowable Development*. In no case shall development exceed the maximums identified in said table.

Table 5.1
Allowable Development

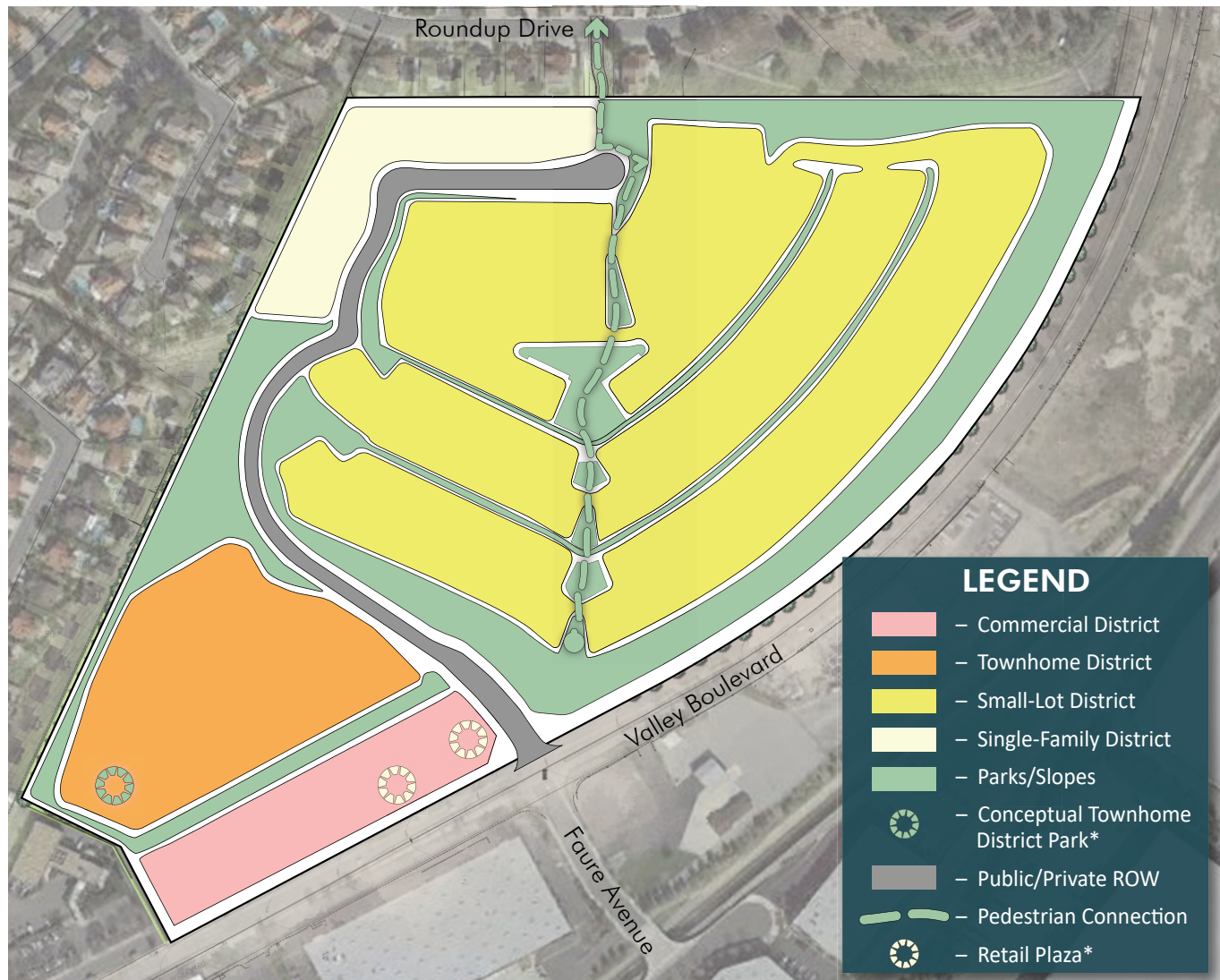
LAND USE TYPE	DEVELOPMENT RANGE (AT BUILD-OUT)
Residential	Up to 290 dwelling units
Retail/Office/Restaurants	Minimum 16,000 square feet; up to 30,000 square feet

5.5 LAND USE DISTRICTS

Exhibit 5.1, *Land Use Plan*, identifies the Districts within the Specific Plan area, which include:

- Single-Family District
- Small-Lot District
- Townhome District
- Commercial District
- Parks/Slopes

The permitted and conditionally permitted uses identified in Table 5.2, *The Terraces at Walnut Permitted Uses*, are permitted anywhere within the applicable Districts. Any other use or activity not listed in Table 5.2 of this Chapter may be permitted within The Terraces at Walnut Specific Plan area if the Assistant City Manager, or his/her designee determines that the use is similar to uses permitted in the Specific Plan area and consistent with the purpose of the Specific Plan



* The location and size of the Townhome District Park and retail plazas are conceptual in nature and may be relocated within the District. These elements will be reviewed as part of the Site Plan Review process.

N. T. S.

Exhibit 5.1, Land Use Plan

Table 5.2
The Terraces at Walnut Permitted Uses

USES	SINGLE-FAMILY DISTRICT	SMALL-LOT DISTRICT	TOWNHOME DISTRICT	COMMERCIAL DISTRICT	PARKS/SLOPES
ALCOHOLIC BEVERAGE MANUFACTURING WITH ACCESSORY TASTING FACILITIES, SMALL (EQUAL TO OR LESS THAN 6,000 SQUARE FEET), PER SECTION 5.6.2	–	–	–	P	–
ANTENNAS AND TELECOMMUNICATION FACILITIES	Per WMC Ch. 6.88	Per WMC Ch. 6.88	Per WMC Ch. 6.88	Per WMC Ch. 6.88	Per WMC Ch. 6.88
AUCTION SALES WITHIN AN ENCLOSED BUILDING	–	–	–	CUP	–
AUDITORIUMS AND CONFERENCE ROOMS	–	–	–	P	–
AUTOMOBILE RENTAL AGENCIES	–	–	–	P	–
BAKERY GOODS DISTRIBUTORS	–	–	–	P	–
BAKE SHOPS, INCLUDING BAKING ONLY WHEN INCIDENTAL TO RETAIL SALES FROM THE PREMISES	–	–	–	P	–
BANKS, SAVINGS AND LOAN AND CREDIT UNIONS	–	–	–	P	–
BARS AND COCKTAIL LOUNGES	–	–	–	CUP	–
BARBER AND BEAUTY SHOPS, INCLUDING ACCESSORY FOOT AND LEG MASSAGE				P	
BICYCLE SALES AND SERVICE	–	–	–	P	–
BICYCLE, SCOOTER AND SIMILAR VEHICLE RENTALS	–	–	–	P	–
BLUEPRINT SHOPS	–	–	–	P	–
BOOKBINDERIES	–	–	–	P	–
BOWLING ALLEYS	–	–	–	CUP	–
CAR WASHES	–	–	–	CUP	–
CATERING SERVICES, EXCLUDING TRUCK CATERING DEPOT	–	–	–	P	–
CHURCHES, TEMPLES AND OTHER PLACES OF RELIGIOUS WORSHIP	–	–	–	CUP	–
COLLEGES AND UNIVERSITIES	–	–	–	P	–
COMMUNITY SOCIAL CENTERS	–	–	–	P	–
CONVALESCENT OR REST HOMES	–	–	CUP	–	–
COPYING, DUPLICATING BUSINESSES	–	–	–	P	–
COSTUME DESIGN STUDIOS	–	–	–	P	–
DAY CARE FOR CHILDREN, FAMILY HOME	P	P	P	–	–
DENTAL CLINICS	–	–	–	P	–

P = PERMITTED BY RIGHT

CUP = CONDITIONAL USE PERMIT REQUIRED (PER CHAPTER 6.64 OF WMC)

– = PROHIBITED

Table 5.2, Cont.

USES	SINGLE-FAMILY DISTRICT	SMALL-LOT DISTRICT	TOWNHOME DISTRICT	COMMERCIAL DISTRICT	PARKS/SLOPES
DRAINAGE AND FLOOD CONTROL FACILITIES (Including, but not limited to, detention basins, water quality basins, bio-swales, etc.)	P	P	P	P	P
DRIVE-IN AND DRIVE-THROUGH BUSINESSES (I.E. SERVICE STATIONS, FAST-FOOD RESTAURANTS), PER SECTION 5.6.3	–	–	–	P (Up to 1), Otherwise, CUP	–
DRY CLEANING ESTABLISHMENTS	–	–	–	P	–
EDUCATIONAL INSTITUTIONS (INCLUDING ACCESSORY DAY NURSERIES FOR CHILDREN AND TUTORING AND LEARNING CENTERS)	–	–	–	CUP (Up to 1)	–
EMPLOYMENT AGENCIES	–	–	–	P	–
FILM PROCESSING	–	–	–	P	–
FURRIER SHOPS, INCLUDING ALTERATIONS	–	–	–	P	–
GROCERY STORES	–	–	–	P	–
GYMNASIUMS, YOGA STUDIOS, AND THE LIKE	–	–	–	P	–
HARDWARE STORES	–	–	–	P	–
HOMES FOR THE AGED PERSON, FOSTER FAMILY	P	P	P	–	–
HOMES FOR CHILDREN, FOSTER FAMILY	P	P	P	–	–
HOSPITALS	–	–	–	CUP	–
HOTELS AND MOTELS	–	–	–	CUP	–
INTERIOR DECORATING SHOPS	–	–	–	P	–
ITINERANT RESTAURANTS (E.G. FOOD TRUCKS)	–	–	–	P	–
JEWELRY STORES WITH INCIDENTAL REPAIRS	–	–	–	P	–
LABORATORIES, RESEARCH, TESTING, MEDICAL AND DENTAL	–	–	–	P	–
LOCKSMITH SHOPS	–	–	–	P	–
MANUFACTURER'S AGENT, CARRYING NO INVENTORY OTHER THAN SAMPLES	–	–	–	P	–
MASSAGE THERAPY	–	–	–	CUP	–
MEDICAL OFFICES	–	–	–	P	–
MULTIPLE DWELLING UNITS (FOR-SALE)	–	–	P	–	–
MUSEUMS	–	–	–	P	–

P = PERMITTED BY RIGHT

CUP = CONDITIONAL USE PERMIT REQUIRED (PER CHAPTER 6.64 OF WMC)

– = PROHIBITED

Table 5.2, Cont.

USES	SINGLE-FAMILY DISTRICT	SMALL-LOT DISTRICT	TOWNHOME DISTRICT	COMMERCIAL DISTRICT	PARKS/SLOPES
NURSERY SCHOOLS (PER SECTION 6.08.230 OF WMC)	–	–	–	CUP	–
ON-SITE CONSUMPTION OF ALCOHOL IN CONJUNCTION WITH A BONA-FIDE RESTAURANT	–	–	–	P	–
ONE-FAMILY DWELLINGS	P	P	P	–	–
OFFICES, BUSINESS AND PROFESSIONAL	–	–	–	P	–
OUTDOOR VENDOR (E.G. KIOSK)	–	–	–	P	–
PET SHOPS	–	–	–	P	–
PHOTOENGRAVING	–	–	–	P	–
PHOTOGRAPH STUDIOS	–	–	–	P	–
PARKS, PRIVATE AND PUBLIC	P	P	P	P	P
PRINTERS OR PUBLISHERS	–	–	–	P	–
PRIVATE RECREATIONAL CLUBS (INCLUDING ACCESSORY DAY NURSERIES FOR CHILDREN AND TUTORING AND LEARNING CENTERS)	–	–	–	CUP	–
PUBLIC BUILDINGS AND USES	CUP	CUP	CUP	CUP	CUP
PUBLIC UTILITIES OR UTILITIES OPERATED BY MUTUAL AGENCIES	CUP	CUP	CUP	CUP	CUP
RADIO AND TELEVISION BROADCASTING STUDIOS	–	–	–	P	–
RECORDING STUDIOS	–	–	–	P	–
RESTAURANTS AND OTHER EATING ESTABLISHMENTS, EXCLUDING DRIVE-IN AND DRIVE-THRU ESTABLISHMENTS	–	–	–	P	–
RETAIL ESTABLISHMENTS	–	–	–	P	–
SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION (E.G. WINE STORE)	–	–	–	P	–
SALON	–	–	–	P	–
SENIOR LIVING FACILITIES (RENTAL OR FOR-SALE)	–	CUP	CUP	–	–
SCHOOLS, ADULT PUBLIC, PRIVATE, BUSINESS AND PROFESSIONAL (PER SECTION 6.08.230 OF THE WMC)	–	–	–	CUP	–
SHOE REPAIR SHOPS	–	–	–	P	–
SHOESHINE STANDS, WITHIN A BUILDING	–	–	–	P	–
SKATING RINKS	–	–	–	P	–

P = PERMITTED BY RIGHT

CUP = CONDITIONAL USE PERMIT REQUIRED (PER CHAPTER 6.64 OF WMC)

– = PROHIBITED

Table 5.2, Cont.

USES	SINGLE-FAMILY DISTRICT	SMALL-LOT DISTRICT	TOWNHOME DISTRICT	COMMERCIAL DISTRICT	PARKS/ SLOPES
SWIMMING POOLS AND SPAS	P	P	P	P	P
TAILOR SHOPS	–	–	–	P	–
THEATERS	–	–	–	CUP	–
TOT LOT AND PLAYGROUND	P	P	P	P	P
TUTORING AND LEARNING CENTERS (PER SECTIONS 6.08.230 AND 4.12.130 OF THE WMC)	–	–	–	CUP (1 use max on site)	–
URGENT CARE FACILITIES, DIALYSIS CENTERS, AND THE LIKE	–	–	–	CUP (1 use max on site)	–
WALKING, RIDING AND HIKING TRAILS	P	P	P	P	P
WHOLESALE BUSINESSES WITH SAMPLES ON PREMISES	–	–	–	P	–

P = PERMITTED BY RIGHT
CUP = CONDITIONAL USE PERMIT REQUIRED (PER CHAPTER 6.64 OF WMC)
– = PROHIBITED

classifications. Should the Assistant City Manager, or his/her designee determine that a proposed activity would be similar to other uses permitted in the Specific Plan area, the Assistant City Manager, or his/her designee may, at his or her discretion, determine to permit the use or may require the applicant to seek approval for the activity by Conditional Use Permit and/or Site Plan/Architectural Review (SPC/AR), subject to the provisions of Chapter 6.64 and Chapter 6.84 of the WMC, respectively.

All uses identified within this table shall also comply with all applicable County, State, and Federal regulations.

5.5.1 Accessory Uses

A. *Single-Family, Small-Lot, and Townhome Districts*

The following are permitted accessory uses within the Single-Family, Small-Lot, and/or Townhome Districts.

1. Accessory residential structures (including, but not limited to, private garages, trash enclosures, electric vehicle charging stations) are permitted on any site containing a principal residential use.
2. Agricultural crops (This subsection shall not be construed to permit roadside stands or signs advertising products produced on the premises). This shall not include cannabis/marijuana uses, which are subject to the provisions of the WMC.
3. Dogs, cats, rabbits, and other household pets (not to exceed a total of (3) three over (6) six months of age. Rabbits must be kept in secured area).
4. Accessory housing within the Single-Family District only, per Section 6.08.210 of the WMC.
5. Home occupations per Section 6.08.180 of the WMC.
6. Temporary real estate tract office, for the purpose of conducting sales of lots in the subdivision upon which such office is located, provided such office shall not be used to conduct a general real estate business. At the end of two (2) years from final construction, the temporary use shall end, except that the Planning Commission may, upon a showing of need by the owner of the property and/or applicant, extend the permitted time for a period not to exceed one (1) additional year. The Assistant City Manager, or designee, may

approve the use of the model homes and/or the temporary real estate tract office for the sale of homes in other subdivisions within the City by the same developer.

7. Temporary storage of building materials used in the construction of a building or building project for which the owner or developer has a valid construction or grading permit, during construction and 30 days from the final completion date, provided that any lot or parcel of land so used shall be a part of the building project or on property adjacent to the construction site. Temporary structures for the housing of tools and equipment or containing supervisory offices in connection with the construction may be established and maintained during the construction of the project. Such temporary structures shall not be used for any temporary or permanent dwelling purposes.
8. Auditoriums and conference rooms may be allowed as an accessory use to a primary use such as a church, public building, or a leasing building, provided that said auditoriums and conference rooms are ancillary to the primary use and do not generate additional trips.

B. Commercial District

The following are permitted accessory uses within the Commercial District.

1. Accessory commercial structures (including, but not limited to, photovoltaic panels covering parking spaces, trash enclosures, electric vehicle charging stations) are permitted on any site containing a principal commercial use.
2. Temporary storage of building materials used in the construction of a building or building project for which the owner or developer has a valid construction or grading permit, during construction and 30 days from the final completion date, provided that any lot or parcel of land so used shall be a part of the building project or on property adjacent to the construction site. Temporary structures for the housing of tools and equipment or containing supervisory offices in connection with the construction may be established and maintained during the construction of the project. Such temporary structures shall not be used for any temporary or permanent dwelling purposes.
3. Limited manufacturing, including fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises, and provided any such activity does not exceed any of the following restrictions:
 - a. Such activity shall be restricted to the ground floor of the building(s) and shall not occupy more than 25 percent of such ground floor area.

- b. Not more than five (5) employees shall be engaged in such activity.
 - c. A commercial appearance shall be maintained by office or window display space or both, across all the streets or frontages of the building or buildings, except doorways, to a depth of not less than two (2) feet.
 - d. Any portion of the building(s) devoted to such activity shall be located a minimum of 50 feet to any Single-Family District, Small-Lot District, or off-site residential zone.
 - e. The building shall be so constructed, the machinery and equipment shall be so installed and maintained, and the activity shall be so conducted, that all noise, vibration, dust, odor, and all other objectionable factors shall be confined or reduced to the extent that no annoyance or injury will result to persons or property in the vicinity.
 - f. Any such activity shall be conducted wholly within a completely enclosed building.
4. Open storage of goods and materials as an accessory to the permitted use, subject to approval of a Conditional Use Permit and subject to the regulations within Section 6.08.220 of the WMC.
5. Ceramics manufacturing where the kiln space does not exceed 16 cubic feet.
6. Amusement devices (such as, but not limited to: arcade games, pool tables, and computers for gaming), not exceeding three (3) in number. Uses with over three (3) amusement devices are not permitted.
7. Glass edging when accessory to furniture sales.
8. Curbs reserved for the loading and unloading of rideshare vehicles, buses, and/or taxis within the Commercial District only.
9. Auditoriums and conference rooms may be allowed as an accessory use to a primary office or business use.
10. Pet hotels (e.g. pet boarding) may be allowed as an accessory use to a Pet Shop, subject to a CUP approval.
11. Barber and Beauty Shops may have accessory foot, leg, hand, and arm massage as part of the services provided for the use (e.g. manicure, pedicure). The area devoted to this, or any accessory use, shall occupy no more than 10 percent of the area of the principal use. Where more than one accessory use occurs on a site, the total aggregate of all accessory uses must be equal to or less than 10 percent.

12. Accessory beer, wine, or distilled spirit tastings is permitted for any restaurant, store selling alcohol for off-site consumption (e.g. wine store), or alcoholic beverage manufacturing facility, provided that area devoted to tastings shall be parked at the same rate as a restaurant or bar. For a store selling alcohol for off-site consumption (e.g. wine store), the area devoted to tastings shall be limited to 15 percent of the use. All such uses described within this section shall have an active, valid license from the California Department of Alcoholic Beverage Control (ABC) Board, as applicable.
13. Up to four (4) outdoor vendors (e.g. kiosks) are considered accessory and do not count towards the maximum square footage allowed for the Commercial District. Furthermore, these four (4) outdoor vendors do not require additional parking, provided each outdoor vendor does not exceed 100 square feet (inclusive of bar/outdoor seating) and are not enclosed. Any outdoor vendor in excess of 100 square feet or excess of four (4) such uses shall count towards the maximum allowed square footage and shall be parked per the provisions of Section 5.8. Tents and other shade structures may be permitted for all outdoor vendors; however, such elements shall be decorative and consistent with the architectural theme of the commercial district. Advertising and/or product branding shall be prohibited on said tent/shade structures.
14. Entertainment, as defined in Section 6.08.190 of the WMC, is permitted as an accessory use for any restaurant, store selling alcohol for off-site consumption (e.g. wine store), or alcoholic beverage manufacturing facility, provided that the noise complies with Chapter 3.40 of the WMC (Noise Ordinance). Entertainment may be conducted outdoors within the Commercial District, provided that no amplifiers or speakers are used to project any sound, the outdoor entertainment is conducted between 9 A.M. and 10 P.M., and that any noise complies with the City's Noise Ordinance.

5.5.2 Prohibited Uses

The following uses are prohibited within the Specific Plan area:

- Adult businesses.
- Alcoholic beverage manufacturing facilities, large.
- Agricultural, industrial and/or contractor equipment storage and/or rental facilities, permanent.
- Animal hospitals and clinics.
- Apiaries.
- Automobile service stations.
- Automobile/RV storage, repair, repainting and/or wrecking.
- Boarding houses.
- Cemeteries, mausoleums, crematories, funeral homes, mortuaries and the like.
- Cleaning, dyeing and laundry plants.
- Commercial dairies.
- Commercial coaches and modular trailers, Permanent.
- Dump sites and hazardous waste management facilities.
- Fortune telling businesses.
- Kennels.
- Large collection facilities.
- Manufacturing uses (except for small craft alcoholic beverage manufacturing facilities and limited accessory manufacturing discussed in *Section 5.5.1.B.3*).
- Medical marijuana dispensary.
- Mining and processing.
- Pawn shops.
- Public dances (as defined in Section 6.08.190 of the WMC).
- Solid waste transfer stations.
- Truck terminals.
- Warehouses.

5.5.3 Temporary Uses

The following temporary buildings, structures and uses shall be permitted within the location of such use subject to the approval of a Temporary Use Permit, when required by the WMC. All temporary structures and uses shall comply with all applicable Los Angeles County Fire Department (LACFD) regulations.

- A. Open Air Festival. The temporary use of premises within the Commercial District for promotional or community events, such as a farmer's market.
- B. Temporary, seasonal open storage/sales of goods and materials, such as Christmas tree and pumpkin sales, pursuant to the WMC.

5.6 DEVELOPMENT STANDARDS

The property development standards set forth in this Chapter shall apply to all land and buildings located within the confines of The Terraces at Walnut Specific Plan. For detailed development standards and setbacks, refer to *Table 5.3, The Terraces at Walnut Development Standards*. Additional standards include:

- All single-family dwellings shall have a varied front-yard setback. No more than two adjacent may be at the minimum setback requirement. To qualify as a varied front setback, the front yard setback must be at least five (5) feet more than the minimum required setback.
- All corner lots and reversed corner lots shall maintain a triangular area for vision clearance purposes per Section 6.08.090 of the WMC.
- Each single-family home shall be limited to one (1) gas-burning fireplace structure per single-family lot. An additional four (4) gas-burning fireplace structures are allowed within the common areas of the project. Enclosed fireplaces that are self-contained and ventless are permitted and exempt from this requirement. In no case are wood-burning fireplace structures permitted within the Specific Plan area.
- In the Single-Family and Townhome Districts, there shall be a minimum setback of 35 feet to a single-family lot abutting the Specific Plan area. Detached accessory structures may encroach up to 20 feet into this setback, provided that the height of the accessory structure does not exceed one story or 15 feet in height. Unenclosed, attached accessory structures such as balconies and outdoor rooms may encroach up to 15 feet into this setback.
- For every three (3) existing trees removed, one 24-inch minimum size box tree shall be planted.

5.6.1 Height Districts

The required height limits for the Specific Plan area are shown in *Exhibit 5.2, Height Districts*. The intent of the height districts is to limit the heights of the structures along sensitive edges and to differentiate the massing throughout the community. Additionally, detached accessory structures may have a maximum height of one story or 15 feet in all Districts.

5.6.2 Alcoholic Beverage Manufacturing Requirements

In addition to the design guidelines and development standards within this Specific Plan, the following requirements shall apply to craft alcoholic beverage manufacturing uses and accessory tasting rooms.

- A. An alcoholic beverage manufacturing and accessory tasting room use shall comply with all federal, state and local laws and regulations, including a valid license from the California ABC Board for the specific type of alcoholic beverage manufacturing occurring on site.
- B. An alcoholic beverage manufacturing and accessory tasting room use shall not exceed 6,000 square feet of net floor area.
- C. An alcoholic beverage manufacturing use may not exceed production of 15,000 barrels per year.
- D. All production activities and on-site storage shall be located completely within the alcoholic beverage manufacturing facility. Off-site storage for an alcoholic beverage manufacturing facility is permitted, provided it meets all applicable provisions of the underlying zone.

Table 5.3
The Terraces at Walnut Development Standards

STANDARD	SINGLE-FAMILY DISTRICT	SMALL-LOT DISTRICT	TOWNHOME DISTRICT	COMMERCIAL DISTRICT
LOT CRITERIA				
MINIMUM LOT WIDTH	60'	35'	75'	60'
MINIMUM LOT DEPTH	120'	50'	100'	100'
MINIMUM LOT FRONTAGE	40'	20'	20'	60'
MINIMUM LOT AREA	7,200 sq. ft.	2,000 sq. ft.	9,000 sq. ft.	7,200 sq. ft.
MINIMUM LOT AREA PER UNIT	7,200 sq. ft.	1,600 sq. ft.	1,600 sq. ft.	N/A
MINIMUM SETBACKS (FROM PUBLIC/PRIVATE RIGHT-OF-WAY OR PROPERTY LINE)				
FRONT	20'	5'	10'	15'
GARAGE (FRONT-FACING)	25'	20'	20'	N/A
SIDE	5' on one side, 10' on other, 10' on corner	4'	5'	If adjacent to residential, 10'; otherwise, 0'
REAR	35'*	5', except when at the toe of slope of a retaining or MSE wall in excess of 10 feet in height: 9'	10'	If adjacent to residential, 10'; otherwise, 0'
MINIMUM BUILDING SEPARATION				
HABITABLE SPACE TO HABITABLE SPACE	10' or per CBC	8' or per CBC	15' or per CBC	0' or per CBC
MINIMUM FLOOR AREA				
MINIMUM FLOOR AREA PER UNIT	1,500 sq. ft.	750 sq. ft.	750 sq. ft.	N/A
LOT COVERAGE				
MAXIMUM LOT COVERAGE	40%	80%	80%	N/A
MINIMUM PRIVATE OPEN SPACE				
MINIMUM OPEN SPACE PER UNIT	900 sq. ft. enclosed in a yard and uncovered	60 sq. ft. (may be covered, i.e. porches)	60 sq. ft. (may be covered, i.e. porches)	N/A
MINIMUM DIMENSION	15'	6'	6'	N/A

* Detached accessory structures (e.g. patio covers, fireplaces) may encroach up to 20 feet into this setback, provided that the height of the accessory does not exceed one story or 15 feet in height. Unenclosed, attached accessory structures such as balconies and outdoor rooms may encroach up to 15 feet into this setback. In no case shall the accessory structure(s) cover more than 20 percent of the required rear yard setback area.



Exhibit 5.2, Height Districts

- E. The display of alcoholic beverages shall be located within the alcoholic beverage manufacturing and accessory tasting room facility.
- F. The alcoholic beverage manufacturing and accessory tasting room use shall be allowed to operate and be open to the public during the following hours:
 - 1. Manufacturing and Operation: 7:00 A.M. to 7:00 P.M. Monday through Saturday; and
 - 2. Accessory Tasting Room Open to the Public: 11:00 A.M. to 10:00 P.M. daily
- G. Service trucks used for the purposes of loading and unloading materials, ingredients, products, and equipment shall be restricted to the hours of 7:00 A.M. to 6:00 P.M. Monday through Friday and 9:00 A.M. to 6:00 P.M. on Saturday.
- H. The consumption, tasting and sales of alcoholic beverages shall be limited to only those products produced on site.
- I. Ancillary retail sales shall be limited to only those retail items directly associated with the on-site alcoholic beverage manufacturing facility and accessory tasting room.
- J. The alcoholic beverage manufacturing use or accessory tasting room shall not charge an admission fee, cover charge or require a minimum purchase.
- K. A security plan, including a video surveillance system and exterior lighting plan, satisfactory to the Assistant City Manager, or his/her designee, shall be submitted to and approved prior to the issuing of a Certificate of Occupancy. The video surveillance system shall be installed to assist with monitoring the property on both the interior and exterior. A Digital Video Recorder (DVR) or similar video-recording device, capable of exporting images in TIFF, BMP, or JPG format shall be used. Recording shall be retained for no less than 30 days. Exterior lighting shall clearly illuminate the common areas surrounding the building including, but not limited to, the entrance and exit doors, as well as the business address.
- L. No more than ten percent of the window display area (including any transparent doors) shall be allowed to bear advertising, signs or any other obstructions. All advertising, signage or other obstructions shall be placed and maintained to ensure a clear and unobstructed view of the establishment's interior. Window signs displaying prices shall be prohibited. No advertising or signage shall be placed in the area above three feet or below six feet in height of all windows measured from grade.
- M. Tours of the alcoholic beverage manufacturing and accessory tasting room use shall occur on regularly scheduled days and times. The operator shall ensure that tours do not negatively impact adjacent businesses or property owners.
- N. Alcoholic beverage manufacturing and accessory tasting room uses shall be restricted from utilizing ventilation practices that may negatively impact residences and may be required to install mechanical air filtration systems to the satisfaction of the Assistant City Manager, or his/her designee.

5.6.3 Drive-Thru Facilities

A. Queuing Space Length.

1. Restaurants. A minimum queuing distance of one hundred fifty feet (150') shall be provided from the forwardmost drive-up window to the entrance to the queuing space. The queuing space shall be located completely clear of any adjacent public right-of-way and all on-site circulation aisles.
2. Drug Stores, ATM's, and Banks. A minimum queuing distance of one hundred feet (100') shall be provided from the forwardmost drive-up window to the entrance to the queuing space. The queuing space shall be located completely clear of any adjacent public right-of-way and all on-site circulation aisles.

B. Drive-Thru Hours of Operation. The drive-thru may be allowed to operate between the hours of 5 A.M. and midnight.

C. Menu Board Location. Each menu board shall be located to provide adequate distance from the menu board to the entrance to the queuing space.

D. Menu Board Size. The size of a menu board shall be regulated per Section 5.10.3.C of this Specific Plan.

E. All drive-thru related infrastructure (e.g. menu reader board(s), squawk box, height restriction bar, directional signage, etc) shall be decorative and of enhanced design features.

5.7 ALLOWABLE SETBACK ENCROACHMENTS

An encroachment is a permitted projection into a setback. In all cases, all encroachments shall comply with the California Building Code (CBC), as well as applicable codes and regulations. The permitted encroachments are discussed below.

A. Unless identified in *Table 5.3, The Terraces at Walnut Development Standards*, uncovered first floor porches and platforms, covered porches, upper-floor balconies, and fire escapes may encroach up to 3 feet into all required setbacks, except that uncovered first floor porches and platforms, and covered porches for one-family dwellings within the Small-Lot District may encroach up to 6 feet into the required front setback. The roof of covered porches and balconies shall have a minimum 8-foot vertical clearance from the floor below. Covered porches shall be open on a minimum of three (3) sides.

B. ADA accessible ramps (which may include a trellis or other architectural feature that is integrated into the building and does not exceed the first-floor plate height) may encroach up to five (5) feet into any required setback.

C. Stairways, cornices, eaves, belt courses, sills, buttresses, or other similar architectural features may encroach up to 24 inches into the front setback and 30 inches into the side and rear setbacks.

- D. Permitted attached fireplace structures not wider than eight (8) feet measured in the general direction of the wall of which it is a part may encroach up to 24 inches into the front setback and 30 inches into the side setbacks. Permitted stand-alone fireplaces shall be considered a detached accessory structure. Refer to Section 5.6, Development Standards for permitted fireplace structures.
- E. Planting boxes or masonry planters not exceeding 42 inches in height may encroach up to 24 inches into the front setback, 30 inches into the side setbacks, and up to the rear property line.
- F. Awnings, lighting fixtures, and canopies may encroach up to three (3) feet into all required setbacks.
- G. Monumentation, roads, drives, parking lots, hardscape, guard railings, walkways, detention/retention basins and vaults, walls, and fences may encroach into any setback, subject to all applicable LACFD regulations and requirements in Section 5.9, *Fences and Walls*.
- H. Pageantry and signs may encroach into any setback, subject to the requirements in Section 5.10, *Signage*.

5.8 OFF-STREET PARKING STANDARDS

Off-street parking facilities are to be provided as shown on *Table 5.4, Parking Standards* of this Development Plan. In calculating the off-street parking requirement, the gross square footage of the proposed development is multiplied by the values indicated in *Table 5.4, Parking Standards*. For example, a development including 10,000 square feet of retail and a restaurant with 100 fixed seats (indoor and outdoor) would be required to provide 74 parking spaces (10,000/250 plus 100/3).

The Assistant City Manager, or his/her designee, may reserve the right to interpret the requirements listed in *Table 5.4, Parking Standards* on a case-by-case basis.

- A. Parking requirements for uses not indicated in *Table 5.4, Parking Standards*, shall be reviewed by the Assistant City Manager, or his/her designee, and shall make a determination on parking requirements based on submitted materials for justification by an applicant or an applicant's representative. If necessary, a parking study may be required as part of the submittal requirements for review.
- B. Where applicable, parking on all private streets shall count towards the required residential visitor parking when the on-street parking is directly adjacent to the unit(s) the visitor parking spaces serves.
- C. Parking may be provided on a different site than the use is located on, provided that the required off-street parking space is provided within the Specific Plan area, and the parking space is part of the same community or shopping center that the use is located in. If determined necessary by the Assistant City Manager, a binding agreement

Table 5.4
Parking Standards

USE	MINIMUM VEHICULAR PARKING REQUIRED
BOWLING ALLEYS	3 spaces per lane.
BUSINESS AND PROFESSIONAL OFFICES AND RETAIL ESTABLISHMENTS	1 parking space for each 250 square feet of floor area.
CHURCHES, TEMPLES AND OTHER PLACES OF RELIGIOUS WORSHIP	1 parking space for each 3 fixed seats and for every 45 square feet of seating area where there are no fixed seats, within the main chapel, and 1 parking space for each 400 square feet of floor area outside the main chapel.
CONVALESCENT OR REST HOMES	1 parking space for each resident. If employee residences are to be provided, they shall be provided at 2.5 spaces per unit.
HOSPITALS	1.5 parking spaces per patient bed
HOTELS AND MOTELS	1 space per guestroom without kitchen facilities, 2 spaces per guestrooms with kitchen facilities.
NURSERY SCHOOLS	1 parking space for each employee, and loading and unloading space of sufficient size to prevent traffic congestion on the street.
ONE-FAMILY DWELLINGS* - THE MOST RESTRICTIVE OF: <ul style="list-style-type: none"> • 1-4 BEDROOMS • 5 BEDROOMS • 6-7 BEDROOMS • 8+ BEDROOMS AND <ul style="list-style-type: none"> • LESS THAN 3,000 SQUARE FEET • 3,001 TO 4,500 SQUARE FEET • 4,501 TO 6,000 SQUARE FEET • 6,001 SQUARE FEET AND GREATER 	2 spaces within an enclosed garage and 1 open space (i.e. driveway). 3 spaces within an enclosed garage and 2 open spaces (i.e. driveway). 4 spaces within an enclosed garage and 2 open spaces (i.e. driveway). 4 spaces within an enclosed garage, plus 1 additional garage space for each bedroom over 7 and 2 open spaces (i.e. driveway). 2 spaces within an enclosed garage and 1 open space (i.e. driveway). 3 spaces within an enclosed garage and 2 open spaces (i.e. driveway). 4 spaces within an enclosed garage and 2 open spaces (i.e. driveway). 5, plus 1 additional space for each 1,000 square feet of floor area or fraction thereof over 7,001 square feet
GUEST PARKING <ul style="list-style-type: none"> • LESS THAN 3,000 SQUARE FEET • 3,001 SQUARE FEET AND GREATER 	0.3 guest space per unit 0.5 guest spaces per unit
ATTACHED FAMILY DWELLINGS	2.0 enclosed garage spaces per unit 0.5 guest space per unit
PUBLIC UTILITIES OR UTILITIES OPERATED BY MUTUAL AGENCIES	1 parking space for each 2 employees on the largest shift and 1 parking space for each vehicle used in connection with the use (minimum 2 spaces).
RESTAURANTS, CAFES, NIGHTCLUBS, BARS AND OTHER SIMILAR PLACES PREPARING FOOD OR REFRESHMENT	1 parking space for each 3 fixed seats or 1 parking space for every 45 square feet of seating area where there are no fixed seats in the dining area and 1 space for each 250 square feet of the remaining area. Businesses that use less than 25% of the area for preparing and dispensing food are exempt from this requirement.
SCHOOLS, ADULT PUBLIC, PRIVATE, BUSINESS PROFESSIONAL, COLLEGES AND UNIVERSITIES	1 parking space for each 3 students plus 1 parking space for each 2 employees.
SENIOR LIVING FACILITIES (RENTAL OR FOR-SALE)	Per Parking Study recommendation (subject to Planning Commission approval)
SKATING RINKS	1 parking space for each 3 fixed seats and for every 21 square feet of seating area where there are no fixed seats, and 1 parking space for each 250 square feet of floor area not used for seating.
SWIMMING POOLS AND SPAS, COMMERCIAL	1 parking space for each 1,000 square feet of area on the lot on which such use is established. Plus, 1 parking space for each 2 employees. (Minimum of 10 spaces shall be provided).
THEATERS, AUDITORIUMS, CONFERENCE ROOMS, GYMNASIUMS AND SIMILAR USES	1 parking space for each 3 fixed seats or 1 parking space for every 21 square feet of seating area where there are no fixed seats.

* Tandem parking is permitted within an enclosed garage and for open parking spaces. Within a garage, tandem parking is limited to not more than one vehicle behind another and a minimum of two parking spaces provided side-by-side at the garage entrance.

shall be prepared and recorded that maintains the parking site for the same period of time as the lease or purchase of the site where the use is located. Deviations from these requirements will require a Conditional Use Permit pursuant to Chapter 6.64 of the WMC.

- D. All parking requirements within this Section are applicable to any future additions, remodels, expansions, intensifications of use, etc. for all uses.

5.8.1 Parking Standard Modifications

For parking facilities providing parking to two (2) or more of Commercial District uses identified in *Table 5.4, Parking Standards* with differing peak demands, reductions of up to 15 percent from the above parking standards may be permitted by the Assistant City Manager, or his/her designee, provided it can be demonstrated that sufficient parking would be provided within the Commercial District. Reductions of more than 15 percent from the above parking standards may be permitted through a Conditional Use Permit pursuant to Chapter 6.64 of the WMC. Said reduction shall require the submittal of a shared parking study, prepared by a parking consulting firm acceptable to the Assistant City Manager or his/her designee. This shared parking study shall determine the number of parking spaces necessary for the proposed mix of uses.

If a development utilizes a parking reduction via a shared parking study, no new shared parking study shall be required once the initial certificate of occupancy has been issued so long as:

- The aggregate developed square footage is not increased;
- The proposed use does not require a Conditional Use Permit approval; or
- There is no increase in the parking demand previously analyzed in the shared parking study (i.e. office uses are proposed to be converted to retail uses).

If any of the above events is to occur, the development must comply with the parking requirements identified in *Table 5.4, Parking Standards*, or a new shared parking study and Conditional Use Permit shall be required.

5.8.2 Parking Design Standards

All parking lots shall be governed by the requirements below:

- A. Open parking spaces shall have a minimum width of 9 feet and a minimum length of 20 feet. Single parking spaces located in between houses within the Small-Lot District may have a minimum width of 8 feet and a minimum length of 18 feet. Overhangs may be included in these required dimensions, pursuant to Paragraph E, below.
- B. All parallel parking spaces shall have a minimum width of 8 feet and a minimum length of 22 feet.
- C. Parking spaces within a residential garage shall have a minimum width of 10 feet and a minimum length of 20 feet.
- D. Maneuvering areas adjacent to parking spaces, required driveways and turn-around areas shall be subject to Section 6.68.050 of the WMC.

- E. Overhangs up to two (2) feet may be included as part of the required parking space dimension, as long as the overhang is not part of a required ADA walkway or parking space.
- F. All designated fire access ways shall comply with LACFD requirements.
- G. Except for one-family homes, required parking for three (3) or more vehicles shall be arranged so that vehicular traffic does not back onto the public or private street.
- H. Parking areas having more than one (1) aisle shall have directional signs.
- I. Paving, marking of parking spaces and wheelstops shall be subject to Section 6.68.070 of the WMC.
- J. With the exception of driveways leading to a single-family dwelling unit or common parking spaces, no portion of a required front yard may be developed for parking. Other than accessways, driveways, walkways and other permitted encroachments, the front setback area shall consist of landscape.
- K. Within the Small-Lot and Townhome Districts, no walls are required for parking spaces or lots abutting a side or rear property line of parcels within the Open Space, Small-Lot, and Single-Family Districts and shall not be subject to Section 6.68.070(D)(2). Parking lots that abut an off-site residential zone side or rear yard shall comply with said Section of the WMC.
- L. Outdoor parking lots in excess of 15 spaces shall devote a minimum of 7 percent of the open parking area to landscape. No planting area less than 30 square feet in area or less than 4 feet in width shall be included as part of the required landscape area.
- M. Commercial uses shall provide clearly marked rideshare areas within the parking lot that allow for passenger loading and drop-off.

5.9 FENCES AND WALLS

5.9.1 Intersection Sight Line Standards

All corner lots and reversed corner lots subject to yard requirements shall maintain, for safety vision purposes, a triangular area, one of which shall be formed by the lot front and side lines separating the lot from the streets, and the sides of such triangle forming the corner angle shall each be 15 feet in length, measured from the aforementioned angle. The third side of the triangle shall be a straight line connecting the last two mentioned points which are 15 feet from the intersection of the front and side lot lines; and within the area comprising the triangle, no tree shall be allowed, nor any fence, shrub, or other physical obstruction higher than 42 inches above the established grade shall be permitted.

5.9.2 Wall and Fence Standards

Walls and fences may encroach into all setbacks and be located on a side or rear property line, except that they shall in all events be located outside of the intersection sight line area, defined in *Section 5.9.1*, above. Fences and walls are measured from finished grade of the exposed wall to the uppermost portion of the fence or wall. Fences and walls are also governed by the following requirements.

- A. The Specific Plan area may include multiple Mechanically Stabilized Earth (MSE) walls within the Project site. Refer to *Exhibit 3.8, Conceptual Wall and Fence Plan*, for a plan depicting the conceptual location of the Project's walls and fences. These walls shall meet the following criteria:
 - a. These walls shall be constructed utilizing the Mechanically Stabilized Earth (MSE) system, with soil pockets throughout the wall systems. The soil pockets shall be planted with vines, or other type of climbing plant.
 - b. There shall be a minimum of five (5) feet of separation between the walls and a sidewalk, curb, or a private rear yard for a one-family home at the base of the wall to allow for additional landscape screening and/or a maintenance area.
 - c. Portions of the MSE wall within the Townhome District facing the single-family homes to the west of the Project site shall be set back a minimum of 8 feet, which will consist of landscape screening and a maintenance area.
 - d. Portions of the MSE wall within the Commercial District parallel to Valley Boulevard shall be set back a minimum of 30 feet, which will consist of landscape, access drives, pedestrian paths, and/or water quality treatment facilities.
- B. Except for the MSE walls described in *Subsection A*, above, walls, fences and hedges within the front yard setback area shall be limited to 36 inches in height.
- C. All other walls, fences and hedges not mentioned in this Section shall be limited to six (6) feet in height. Excluding the MSE walls described in *Subsection A*, above, over-height walls shall be subject to discretionary review by the Assistant City Manager, or his/her designee, and be subject to the provisions in *Section 6.08.110* of the WMC.

- D. Where a retaining wall protects a cut below the natural grade and is located on a line separating lots, such retaining wall may be topped by a fence, wall, or hedge not more than 42 inches in height that would otherwise be permitted at the location if no retaining wall existed.
- E. Where a retaining wall contains a fill, the height of the retaining wall built to retain the fill shall contribute to the allowable height of a fence, wall, or hedge; provided, that in any event a protective fence or wall not more than 42 inches in height may be erected at the top of the retaining wall, and any portion of such fence above the six (6)-foot maximum height shall be an open work fence or a view wall (i.e. tempered glass). An open work fence means the solid portions constitute not more than 50 percent of the total surface area of the fence.
- F. Barbed wire, wire (including razor wire), electronically charged fences, plain exposed concrete block, plastic materials, chain link and grape stakes are prohibited materials for fences and walls. However, chain link may be used on a temporary basis at construction sites. The temporary fencing shall be removed upon completion of construction.
- G. The design of all walls and fences shall be reviewed by the Assistant City Manager, Planning Commission, and/or City Council.

5.10 SIGNAGE

Table 5.5, Permitted Sign Matrix, identifies the permitted signs within the Project site. The Development Standards and design guidelines governing signage within the Specific Plan area shall be as provided within this Section and *Section 4.8, Commercial District Signage Guidelines*, respectively.

5.10.1 Exempted Signs

The following signs and/or sign structures are exempt from any sign permit requirement as identified in Section 6.92.040 of the WMC; provided, however, that such signs shall comply with all other applicable requirements of the Specific Plan, WMC, and/or applicable HOA provisions.

- A. All signs identified in Section 6.92.040(E) of the WMC.
- B. Temporary contractor's, future development and building sale signs that comply with the provisions in the WMC.
- C. *Public Notices and Signs*. Public notices posted pursuant to law, signs erected by governmental agencies and public utilities and warning or information signs required by law for public health and safety.
- D. *Residential Sale Signs*. For buildings consisting of six (6) or fewer dwelling units, one (1) sign offering realty for sale is permitted per dwelling unit and shall be subject to Section 6.92.070(A) of the WMC. For buildings consisting of more than six (6) dwelling units, one (1) sign offering realty for sale is permitted per building. Said sign shall comply with Section 6.92.070(A) of the WMC

Table 5.5
Permitted Sign Matrix

SIGN TYPE	NUMBER OF PERMITTED SIGNS	MAX. SIGN AREA PER SIGN FACE	MIN. SETBACK (FREESTANDING)	MAX. HEIGHT	OTHER REQUIREMENTS
SMALL-LOT AND TOWNHOME DISTRICT SIGNS					
RESIDENTIAL MONUMENT	1 per Small-Lot or Townhome District development.	24 SF (3' max. height)	2' from back of sidewalk or ROW.	4' for sign structure.	Must be 100' from another monument sign.
COMMERCIAL DISTRICT SIGNAGE					
DISTRICT MONUMENT SIGNS	3, provided each monument sign is separated by 150'.	2 signs may be up to 50 SF, 3rd sign up to 36 SF. Minor tenant identification up to 6 SF, major tenant identification up to 20 SF.	2' from back of sidewalk or ROW.	8'	May include shopping center name, tenant identification, and/or center address.
TENANT IDENTIFICATION WALL SIGNS	1 per street frontage or common parking area.	1 SF per each lineal foot of business frontage.	N/A	N/A	Not to exceed 80% of the lineal business frontage. Must be parallel to wall. Not permitted if projecting sign is on the same elevation for the use.
TENANT IDENTIFICATION PROJECTING WALL SIGNS	1 per customer entrance.	15 SF for minor tenants ($\leq 10,000$ SF). 75 SF for major tenants ($> 10,000$ SF).	N/A	N/A	Not permitted if wall sign is on the same elevation for the use.
TENANT IDENTIFICATION CANOPY SIGNS	1 per use.	6 SF	N/A	N/A	Shall be located underneath canopy.
SERVICE ENTRANCE IDENTIFICATION SIGNS	1 per use.	2 SF	N/A	N/A	Shall be unlighted and located at rear or side of building. Must be parallel to wall.
CHANGEABLE SIGNAGE (COMMERCIAL DISTRICT ONLY)					
PAGEENTRY	No limit.	24 SF	Same as Commercial District setbacks.	20'	
MARQUEE SIGNS	1 per use.	900 SF	10' from ROW.	N/A	Permitted only for movie theater, museums and the like. Does not count towards square footage for tenant identification.
DIRECTIONAL SIGNAGE					
DIRECTIONAL SIGNS	No limit.	18 SF	Outside of "Limited Use Area."	6'	Shall be reviewed by City Engineer.
PROJECT DIRECTORIES WITH MAPS	One per street, parking area and/or pedestrian frontage.	32 SF	Same as Commercial District setbacks.	8'	

SF = Square Feet
ROW = Right of Way

except that the sign may be up to 32 square feet in area, provided that the sign would accommodate information for more than one (1) unit for sale.

E. *Open House Signs.* One (1) open house sign is permitted per dwelling unit and shall be subject to Section 6.92.070(B) of the WMC.

F. *No Trespassing Signs.* Signs such as “no trespassing” that do not exceed six (6) square feet in area and which do not advertise merchandise or services.

G. *Temporary Decorations.* Temporary graphics and decorations for a holiday season which do not advertise merchandise or services, provided that such graphics and decorations are installed not more than thirty (30) days before the holiday or holiday season and removed not later than two (2) weeks after the holiday or a holiday season.

H. *Changeable Copy Signs.* The changing of advertising copy or message on theater boards, marquees, bulletin boards, and pageantry, when the basic board, marquee, or pageantry is permitted under the provisions of this Specific Plan. Messages may be changed digitally or manually.

5.10.2 General Sign Standards

The following requirements shall apply to signs within the Specific Plan:

A. *Sign Program.* All signs identified in *Table 5.5, Permitted Sign Matrix*, and community monumentation shall be included as part of an approved Sign Program, reviewed by the Planning Commission. Signs identified in *Section 5.10.1, Exempted Signs*, shall not be subject to the Sign Program(s) for the Project.

B. *Design.* Sign design shall be enhanced, comprised of high-quality materials and appearance, and in compliance with *Chapter 4, Design Guidelines* of this Specific Plan.

C. *Location.* No signs shall be erected upon or project over a public or private right-of-way and may not be installed in such a way as to impede vehicular/pedestrian visibility. No sign shall be attached in any way to a public utility pole or public property unless if required by law, or for health and welfare of the general public.

D. *Temporary Commercial Signs.* Temporary commercial signs are permitted within the Commercial District, shall obtain a Temporary Sign Permit and be subject to Section 6.92.040(F) of the WMC.

E. *Projecting Signs Clearance.* A minimum eight (8) feet vertical clearance is required from the bottom of a projecting sign, marquee, blade or awning to the sidewalk or grade immediately below the sign.

F. *Moving or Animated Signs.* Unless otherwise permitted by this Section, signs that include, but are not limited to, rotating, flashing, swinging, blinking, strobing, or otherwise changing appearance are prohibited except for signs that include time and/or temperature that are located at least 100 feet away from a residential zone. In cases where illuminated signs display temperature and time, said sign shall receive City approval and shall include a mechanism to reduce the brightness of said sign when in proximity to a residential neighborhood.

G. *Encroachment.* Signs are permitted to encroach into all setbacks, unless otherwise specified in this Specific Plan.

- H. *Sign Illumination.* All signs may be internally or externally illuminated. All direct light rays from all signs shall be confined onto the Project site and shall not shine directly upon neighboring property. All exposed raceways are prohibited. Temporary lighting such as search or flood lights that are used on a permanent basis are prohibited.
- I. *Approval of Sign Modifications.* The Planning Commission may grant approval of signs that do not comply with these regulations through the Sign Program Review application process.
- J. *Off-Site Advertising.* Off-site advertising is permitted as part of pageantry. All pageantry with off-site signage must be located within the Commercial District and shall be oriented towards internal retail/entertainment uses and shall not be readily visible from properties outside of the Specific Plan or Valley Boulevard.
- K. *Sign Characters.* Signage characters shall primarily consist of alphanumeric, Latin-based letters and numerals (e.g. 0 through 9). Secondary translations and other variations shall be subject to a Sign Modification, described in *Subsection I*, above.
- B. *Enhanced Marquee Signs.* The height of manual letters located on a marquee sign shall not have a vertical height of more than two (2) feet and shall not extend vertically or horizontally beyond the marquee. An electronic marquee display is permitted pursuant to the provisions of the adopted Sign Program; however, individual letters shall not have a vertical height of more than two (2) feet.
- C. *Freestanding Menu/Product Boards.* Signs for freestanding menu or product boards for drive-through restaurants, pharmacies, banks, and similar uses cannot be more than seven (7) feet in height, measured from finished grade. The menu board must be located adjacent to the drive thru aisle. No more than two (2) menu boards shall be allowed per drive-through lane. The specific design, location, and size of the menu/product board sign shall be subject to design review as part of the Site Plan and Architectural Review process. All commercial menu boards, height restriction bars, pre-menu boards, squax box, directional signage, and related signage shall be enhanced to match the Community Design theme. Unilateral type designs shall be prohibited.

5.10.3 Specific Sign Standards

Along with *Table 5.5, Permitted Sign Matrix*, the following requirements and guiding design principles shall apply to each sign type and shall require all applicable Sign Permits from the City of Walnut as set forth in the WMC or applicable Sign Program:

- A. *Subdivision Signs.* All subdivision signs, including, but not limited to Model Tour signs, Weekend Directional and Pole Signs, and Temporary Off-Site Directional Signs shall be subject to a Sign
- D. *Wall Sign Width.* The width of a wall sign shall not exceed 75 percent the width of the wall that the sign is affixed to.
- E. *Temporary Signs.* The duration of all temporary signs shall comply with all applicable provisions of the WMC, unless if stated within this Specific Plan.

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6.1 GENERAL PROVISIONS

The City of Walnut shall administer the provisions of The Terraces at Walnut Specific Plan in accordance with the State of California Government Code, the Walnut General Plan, the City of Walnut Municipal Code, the Subdivision Map Act, and other applicable State and City regulations. The Specific Plan development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future. Any development regulation and building requirement not addressed in the Specific Plan shall be subject to the City's adopted codes and regulations.

6.1.1 Interpretation

In instances where any section, subsection, sentence, clause, phrase, portion or word contained within this Specific Plan is undefined, unclear or vague, then the Assistant City Manager, or his/her designee shall make a determination as to its meaning and intent. The Assistant City Manager may elect to forward any item to the Planning Commission for final determination. Said determination shall be judged to be final.

6.1.2 Severability

If any section, subsection, sentence, clause, phrase, or portion of this Specific Plan, or any future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan, or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase, or portion or any future amendments or additions thereto, irrespective of the fact that any one or more sections, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

6.1.3 Compliance with the Adopted Specific Plan

The City of Walnut shall monitor compliance with the adopted Specific Plan and mitigation measures at these stages, as appropriate:

- During the review and approval of subsequent Site Plan and Architectural Reviews, Tentative Maps, Conditional Use Permits, and other permits, as appropriate.
- During the review of construction documents, and prior to the issuance of grading or building permits.
- Prior to the issuance of a certificate of occupancy for any building within the Specific Plan area.
- Prior to the recordation of any parcel map or final map within the Specific Plan boundaries.

6.1.4 Implementing Development Process Approvals

Table 6-1, *Development Process Approvals*, is designed to clarify the process of entitlement through the City of Walnut for various applications and actions. Table 6-1 applies only to future developments being implemented within the confines of The Terraces at Walnut Specific Plan area.

The following administrative standards apply to the implementation of future development applications (including Site Plan and Architectural Reviews, Tract Maps, Parcel Maps, Variances, and Conditional Use Permits) for future developments within the Specific Plan area.

- A. No development shall occur or building permits issued within the adopted Specific Plan area until the proposed development is reviewed by the City’s Planning Division and found to be consistent with the adopted Specific Plan. Criteria for review and

Table 6.1
Development Process Approvals

DEVELOPMENT PROCESS APPROVALS	ACTION REQUIRED BY:		
	ASSISTANT CITY MANAGER	PLANNING COMMISSION	CITY COUNCIL
Site Plan and Architectural Review		•	
Specific Plan – Interpretations	•		
Specific Plan – Minor Adjustments	•		
Specific Plan Amendment		•	•
Tentative Tract Map		•	

approval of proposed development shall include, but not be limited to the following:

1. Conformance with the land use designation;
 2. Conformance with the specific development standards, goals, and policies of the Specific Plan; and
 3. Conformance with the intended density/intensity of the site.
- B. All Tentative Tract or Parcel Maps shall be consistent with this Specific Plan, as adopted.

6.2 ENFORCEMENT OF DEVELOPMENT REQUIREMENTS

This Specific Plan shall generally be enforced in a manner identical to the prevailing City of Walnut procedure(s) to enforce the provisions of the zoning and subdivision codes. The City of Walnut Community Development Department shall enforce the Development Standards and Design Guidelines set forth herein, in accordance with the State of California Government Code, Subdivision Map Act, the Walnut General Plan, and the Walnut Municipal Code. The development procedures, regulations, standards, and specifications contained in this adopted Specific Plan shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.

6.2.1 Subdivision Maps

An implementing Tentative Tract/Parcel Map is being processed through the City concurrently with this Specific Plan. This Tentative Tract/Parcel Map (as well as future parcel and/or tract maps) will be processed according to the City's standard Tentative Map Review process (Chapter 6.04 of the City of Walnut Municipal Code), California's Subdivision Map Act, and any applicable map extensions allowable by the State. Furthermore, prior to the issuance of any building permits for any condominium development, the applicable condominium map shall be reviewed and approved by the Assistant City Manager or his/her designee.

6.3 PROJECT PHASING

It is anticipated that the Specific Plan will be graded in one complete phase, with construction of the commercial and residential portions to be developed over a period of three to seven years. The installation of backbone infrastructure for both the Commercial and Residential Districts will occur simultaneously. Vertical development of the Commercial District could occur before, at the same time, or after the vertical development of the Residential Districts. The specific timing of the Commercial District is enumerated in the Development Agreement.

Each Residential District will have its own phasing. Typically, each phase will consist of 5 to 15 dwelling units. It is anticipated that the varied residential housing types will be under construction concurrently and that phases within the different Residential Districts will overlap. The amount of overlap will vary with sales demand. It is anticipated that grading and construction activities will begin in 2019.

It should be emphasized that actual build-out will be subject to market and economic conditions and infrastructure timing, and may vary from the phasing currently anticipated. All necessary infrastructure (e.g., private drives, sewers, water lines, storm drains, drainage improvements, etc.) shall be phased and installed concurrently with development.

Project development will include all of the on-site infrastructure improvements necessary to service the Project including, but not limited to:

- Grading of the Specific Plan area;
- Backbone water distribution lines and related infrastructure;
- Backbone sewer distribution lines and related infrastructure;
- Backbone recycled water distribution lines and related infrastructure (if available);
- Backbone storm water lines and related infrastructure;
- Other backbone utility services (e.g., electricity, cable television, telephone, etc.); and
- Improvements associated with the on-site streets and private drives.

6.4 FINANCING

Several types of financing strategies and tools are available for financing master planned developments such as The Terraces at Walnut Specific Plan. It is anticipated that the Specific Plan will build-out using a variety of these strategies and tools which could include, but are not limited to, the strategies indicated in Sections 6.4.1 through 6.4.5.

6.4.1 Mello-Roos Community Facilities Act of 1982

The Mello-Roos Act enables cities, counties, special districts, and school districts to establish community facilities districts and to levy special taxes to fund a variety of facilities and services required by a specific plan. A Mello-Roos tax can be applied to the planning and design work directly related to the improvements being financed and may also fund services on a pay-as-you-go basis including police and fire protection, ambulances, flood protection, recreational programs, parks, and schools.

6.4.2 Special Assessment Districts

Special assessment districts, such as those permitted by the Municipal Improvement Act of 1913, the Improvement Bond act of 1915, and the Lighting and Landscape Maintenance Act of 1972, provide methods of leveraged financing whereby a public entity determines an area in which the provision of facilities will benefit real property. A special assessment district may be created for the Specific Plan area to cover improvements such as landscaping and lighting. This financing tool can be used for public improvements that directly benefit specific properties that are assessed to pay for the improvements at no risk to public agency general funds.

6.4.3 Impact Fees and Exactions

Impact fees and exactions are another tool for paying for new development resulting from increased population or demand for services. The master developer for the Specific Plan area will negotiate with the City of Walnut to determine appropriate fees and exactions, which may be identified in a formal written agreement that is acceptable to both the City and the master developer.

6.4.4 Developer Funding

In certain instances, funding for on-site facilities may be tied directly to The Terraces at Walnut Specific Plan. The developer may pay a fair share portion of the facility in exchange for development rights. On-site local streets, utility connections from the main trunk lines and drainage facilities are typical examples of facilities that may be funded by the developer. Such improvements will usually be required concurrently with the development.

6.4.5 Infrastructure Financing

- A. The storm drain and flood control systems shall be funded and constructed by the developer, Community Facilities District (or other similar mechanism), or some combination thereof.
- B. The backbone water facilities and infrastructure shall be owned, operated, and serviced by the Walnut Valley Water District. The fair share cost of designing and constructing the water system shall be borne by the developer.
- C. The backbone sewer facilities and infrastructure shall be owned and operated by the City of Walnut. The fair share cost associated with designing and constructing the sewer system shall be borne by the developer.
- D. Telephone, electricity, gas lines, and cable television lines shall be installed and maintained by the appropriate utility companies.
- E. The property owner, Homeowner's Association (HOA) and/or property management company shall be responsible for installation, maintenance, and upkeep of all private common landscape areas, hardscape/parking areas, private drives, and irrigation systems within the Specific Plan area.

6.5 MAINTENANCE RESPONSIBILITIES

Successful operation of maintenance districts and associations are important in ensuring that the Project area is well-maintained. Maintenance responsibilities for parks, rights-of-way, open space, landscape areas, private street lighting, landscape slopes and walls behind homes in the Single-Family District, and common Project facilities will be divided amongst one or more HOAs, a Mello-Roos Community Facilities District(s), or similar entity. The property owner will be held responsible for the maintenance of all areas and facilities listed in *Table 6.2, Maintenance Responsibility Matrix* until such time accepted by the appropriate entity. Areas initially identified to be maintained by the City of Walnut are depicted on *Exhibit 6.1, City Maintenance Areas*.

As provided in this Specific Plan, various areas within the Specific Plan area are to be dedicated to the City for public use. As a condition to recording each final map for the Specific Plan area, the Project Applicant shall submit for approval by the City, the ownership and maintenance agreements describing the various relationships between the City, various HOAs and any applicable property owners regarding the shared use and maintenance of easements, paths and other public/common areas covered by the final map. These

agreements shall be submitted to the City for review as part of the Final Map application and shall be subject to approval by the City prior to the recordation of the Final Subdivision Map for the phase of development that triggers the shared-use improvement. Reciprocal easements shall be established in the areas containing any privately maintained open space for the benefit of the adjacent lots and the public. The agreements shall be recorded in a manner approved by the City and referenced on the applicable final maps.

Table 6.2
Maintenance Responsibility Matrix

MAINTENANCE AREA	CITY	HOA	UTILITY
Neighborhood Park		X	
Bridle Way Trail/E.V.A.		X	
Detention Basins/Drainage		X	
Landscape Slopes		X	
MSE Walls		X	
Public Street A & Valley Boulevard	X		
Public Street Lights			X
Public Street Sidewalks	X		
Private Streets (B and Drives)		X	
Private Street Lights		X	
Private Street Sidewalks		X	
Pocket Parks		X	
Electricity			X
Water/Sewer			X
Gas			X
Telephone			X
Cable			X



Note: All areas indicated in the exhibit will be maintained by the City.

Source: KTGy, Google

N. T. S.

Exhibit 6.1, City Maintenance Areas

6.6 SPECIFIC PLAN ADJUSTMENTS AND AMENDMENTS

6.6.1 Minor Adjustments to the Specific Plan

Minor adjustments to the plans, guidelines, regulations, and standards contained in this Specific Plan may be approved at the discretion of the Assistant City Manager, or his/her designee; provided, however, that such deviations are deemed to be in substantial conformance with this Specific Plan and are not detrimental to the public health, safety, and welfare. Modifications to the adopted Specific Plan must be consistent with the purpose and intent of the originally approved Specific Plan. Any decisions made by the Assistant City Manager may be appealed to the Planning Commission. Decisions of the Planning Commission may be appealed to the City Council. Decisions by the City Council shall be deemed to be final.

All minor adjustments must comply with the following findings:

- A. The total number of dwelling units within The Terraces at Walnut Specific Plan area shall not exceed 290 dwelling units. Additionally, a minimum of 12 dwelling units within the Single-Family District shall be provided.
- B. The total gross leasable commercial area within The Terraces at Walnut Specific Plan shall be between 16,000 and 30,000 square feet.
- C. The minimum lot criteria indicated in *Table 5.3, The Terraces at Walnut Development Standards*, shall not be reduced.

- D. The circulation plan network is essentially the same with only minor variations.
- E. The public health, safety, and welfare shall not be jeopardized by the proposed modifications.
- F. No potentially significant environmental impacts are expected to occur as a result of the proposed modifications, unless if the significant impacts have already been analyzed in a previously certified Environmental Impact Report (EIR).

The following modifications constitute “minor adjustments” to the approved Specific Plan and may be approved without amending the Specific Plan.

- A. Slight modifications to the Specific Plan area boundaries that respond to more accurate or recent data or actual on-site conditions.
- B. Modifications to individual park sizes, provided a minimum of 2.0 acres is reserved for open space.
- C. Minor changes to the circulation plan to accommodate actual conditions on-site or modify ingress and egress locations, or to respond to new information that was not available at the time the Specific Plan was originally prepared.
- D. Minor changes to the design of the drive cross-sections, provided that the drives have adequate capacity to handle the anticipated volumes of traffic and the design changes are deemed acceptable by the City’s Traffic Engineer.

E. Modifications to the proposed Project that allow the Project master developer to move and adjust components of the plan; provided, however, that a site plan is submitted to the City and reviewed by the and approved by the Assistant City Manager, or his/her designee and the City Engineer. The site plan shall depict the location of all land uses and the relationships of the uses to one another. In evaluating the site plan, all of the following conditions must be met for the site plan to be approved:

1. A maximum of up to 290 dwelling units and between 16,000 and 30,000 square feet of commercial gross leasable area shall be permitted within the Specific Plan area.
2. The Specific Plan area shall include a minimum of 12 dwelling units within the Single-Family District adjacent to the existing single-family development.
3. The land use modifications would not result in any new environmental impacts that were not previously assessed in the approved California Environmental Quality Act (CEQA) documentation for the Specific Plan.
4. Minor modifications to the architectural or landscape design guidelines.

F. Minor modifications to the grading plan.

G. Minor modifications to the water, sewer, and/or drainage plan(s).

H. Any modifications to the Project phasing.

6.6.2 Specific Plan Amendments

A. The Project master developer, property owner, or designee shall have the authority to initiate an amendment to the adopted Specific Plan at any time. No authorization by City staff, the Planning Commission, or the City Council shall be necessary to initiate a Specific Plan Amendment for The Terraces at Walnut Specific Plan area.

B. Said amendment shall not require a concurrent General Plan Amendment unless it is determined by the City of Walnut that the proposed amendment would substantively affect the General Plan goals, objectives, policies, or programs for The Terraces at Walnut Specific Plan area.

C. All Specific Plan Amendments shall be subject to the requirements of CEQA and any applicable City of Walnut environmental guidelines.

D. The Planning Commission and City Council shall each hold a public hearing on the proposed amendment of the Specific Plan. Any hearing may be continued from time to time as deemed appropriate and necessary by the Planning Commission and City Council.

E. The Planning Commission shall review all proposed amendments to the adopted Specific Plan. Upon the close of the required public hearing, the Planning Commission shall act by resolution to recommend to adopt, reject, or modify the proposed Specific Plan Amendment and forward its recommendation and findings to the City Council for action.

- F. The City Council shall review the Planning Commission's findings and recommendations. Upon the close of the required public hearing, the City Council shall act by resolution to adopt, reject, or modify the proposed Specific Plan Amendment.
- G. Prior to approving or conditionally approving any Specific Plan Amendment, the Planning Commission and City Council must make that the following findings regarding the Amendment:
 - 1. It is consistent with the goals and policies of the City of Walnut General Plan;
 - 2. It is consistent with the goals and policies of the Specific Plan and with its purposes, regulations, standards, and guidelines;
 - 3. Results in development of desirable character that will be compatible with existing and proposed development in the surrounding neighborhoods; and
 - 4. Respects the aesthetic assets of the community consistent with economic realities.

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APPENDIX **A**

GENERAL PLAN CONSISTENCY ANALYSIS

This Appendix contains a consistency analysis between The Terraces at Walnut Specific Plan and the goals and policies contained in the City of Walnut General Plan as required by Section 65454 of the California Government Code. As shown by this consistency analysis, The Terraces at Walnut Specific Plan is consistent with the City of Walnut General Plan.

Land Use and Community Design Element

GOAL LCD-1: A BALANCED COMMUNITY WITH A MIX OF LAND USES THAT SUPPORTS THRIVING BUSINESSES, ALL MODES OF TRANSPORTATION, COMPLETE NEIGHBORHOODS, AND HEALTHY LIFESTYLES.

	Policy	Consistency Analysis
Policy LCD-1.1	Revise and update the Zoning Code, Subdivision Code, Specific Plans, and other City regulations to ensure they are consistent with and support the Walnut General Plan Land Use and Community Design Element goals, vision, and policies.	This Specific Plan is designed to be consistent with the City of Walnut General Plan, and will not need to be revised or updated, with the exception of the Land Use Designation update, as required by the General Plan to implement the Specific Plan.
Policy LCD-1.2	Create use regulations and development standards for new mixed-use Zones that correspond to the mixed-use land designations. Ensure that the Zones support goals for accommodating a variety of revenue-enhancing activities that support a sustainable combination of retail, office, professional services, residences, institutional, academic-affiliated institutions, and innovative industrial business that will sustain value added services and the maintenance of the existing infrastructure. Specifically address compatibility issues that may be associated with mixed-use projects.	The Terraces at Walnut Specific Plan includes both special residential and non-residential land use components. This mix of uses provides a sustainable balance that supports revenue-enhancing activities within the city and contributes to the maintenance of existing city services and infrastructure. The Specific Plan establishes a framework for compatible development and includes tailored development standards that ensure compatibility within the project as well as neighboring uses.

Policy	Consistency Analysis
<p>Policy LCD-1.3</p> <p>Keep residential planned developments and specific plan regulations current to ensure that development proposals encourage complete neighborhoods and integrated planned developments that include revenue and employment-generating uses, diverse housing types, parks and open spaces, and active transportation/pedestrian connectivity and facilities.</p> <p>Additionally, continue to prohibit the further subdivision of lots in Residential Planned Development in order to preserve the rural character of existing and future Residential Planned Developments Zones.</p>	<p>The Terraces at Walnut Specific Plan provides a mix of uses, including sales-tax generating retail uses, as well as a variety of market-rate housing types. Additionally, parks and open space will be provided throughout the project, and a strong pedestrian connection between these parks and the abutting residential neighborhood to the north.</p> <p>The Project site is not within the “Residential Planned Development” Zone, and the second portion of this policy does not apply.</p>
<p>Policy LCD-1.4</p> <p>Encourage the application of universal design (such as aging-friendly and barrier-free elements) within new residential buildings.</p>	<p>The Project consists of the development of vacant land for residential and commercial uses. All portions of the Project will comply with all applicable State and Federal accessibility regulations.</p>
<p>Policy LCD-1.5</p> <p>Promote land use and development projects that demonstrably reduce greenhouse gas emissions, water usage, and electricity and natural gas demand.</p>	<p>The Terraces at Walnut Specific Plan encourages sustainable design practices that reduce greenhouse gas emissions and natural resource consumption. These provisions are found in Section 4.9, <i>Sustainable Design Strategies</i>.</p>
<p>Policy LCD-1.6</p> <p>Ensure that commercial uses are built and operated to minimize conflicts with adjacent residential uses. Operational activities to consider for compatibility include but are not limited to, hours of operation, intensity of operations, adequacy of security infrastructure, parking and traffic impacts, and lighting.</p>	<p>The Project’s land use and circulation frameworks minimize the potential for conflict between on-site residential and non-residential uses. Via the terraced design, operational impacts of the higher-activity commercial uses will be confined to the portion of the Project fronting E. Valley Boulevard, while residential uses remain relatively insulated from commercial activity on the upper terraces.</p>

	Policy	Consistency Analysis
Policy LCD-1.7	Require developments in Mixed Use areas to incorporate pedestrian walkability/connectivity and to minimize and gradually reduce structure size and scale, activity intensity, and density closer to predominantly low-density residential neighborhoods.	The project includes designated pedestrian routes, found on Exhibit 3.2, <i>Circulation Plan</i> , that allow for pedestrian circulation between uses and throughout the site. On-site residential uses, including large-lot single family uses, are located adjacent to existing low-density residential neighborhoods, while higher-activity commercial uses are located along E. Valley Boulevard.
Policy LCD-1.8	Encourage a variety of housing choices, including live-work units, courtyard housing, and mixed-use buildings with vertical and/or horizontal residential types.	The proposal will provide a variety of housing types that meet the needs of different types of residents. The project consists of 12 units within the Single-Family District, up to 201 units within the Small-Lot District, and up to 83 units within the Townhome District (up to 290 units total).
Policy LCD-1.9	Promote opportunities for smaller neighborhood serving commercial uses as part of having complete neighborhoods. Such opportunities can include sit-down restaurants, local retail, public spaces within shopping centers, and neighborhood oriented retail areas that provide goods and services to support daily life.	The Project includes a Commercial District component that consists of between 16,000 and 30,000 square feet of commercial development, as well as public spaces such as plazas. Permitted and conditionally-permitted uses for this neighborhood serving commercial include, but are not limited to, retail, grocery stores, restaurants, neighborhood service providers, medical offices, and general offices.
Policy LCD-1.10	Encourage the creation of complete neighborhoods that place the accessibility of quality-of-life enhancing retail and commercial uses within walking and biking distance.	The Project's Commercial District is within walking and biking distance of the proposed on-site retail uses. Pedestrian routes identified on Exhibit 3.2, <i>Circulation Plan</i> , further emphasize accessibility between these areas.

Policy		Consistency Analysis
Policy LCD-1.11	Provide convenient and accessible pedestrian connections, through design and complete street elements, between residential areas and nearby commercial areas.	The Commercial District is in close proximity to proposed on-site residential uses and will be easily accessible to residents and visitors by bike and on foot. Additionally, the Project's proposed pedestrian circulation, depicted on Exhibit 3.2, <i>Circulation Plan</i> , will increase pedestrian accessibility for existing low-density uses adjacent to the site.
Policy LCD-1.12	Encourage public gathering spaces with flexible areas that allow for passive social gatherings and spaces for public events throughout the City. Consider encouraging in commercial and mixed-use developments a central town square with additional plazas and greens for community gathering spaces, public art, and community events.	The Commercial District will include at least two retail plazas that are open to the public. Additionally, a series of parks connected by pedestrian walkways will allow the general public to recreate, gather, and enjoy the views afforded from the upper terraces' green spaces. The Specific Plan also includes provisions pertaining to public art in Section 4.7.5.1, <i>Public Art Guidelines</i> .
Policy LCD-1.13	Ensure adequate provision of community-serving facilities such as recreation facilities, child day-care facilities, places of worship, schools and other educational institutions to serve current and future residents.	Community-serving facilities such as recreational facilities, child day-care facilities, places of worship, and schools or educational institutions that serve future residents, are all permitted or conditionally-permitted within the Project.
Policy LCD-1.14	Promote and preserve Walnut's distinct neighborhoods, unique places, and overall rural character.	The Project incorporates various aspects of design, such as the incorporation of terraces to minimize the topography of the site, Mediterranean aesthetic, and a unique mix of uses, to create a distinct place that is complementary to the existing character of the City of Walnut.
Policy LCD-1.15	Utilize land assembly strategies and incentives to promote compatible infill developments.	The Terraces at Walnut Specific Plan is an infill Project that is surrounded by existing development on all sides. The plan area is large enough to create a cohesive, mixed-use project, therefore land assembly strategies do not apply to the Project.

Policy		Consistency Analysis
Policy LCD-1.16	Continue and strengthen current code enforcement activities to ensure vacant and underutilized properties are well-maintained, and retain a high-quality exterior design.	This policy requires action by the City of Walnut. Standards within this Specific Plan will be enforced by the City's Code Enforcement.
Policy LCD-1.17	Ensure that land use and development decisions are being made with the participation of residents, property owners, local organizations, and neighborhood groups.	The development team has conducted numerous meetings, including but not limited to, outreach sessions on September 21, 2015, January 30, 2017, and February 21, 2017, as well as a scoping session on February 12, 2018, to inform the public about the Project.
GOAL LCD-2: ACHIEVE A DISTINCTIVE RESIDENTIAL CHARACTER THAT PRESERVES NEIGHBORHOODS AND OPEN SPACES.		
Policy		Consistency Analysis
Policy LCD-2.1	Ensure that Zoning regulations and design guidelines protect the character of long-established single-family neighborhoods through limitations of building heights, setbacks, and lot coverage, and through provisions requiring landscaping, architectural integrity, and property maintenance.	Proposed Project is a Specific Plan that will implement the development of up to 290 units and between 16,000 and 30,000 square feet of commercial uses on a vacant 49-acre site. This policy regarding protecting the character of established neighborhoods does not apply to the Specific Plan.
Policy LCD-2.2	Ensure that private open space areas created during the land division, process as undevelopable areas due to environmental constraints (for example, steep or unstable slopes, high-fire hazards, prime biological habitat) have enforceable, deed-recorded easements that define the use limitations.	Deed restrictions will be enacted on private open space areas, such as slopes, parks, and water quality basins.

GOAL LCD-3: SUCCESSFUL COMMERCIAL AND INDUSTRIAL BUSINESSES THAT PROVIDE OPPORTUNITIES FOR LOCAL EMPLOYMENT AND CONTRIBUTE TO A STRONG LOCAL ECONOMY.

Policy		Consistency Analysis
Policy LCD-3.1	Promote the revitalization, upgrading, and beautification of commercial retail centers and the conversion of strip commercial areas to coordinated, complementary retail and service uses.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-3.2	Collaborate with local businesses to provide assistance in improving the physical and economic conditions of existing commercial and industrial developments.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-3.3	Work with commercial, office, and industrial business owners to promote businesses in Walnut.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-3.4	Accommodate outdoor cafes and neighborhood serving uses as a means of promoting pedestrian activity and commercial center vitality. Ensure that access and noise considerations relative to surrounding uses are sufficiently addressed.	The Terraces at Walnut Specific Plan includes development standards that permit, or conditionally-permit, neighborhood serving cafes and similar uses. Outdoor retail plazas and gathering spaces encourage pedestrian activity in these areas. These uses are concentrated along E. Valley Boulevard, away from sensitive uses both on- and off-site.

Policy		Consistency Analysis
Policy LCD-3.5	Coordinate with large commercial center property owners and/or leasing partners to align commercial assets with the desired City vision and emerging market trends.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-3.6	Target design upgrades and other façade enhancements that maintain the City's standards for high-quality and prevailing desired design aesthetics. Help landowners and landlords recognize that quality, maintained, and up-to-date places promote occupancy of tenant spaces that have been vacant for long periods of time.	This policy of targeting existing tenant spaces requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-3.7	Encourage a variety of businesses to locate in Walnut, including quality grocery stores, local retail stores, health and personal services, and restaurants.	The Project provides the opportunity between 16,000 and 30,000 square feet of gross leasable area for a variety of permitted and conditionally-permitted uses, including but not limited to grocery stores, local retail stores, health and personal services, and restaurants.
Policy LCD-3.8	Retain attractive and functional areas for industrial businesses that provide jobs for highly skilled manufacturing and research and development. Encourage and create local revenue sources that further support industrial and other business sectors that will provide benefits to residents of the City.	This policy does not apply as no industrial uses are proposed, nor does existing zoning allow industrial uses on the site.

GOAL LCD-4: FISCALLY SUSTAINABLE CITY GOVERNMENT THAT PRESERVES AND ENHANCES THE QUALITY OF LIFE FOR ITS RESIDENTS, WORKERS, AND VISITORS.

Policy		Consistency Analysis
Policy LCD-4.1	Pursue high sales tax producing retail uses (such as lifestyle and hybrid centers) within established shopping centers, provided the development is compatible with the surrounding area in terms of building scale, design, and traffic.	The Terraces at Walnut Commercial District includes the development capacity for between 16,000 and 30,000 square feet of retail uses that will generate sales tax revenue.
Policy LCD-4.2	Ensure that fee schedules (such as but not limited to permit fees, development impact fees, building permit fees, and mitigation fees) are structured for full cost recovery in order to support City services.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, the Project will be required to pay all development fees.
Policy LCD-4.3	Evaluate the fiscal impacts of the conversion of office/commercial uses to residential use.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-4.4	Maximize revenue from the utilization of City-owned land and resources.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-4.5	Accommodate a diversity of uses that create a tax base which sufficiently allows the City to maintain efficient operations in the delivery of services and maintenance of public infrastructure, including community centers, parks, roads, storm drainage and other infrastructure.	The Terraces at Walnut Project's has a mix of residential and non-residential uses that will provide the city a diversity of uses to help create a tax base that supports essential city public services, and provides new, privately-maintained parks and infrastructure at no cost to the City to benefit residents of Walnut.

GOAL LCD-5: LAND USE AND DEVELOPMENT PATTERNS THAT PROMOTE A HEALTHY COMMUNITY.

	Policy	Consistency Analysis
Policy LCD-5.1	Maintain and promote the pattern and linkage of land uses Citywide that allows Walnut residents to enjoy a healthy lifestyle.	The Project promotes a healthy lifestyle by providing ample pedestrian connections between the pocket parks, neighborhood park, and view parks, to existing and future residents of the community.
Policy LCD-5.2	Limit to the greatest extent possible, the over concentration of businesses that may contribute to adverse public health and safety conditions, such as but not limited to alcohol sales uses and cannabis production, processing, retailing, and wholesaling.	Section 5.5 of the Specific Plan provides the regulations of various uses. The sale of cannabis is prohibited and the processing and wholesale is per the City's code. Regulations pertaining to alcoholic beverages are also per the City's Code.
Policy LCD-5.3	Encourage formation of community gardens, and allow urban agriculture within residential areas (for noncommercial use only).	Park spaces within the Project could provide small, non-commercial garden areas available for use by residents of the development, as the Section 5.5.1 of the Specific Plan allows this accessory use.
Policy LCD-5.4	Develop health-focused programs that weave together the goals, policies, and strategies in all Elements, such as complete streets policies, sustainability, and suburban greening/urban forest.	The Project complies with the intent of this goal by promoting sustainable design practices, incorporation of a landscape plan, and encouraging alternative forms of transportation.
Policy LCD-5.5	Support and expand senior housing development and supportive in-house assisted facilities for Walnut's residents. Coordinate such senior-oriented uses with the availability or construction of multimodal and universal access facilities as described in the Circulation Element, and with other aging-focused components of the General Plan.	The Project is planned to be a market rate development. However, senior housing is allowed within the small-lot and townhome districts via a conditional use permit. The Specific Plan would not obstruct implementation of this policy on other senior housing in the City.

Policy		Consistency Analysis
Policy LCD-5.6	Ensure that Zoning regulations accommodate the needs of multi-generational households.	The Project consists of converting vacant land into 12 units within the Single-Family District, up to 201 units within the Small-Lot District, and up to 83 units within the Townhome District (up to 290 units total). These different unit types allow the residential portion of the Project to meet the needs of many types of households. Some of the proposed units will also include a bedroom on the ground floor.
Policy LCD-5.7	Coordinate land use patterns with the Circulation Element to improve and protect air quality, reduce vehicular trips and promote walkability.	The Terraces at Walnut Specific Plan is a mixed-use Project that will develop residential uses and nonresidential in a manner that promotes pedestrian accessibility and reduction of vehicular trips for residents living within the Project as well as the adjacent existing single-family development. The pedestrian connection depicted in Exhibit 3.2, <i>Circulation Plan</i> , promotes walkability throughout the Project.
Policy LCD-5.8	Encourage developments to provide access, facilities, and amenities that connect to trails, encourage walking, and/or other facilities that promote healthy living.	The Project provides publicly accessible trails that will provide the opportunity to make pedestrian connections between on-site land uses as well as adjacent existing single-family development, thus promoting walkability and healthy living.

GOAL LCD-5: STRATEGICALLY LOCATED AND DYNAMIC MIXED-USE ENVIRONMENTS THAT OFFER NEIGHBORHOOD-SERVING AMENITIES, NEW AND EMERGING HOUSING TYPES, AND ENGAGING PUBLIC SPACES.

	Policy	Consistency Analysis
Policy LCD-6.1	Encourage mixed-use development where appropriate within the City.	The Project is a horizontal mixed-use project, proposing both commercial and residential development on-site.
Policy LCD-6.2	Require that new mixed-use development projects include a substantial viable, commercial component. Consider innovative incentives and startup funds to help improve long-term longevity of commercial uses.	The Project's 3-acre Commercial District will consist of between 16,000 and 30,000 square feet of gross leasable area. Per the Specific Plan design guidelines, the design shall be a pedestrian friendly environment.
Policy LCD-6.3	Ensure development enhances pedestrian activity by providing active uses, walkability, and connectivity within mixed-use districts. Include appropriate design features along a majority of the building street frontage, within residential areas. Residential developments should include architecturally enhanced main entrances, lobbies, front stoops and porches, open space and other similar features.	The Commercial District and the Residential Districts will be linked by a series of trails and walkways, and will encourage pedestrian connectivity between the Project's various land uses. Entry features and monumentation will be implemented according to design guidelines established by the Specific Plan and will feature prominently at major Project entries.
Policy LCD-6.4	Provide design and development standards that require mixed-use buildings to be moderately scaled to transition to the scale of the surrounding area. Setbacks, landscaping, and/or building transitions should buffer abutting single-family residential areas, and all development lighting should be mitigated to not negatively affect adjacent uses.	Consistent with the MU/HOO-3 overlay, the Specific Plan does not allow any residential/retail mixed-use buildings. Therefore, this policy is not applicable to the Project.

GOAL LCD-7: COMMUNITY CHARACTER THAT REFLECTS WALNUT'S DISTINCTIVE SMALL-TOWN IDENTITY AND CHARACTER.

	Policy	Consistency Analysis
Policy LCD-7.1	Apply design requirements that maintain and enhance Walnut's small-town, rural character.	Approximately 31 percent of the site will be dedicated to parks and open space. Additionally, the Specific Plan includes design guidelines to implement the Mediterranean "hilltop village" theme, which will enhance Walnut's small-town character.
Policy LCD-7.2	Require new structures to be designed at a low-scale to reflect established residential neighborhoods, commercial centers, hillside terrain, open spaces, and natural areas.	Design guidelines within the Specific Plan encourage new construction to be located and scaled to blend appropriately with the existing adjacent development. Additionally, the maximum height limit for the Project is the same as for the abutting single-family homes.
Policy LCD-7.3	Require new residential construction, including large additions, to respect the scale and character of nearby structures by minimizing abrupt or excessive difference in appearance, size, scale and/or massing.	The Specific Plan includes greater setbacks for the Townhome and Single-Family Districts adjacent to the existing single-family neighborhoods. This separation will ensure that the Project respects the scale and character of the abutting neighborhoods.
Policy LCD-7.4	Preserve the value of the community's night sky and avoid unnecessary light and spill-over of glare from signage, buildings, and landscape illumination and other sources of outdoor lighting.	Future lighting will be analyzed at later stages of the Project. Lighting impacts are analyzed and discussed in the EIR for the Project and have been determined to not be a significant impact.
Policy LCD-7.5	Maintain a pedestrian scale for new development. Require that non-residential development provide amenities that promote pedestrian activity and community gathering.	The Project's horizontal mix of land uses promotes walkability and pedestrian accessibility to nonresidential uses. The Commercial District will provide two retail plazas that offer the community an outdoor gathering space. Design guidelines also require that the Commercial District be designed to encourage pedestrian activity.

Policy		Consistency Analysis
Policy LCD-7.6	Require pedestrian-scale improvements for new residential developments and large additions, such as but not limited to, front porches and placement or orientation of the garage away from the street. Where feasible, the use of garage doors should not be the dominating architecture feature from a public right-of-way.	The Terraces at Walnut Specific Plan includes design guidelines that addresses plotting, garage placement, and the minimization of garage doors in Section 4.4 for Single-Family houses and Section 4.5 for Townhomes.
Policy LCD-7.7	Maintain streetscape design programs for commercial and mixed-use district frontages that create vibrant places which support walking, bicycling, transit, sustainable economic development, and overall connectivity.	The commercial district features outdoor areas that should be designed to create a pedestrian-oriented sense of place, and encourage vibrancy through providing retail spaces and recreational opportunities for residents and visitors. This district will be easily accessible to people using different modes of transportation, both from the residential districts of the Project as well as the rest of the City of Walnut. Also, the streetscape for Valley Boulevard is discussed in Section 4.7.3.1 of this Specific Plan.
Policy LCD-7.8	Continue code enforcement activities to maintain, and to the greatest extent possible, enhance aesthetically attractive neighborhoods and business centers.	This policy requires action by the City of Walnut. Standards within this Specific Plan will be enforced by the City's Code Enforcement.
Policy LCD-7.9	Discourage walled or gated communities in both new and established/existing neighborhoods.	The Project's Residential Districts do not include any walls (except along property lines or to reduce dirt export) or gates.
Policy LCD-7.10	Preserve, maintain, and promote Walnut's historic resources.	The Terraces at Walnut Project site does not include any on-site historic resources. Therefore, this policy does not apply.

Policy		Consistency Analysis
Policy LCD-7.11	Develop and maintain gateway entry features at key locations throughout the City.	Major entries to the Terraces at Walnut Project will incorporate site-specific signage and monumentation to establish the Project's desired Mediterranean aesthetic and a sense of high-quality development, as well as being a gateway into the City from the northeast.
Policy LCD-7.12	Establish design guidelines for trails, creeks, and open spaces.	The Project does not include, nor is adjacent to, any trails or creeks as identified by the City of Walnut. The Specific Plan establishes design guidelines for Project open spaces in <i>Section 4.7, Landscape Design Guidelines</i> .

GOAL LCD-8: HIGH-QUALITY AND TRADITIONAL DESIGN FOR ALL NEW DEVELOPMENT.

Policy		Consistency Analysis
Policy LCD-8.1	Require architectural design treatments that encourage Walnut's small-town, rural character and that can incorporate a mix of traditional and/or newer design themes, styles, and high-quality materials.	The Terraces at Walnut Specific Plan includes design guidelines that ensure that future development will implement the Mediterranean "hilltop village" theme, which will enhance Walnut's small-town character and high standard of quality design.
Policy LCD-8.2	Insist that all new development incorporate high-quality building materials, textures, and finishes that embody durability and permanence.	The Project will incorporate a variety of high-quality materials, finishes, and textures that are consistent and help maintain a Project-wide architectural and landscaping theme.
Policy LCD-8.3	Encourage non-residential development to utilize a unified or consistent design theme, particularly when involving multiple structures as part of one project. Thematic and stylistic diversity may be allowed when the overall project design achieves a harmonious effect.	<i>Section 4.6</i> of the Specific Plan includes design guidelines that the architecture for the Commercial District be compatible with the Mediterranean theme for a unified project design. This will foster an authentic sense of place and creates a distinctive identity for the Project.

Policy		Consistency Analysis
Policy LCD-8.4	Develop specialized landscape and design treatments for entryways, intersections, parks, districts and neighborhoods, and public areas.	Major entries and public spaces incorporate a “Thematic Landscaping Palette” that utilizes materials, landscaping, and design elements that reinforce the Project’s sense of place. Details regarding these areas are included in <i>Section 4.7</i> of the Specific Plan.
Policy LCD-8.5	Require new development to provide engaging, well landscaped outdoor spaces that invite and support outdoor activities for residents, especially areas viewed or accessible by the public.	The Terraces at Walnut Specific Plan landscaping concept includes spaces for outdoor recreation and gathering that are open to the public. Parks, plazas, and paseos are incorporated throughout the plan, implement high quality thematic landscaping and hardscaping, and are detailed in <i>Section 4.7</i> of the Specific Plan.
Policy LCD-8.6	Identify positive neighborhood character elements and use these design features as design drivers for new development.	The Project’s design is informed by the site’s topography and vision – a Mediterranean hilltop theme and terracing concept.
GOAL LCD-9: A BUILT ENVIRONMENT WITH DEVELOPMENT APPROACHES THAT APPLY SUSTAINABILITY PRINCIPLES.		
Policy		Consistency Analysis
Policy LCD-9.1	Encourage the use of building design and materials that conserve energy and material resources.	New construction at the Terraces at Walnut Project will utilize principles of material efficiency and energy conservation that will result in cost and efficiency savings both during and after the construction process. Sustainable design strategies are included in <i>Section 4.9</i> of this Specific Plan.
Policy LCD-9.2	Encourage consultation with organizations, neighborhoods, developers, and businesses to offer green building educational programs.	This policy requires action by the City of Walnut and is not applicable to the Project. However, sustainable design strategies are included in <i>Section 4.9</i> of this Specific Plan.

Policy		Consistency Analysis
Policy LCD-9.3	Require that development incorporate sustainability, including features that minimize energy and water use, limit carbon emissions, provide opportunities for local power generation and food production, and provide areas for recreation.	The Project incorporates sustainable design strategies, identified in <i>Section 4.9</i> , that will result in energy, resource, and materials efficiency during the construction and occupancy phases of the Project. Also, a minimum of 2 acres of open space will be provided for recreation purposes.
Policy LCD-9.4	Support building designs that assist with the management of stormwater runoff, preserve and enhance soil permeability, and reduce other negative effects of urban development.	The Project incorporates new infrastructure to manage and treat the stormwater runoff. The design will comply with all applicable regulations and is detailed in <i>Section 3.4.3</i> of the Specific Plan, as well as in the EIR for the project.
Policy LCD-9.5	Perform energy consumption audits of City buildings and create an environment that promotes energy efficiency within repair, construction, and operation of City buildings.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy LCD-9.6	Encourage the implementation of programs that support electric vehicle charging readiness Citywide. Permit the installation of electric vehicle charging stations on private property.	The Project will be required to comply with CALGreen requirements, which require the installation of new electric vehicle charging stations for non-residential uses. <i>Section 4.9</i> of the Specific Plan also encourages the installation of these.

GOAL LCD-10: DEVELOPMENT THAT RESPECTS THE NATURAL ENVIRONMENT OF WALNUT AND PRESERVES THE SCENIC QUALITY OF HILLS, RIDGELINES, CREEK AREAS.

	Policy	Consistency Analysis
Policy LCD-10.1	<p>Design development in a sensitive manner to compliment the natural environment. The following guidelines will be considered:</p> <ol style="list-style-type: none"> 1. Encourage development to be sensitive to the topography, physical context, and community character of Walnut. 2. Minimize alteration of existing topography especially in hillside areas during the development and redevelopment process. 3. Retain natural landform character by using contour grading that varies slope gradients and provides a smooth, rounded transition to existing grades. 4. Promote the protection of prominent ridgelines whenever feasible. This shall be accomplished by siting development below ridgelines in such a manner that permits the ridgeline to remain visible. 5. Ensure that structures are adapted to hillside topography to minimize grading and to limit visibility to all structures from community-level viewsheds. 6. Avoid horizontal bands of development or long structures with unbroken facades. 7. Use creative architectural design solutions to adapt the structures to the hillside topography (such as split-level design). 	<ol style="list-style-type: none"> 1. The Project consists of terraces, which respects the natural topography and mimics the existing terrain, especially when compared to creating a large pad. 2. To maintain and mimic the existing slopes of the site, MSE walls will be constructed that will create developable terraces while respecting the site's natural character. 3. Due to the steep nature of the existing hill, the use of contour grading is not possible without a large reduction in height to the existing hill. To minimize the export of dirt for the project and to stabilize the hill for development, MSE retaining walls will be necessary. These walls will be located along portions of Valley Boulevard and in the southwesterly portion of the site. Contour grading will be used at other site boundaries. 4. The site is not located within or next to a ridgeline as defined by the City. The development will be somewhat lower than the existing hill (approximately 25 feet) and therefore would not block any views of any ridgelines. 5. The terraced layout of the Project is planned with the topography of the site in mind. Visibility of the Project site is predominately limited to west along Valley Boulevard, and from the City of Industry to the south. 6. The proposed units on the hill are small-lot single-family homes with a minimum of 8-foot breaks at 45-foot intervals. 7. The Project includes innovative grading techniques such as terracing the existing hill to adapt the Project to the topography.

Circulation Element

GOAL C-1: STREETS THAT ARE DESIGNED AND OPERATED TO ENABLE SAFE ACCESS FOR ALL USERS, INCLUDING PEDESTRIANS, EQUESTRIANS, BICYCLISTS, MOTORISTS, AND TRANSIT RIDERS OF ALL AGES AND ABILITIES.

Policy		Consistency Analysis
Policy C-1.1	Pursue and implement Complete Streets strategies to accommodate all users of different ages and abilities.	Valley Boulevard along the Commercial District will be improved to a complete street abutting the Project site. The Project's private streets will include a sidewalk on at least one side. Due to the slow-speed nature of the private streets, bicycles and vehicles will share the main travel lanes.
Policy C-1.2	Pursue context sensitive Complete Streets strategies that recognizes the City's established rural character and geographic complexity.	The Project's private streets will include a sidewalk on at least one side to provide additional landscaping on the other side of the right-of-way to provide a buffer and screening from differing slopes.
Policy C-1.3	Use Complete Streets strategies to link residents to schools, parks, recreational facilities, important trailheads, the Walnut Civic Center, and mixed-use and commercial developments.	The Project consists of an in-fill of an existing 49-acre site. The Project will also include access to parks, open spaces, and a trailhead via internal private streets. Access to the Commercial District will be provided by an improved Valley Boulevard, which will be improved as a complete street.
Policy C-1.4	Seek suitable regional partners and agencies to implement a multijurisdictional approach to Complete Streets master planning.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-1.5	Identify and evaluate the system for potential improvements to accommodate seniors and disabled persons and to comply with ADA requirements.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

	Policy	Consistency Analysis
Policy C-1.6	Use opportunities such as planning for capital improvement projects, or new developments to retrofit streets that have excess projected capacity.	The Project will include improvements to Valley Boulevard abutting the Project site, including the installation of new sidewalks along the Commercial District.
Policy C-1.7	Use available public rights-of-ways to provide wider sidewalks, bicycle lanes, trail facilities, and transit amenities.	Valley Boulevard will be improved along the Project site, including the installation of new sidewalks along the Commercial District.
Policy C-1.8	Use the Level of Service (LOS) metric to measure congestion performance. Complement this approach with sustainable transportation and land use strategies that can effectively reduce vehicle miles traveled. Use vehicle daily trips as the benchmark demand for determining potential levels of parking and vehicular congestion, and equate mitigation and compliance with the sufficiency to provide supply on the facilities to meet that demand.	The EIR for the Project includes a traffic study that includes the Level of Service (LOS) metric and vehicular daily trips as the benchmark demand for congestion. The Project includes measures to reduce overall vehicular miles traveled, including pedestrian connectivity between residential uses to the north of the site and the Project's common open spaces and reducing unnecessary parking by allowing shared parking arrangements. The Project's EIR also includes mitigation measures to improve circulation.
Policy C-1.9	Consult with regional and local emergency service providers in ensuring that the roadways allow efficient access to recovery sites, and are easily accessible by emergency vehicles.	The Project shall provide an emergency vehicular access (EVA) on the northeastern edge of the site, connecting Local Street "B" to Roundup Drive via Bridle Way and the design has been coordinated with Los Angeles County Fire Department (LACFD). Vehicular access is also available to the site via the Project entrances along Valley Boulevard.
Policy C-1.10	Promote an enhanced aesthetic image through streetscaping, median improvements, and careful implementation of non-essential signage when revising infrastructure for complete streets.	The Project abuts Valley Boulevard, which will include improvements to the streetscape, median, and signage for the Project and the Commercial District. The guidelines for the streetscape are included in <i>Section 4.7.3</i> , and guidelines for community monuments are included in <i>Section 4.7.4</i> .

GOAL C-2: QUIET STREETS WITH LIMITED CONGESTION.

Policy		Consistency Analysis
Policy C-2.1	Use neighborhood traffic control techniques (when feasible) when it has been demonstrated through traffic and safety analysis that excessive vehicle speed, excessive volume, or pedestrian/vehicle safety concerns are warranted.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-2.2	Use traffic-calming techniques such as roundabouts and sidewalk extensions along with providing more frequent and innovative crosswalks, pedestrian signals, and clearly marked bicycle lanes.	The Project includes narrow, curvilinear private streets as traffic calming techniques. Sidewalk extensions, crosswalks, etc. will be reviewed as part as implementing actions of the Project.
Policy C-2.3	Explore enhanced pedestrian designs, including but not limited to, way-finding, street trees, pedestrian scaled street lighting, enhanced crosswalks at all legs of the intersection, automatic pedestrian signals, reduced crossing lengths, wider sidewalks, and specialty paving and seating areas.	The Project includes guidelines for pedestrian-scaled amenities to enhance the pedestrian experience and promote pedestrian wayfinding and safety in <i>Section 4.7</i> .
Policy C-2.4	Work with school districts to develop a Safe Routes to School plan, creating a plan for each school in Walnut to expand on school safety programs. Encourage Mt. San Antonio College and Cal Poly Pomona to also plan or safer bicycle and pedestrian access by college students, staff, and faculty. Measures can include evaluation of streets around schools and improvements so student drop-off and pick-up zones. Identify engineering, enforcement, education, and evaluation improvements that maximizes pedestrian safety.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy C-2.5	Preserve and maintain the most aesthetic part of the streetscapes, including the natural vegetated mountain, street landscaping, and hillside edges.	The existing streetscape includes trees and disturbed and non-native vegetation. The streetscape will be improved to meet the guidelines contained within the Specific Plan and per applicable City of Walnut regulations.
Policy C-2.6	Add to the purpose of medians as an effective strategy for passive traffic calming, as a “softer” separation between modes, as an active transportation path, and as a signage-free community identifier. Allow medians to be located on any part of the street, sized and landscaped for maximum scenic contribution to a multimodal street.	Valley Boulevard currently contains a median. The Median will be improved to facilitate ingress and egress to/from the Project. The existing median provides for traffic calming, a separation between modes, and contributes to the scenic quality of the street. The modified median will continue these elements.

GOAL C-3: INTEGRATED AND ACCESSIBLE TRAIL SYSTEM.

Policy		Consistency Analysis
Policy C-3.1	Maintain and explore the possible expansion of the trail system as an integrated part of the transportation system that will eventually connect neighborhoods, major facilities, and new developments.	The Project does not include, nor is adjacent to any existing or planned trails. The property is bounded by the City Public Works yard/Sheriff Station to the south, existing single-family to the west and north, and Valley Boulevard to the east, which would preclude development of a trail that could connect beyond abutting uses.
Policy C-3.2	Identify gaps in the trail system, including connections to local and regional systems. Work to develop new trails or improve existing ones to connect to other trails, neighborhoods, parks, schools, life-long learning facilities, and major activities areas.	The Project does not include, nor is adjacent to any existing or planned trails. The property is bounded by the City Public Works yard/Sheriff Station to the south, existing single-family to the west and north, and Valley Boulevard to the east, which would preclude development of a trail that could connect beyond abutting uses.

Policy		Consistency Analysis
Policy C-3.3	Align trailheads with planned multimodal terminals and stops.	The Project does not include, nor is adjacent to any existing or planned trails. The Project also does not include an existing or planned multimodal terminal or stop. Therefore, this policy does not apply to this Project.
Policy C-3.4	Consider developing strategies to complete a trail “loop” that would close trail gaps and allow circular connectivity within Walnut.	The Project does not include, nor is adjacent to any existing or planned trails. The property is bounded by the City Public Works yard/Sheriff Station to the south, existing single-family to the west and north, and Valley Boulevard to the east, which would preclude development of a trail that could connect beyond abutting uses.
Policy C-3.5	Seek to partner with regional governments and community groups to identify opportunities to expand the City and regional trail systems.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-3.6	Continue to design trails and associated facilities for multipurpose functions, including equestrian use.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.
GOAL C-4: CONNECTED PEDESTRIAN, AND BICYCLE NETWORK.		
Policy		Consistency Analysis
Policy C-4.1	Develop a bicycle and pedestrian master plan that creates an interconnected option for people of all ages to bike and walk around the City.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-4.2	Coordinate all active transportation facilities, and connect to nearby regional designations and facilities to ensure a seamless bicycle and pedestrian network.	The Project includes pedestrian and cyclist routes between uses on-site through pedestrian pathways, sidewalks, or multi-user private streets. These routes connect to pedestrian and bicycle network along Valley Boulevard and Roundup Drive.

Policy		Consistency Analysis
Policy C-4.3	Enhance pedestrian and bicycle crossings and pathways at key locations across physical barriers such as creeks, highways, and road barriers.	The Project includes pedestrian and cyclist access points at Valley Boulevard and Roundup Drive at the Bridle Way EVA access. The Bridle Way EVA will be improved to allow for bicycles and pedestrians and is depicted in <i>Exhibit 4.4</i> . The crossing at Valley Boulevard will include a new signal at Faure Avenue/A Street, creating a new crossing at Valley Boulevard.
Policy C-4.4	Strive to provide pedestrian and biking access at all intersection corners.	The Project will provide pedestrian and bicyclist access at all intersection corners, as indicated in <i>Section 3.3</i> of this Specific Plan.
Policy C-4.5	Encourage to the greatest extent possible that new developments increase connectivity through direct and safe pedestrian and bicycling connections to the established network.	The Project creates internal connections between the various portions of the Project. The Project also creates new connections to Valley Boulevard and Roundup Drive, as indicated in <i>Section 3.3</i> .
Policy C-4.6	Require that parking lots include clearly defined paths for pedestrians and bicyclists to provide a safe access to building entrances and to surrounding public sidewalks.	Defined paths will be provided at latest stages of the Project. The Specific Plan include guidelines for creating a pedestrian-friendly environment for the Commercial District (see <i>Section 4.3.1</i>).

GOAL C-5: EFFICIENT, FREQUENT, AND CONVENIENT TRANSIT SYSTEM.

Policy		Consistency Analysis
Policy C-5.1	Coordinate whenever possible with transit agencies to improve and expand transit infrastructure, amenities (such as travel times signage), routes (such as connection to Metrolink), and accessibility throughout the City.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-5.2	Require that development projects include amenities to support public transit use, such as bus stop shelters, space for transit vehicles, and pedestrian amenities (trash receptacles, signage, seating, and lighting).	The Project does not have any existing or planned transit routes along Valley Boulevard. The nearest transit stop is located at Grand Avenue and Valley Boulevard, approximately 0.25 miles to the west of the site.

Policy		Consistency Analysis
Policy C-5.3	Continue the Dial-a-Cab program, providing discount travel services to seniors and/or the disabled. Consider encouraging the use of mobile or other electronic devices with similar on-demand hailing functions focused on seniors and/or the disabled.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-5.4	Assure all capital improvement projects located on existing and planned bus routes include curb and sidewalk configurations for improved passenger access and safety while maintaining overall pedestrian and bicycle safety and convenience.	The Terraces at Walnut Project is not located along a planned or existing bus route.
Policy C-5.5	Consult with transit agencies, Mt. San Antonio College, and Cal Poly Pomona to continue to invest in transit amenities and programs that encourages increased transit ridership by students, staff, and faculty.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-5.6	Incorporate strategies from the “First and Last Mile Strategic Plan” issued by Metro that is appropriate for Walnut’s context and in coordination with the City of Industry as a guide to increase connectivity to transit and the Metrolink-Industry Station.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-5.7	Encourage working relationships with cities and county jurisdictions to align transit policies and routing to create an efficient, easy-to-use comprehensive network that provides travel options and relieves congestion along Grand Avenue and Valley Boulevard.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy	Consistency Analysis
Policy C-5.8 Encourage public and private providers of transportation services to give the City updated data and information on operations, and other information as appropriate. Allow Walnut residents to readily access and review information online used to determine decisions regarding funding and other important determinants of transportation projects and planning.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL C-6: REDUCTION IN TOTAL VEHICLES MILES TRAVELED TO HELP IMPROVE LOCAL AIR QUALITY AND REDUCE GREENHOUSE GAS EMISSIONS.

Policy	Consistency Analysis
Policy C-6.1 Implement development and transportation improvements that help reduce greenhouse gas emissions by reducing per capita Vehicle Miles Traveled (VMT), reducing impacts on the City's transportation network and maintaining the desired levels of service for all modes of transportation.	The Terraces at Walnut is a horizontal mixed-use Project that includes internal pedestrian connections between open spaces, residential uses, and commercial uses. Mitigation for traffic impacts are defined in the Project's EIR.
Policy C-6.2 Support the development of a network of public and private clean and/or carbon-neutral fuel vehicle charging and fueling stations.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, the Project will be required to include vehicle charging stations within the Commercial District per CALGreen and per sustainable design strategies included in Section 4.9.
Policy C-6.3 Consider a locally collected and administered traffic mitigation fee program to guarantee that new development pays for its fair share toward improvements resulting in reductions in air pollutant and GHG emissions and traffic impacts generated by the development.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, the EIR identifies fair share mitigation that the applicant or future applicant would have to mitigate.

Policy		Consistency Analysis
Policy C-6.4	Encourage “green street” strategies to improve stormwater quality and protect the environment, including local creeks.	On-site stormwater flows shall be captured and treated by inlet structures along internal streets and drives, and directed to treatment facilities that could include bio-filtration basins and water-quality vaults, as described in Section 3.4.3.
Policy C-6.5	Consider when repaving, repairing, or constructing streets and other transportation facilities to use sustainable and carbon-neutral materials.	Sustainable design strategies in Section 4.9 include considerations for the reduction of paved areas, encouraging recycling, evaluating reused, recycled content, or pervious materials.

GOAL C-7: PROVISION OF PARKING THAT MEETS EVOLVING DEMANDS AND VEHICLE USAGE.

Policy		Consistency Analysis
Policy C-7.1	Ensure that required loading and parking spaces continue to be responsive to existing and forecasted demand. Revise standards accordingly to maintain equilibrium between parking supply and demand. Discourage reducing parking requirements unless a parking study indicates that the supply requested is supported by demand.	Specific design requirements for parking lots will be submitted at a later time. The Specific Plan in Section 5.8 includes provisions for a shared parking analysis to determine the peak parking demand. The Specific Plan also include provisions for short-term loading and rideshare spaces.
Policy C-7.2	Minimize the appearance of parking lots and structures as viewed from public rights-of-ways and gateways.	The visibility of the Commercial District parking lot is limited from Valley Boulevard as it is elevated and obstructed by buildings. Also, parking areas for the residential is dispersed so that lots are minimized.
Policy C-7.3	Plan for larger surface parking areas, including above or underground parking garages to have long-term development plans for land use recycling that could accommodate other beneficial land uses for the City as the expected demand for driving and parking spaces drop.	The Specific Plan allows for the development of up to 30,000 square feet of retail uses within the Commercial District. Only surface parking could accommodate the uses ere and could be used for new development should parking demands drop.

GOAL C-8: SUSTAINABLE REVENUES TO FUND TRANSPORTATION IMPROVEMENTS AND MAINTAIN EXISTING NETWORK.

Policy		Consistency Analysis
Policy C-8.1	Operate under a fiscally constrained model to fund and maintain the existing and planned transportation network.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-8.2	Ensure that the City's Impact Fees provide adequate funding for necessary transportation improvements that will benefit all travel modes, while also incentivizing development that is less dependent on expensive, new transportation	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-8.3	Pursue grants and other innovative funding sources to pay for new transportation improvements.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-8.4	Support special assessment districts for street and traffic improvements.	The Specific Plan includes an option to use special assessment districts for the financing of traffic and street improvements due to the Project's traffic impacts.

GOAL C-9: PARTICIPATION IN REGIONAL PLANNING EFFORTS TO IMPROVE MOBILITY AND ACCESS.		
Policy		Consistency Analysis
Policy C-9.1	Continue to review and consult with neighboring jurisdictions and institutions regarding development projects that could affect Walnut’s transportation system.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-9.2	Participate in regional transportation planning processes to develop programs consistent with the goals and policies of Walnut’s General Plan and to minimize adverse impacts on the City’s circulation system.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-9.3	Involve the community in transportation planning and project design decisions for improving the City’s “Complete Streets” and bicycle and pedestrian networks.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL C-10: ABILITY TO RESPOND AND ADAPT TO TECHNOLOGICAL ADVANCES IN THE FIELD OF TRANSPORTATION AND MOBILITY.

Policy		Consistency Analysis
Policy C-10.1	Implement intelligent transportation systems strategies—such as adaptive signal controls, fiber optic communication equipment, closed circuit television cameras, real-time transit information, and real-time parking availability information—to reduce traffic delays, lower greenhouse gas emissions, improve travel times, and enhance safety for drivers, pedestrians, and cyclists.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-10.2	Update, when warranted, existing transportation systems and policies as autonomous and automated vehicles and their attendant facilities are developed locally and regionally. Ensure that policies for autonomous vehicles and non-vehicular modes of travel are compatible with the Circulation Element and other applicable general plan sections.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-10.3	Require new non-residential developments to provide access and facilities that enable safe pick-up/drop-off locations of passengers of ride sourcing and ridesharing services. Encourage ride sourcing and ridesharing services to complement services provided for seniors, disabled persons, those who have impaired mobility, and those who live in isolated residences.	Section 5.8.2 of the Specific Plan requires clearly marked short-term or rideshare spaces for applicable parking spaces within the Commercial District.

GOAL C-11: EFFICIENT AND SAFE MOVEMENT OF GOODS WITHOUT IMPACTING WALNUT'S NEIGHBORHOODS

Policy		Consistency Analysis
Policy C-11.1	Ensure that regional truck traffic stays on designated truck routes and away from neighborhoods. Evaluate routing designations dynamically as the intensity of truck travel fluctuates over time. Establish that until a suitable alternative has been proposed or if it does not interfere with planned multimodal improvements, designated regional truck routes with weight limit restrictions are Grand Avenue, La Puente Road, Nogales Street, Temple Avenue, Valley Boulevard, and Lemon Avenue.	The Specific Plan only includes new local streets, which are not designed to accommodate any trucks (except local delivery trucks). The Project will not include a new truck route or modify existing truck routes. As such, this policy does not apply to the Specific Plan.
Policy C-11.2	Consider pickup and delivery activities associated with various land uses when approving new development, implementing projects, and improving arterials and streets. Consider additional designation crafted for evolving delivery vehicle types, purpose, and operational hours that balance minimization of impacts and allow for more efficient deliveries.	Information related to pick-up and delivery activities will be reviewed as part of the Site Plan Review process.
Policy C-11.3	Identify partnership opportunities with other cities for developing solutions for more efficient and freeflowing truck movements as a strategy to ensure safety of active transportation users on Grand Avenue and Valley Boulevard.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-11.4	Work with responsible agencies to minimize freight train impacts.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy C-11.5	Continue to monitor the development of the Alameda Corridor-East (ACE) and to ensure all construction within the vicinity are completed on-time. Continue to monitor for any new ACE-related initiatives, expansion, and construction delays.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy C-11.6	Continue to assess noise complaints from the community regarding train horns along crossings at Valley Boulevard, Fairway Drive, Lemon Avenue, and Brea Canyon Road, and determine if further actions are needed with the Federal Railroad Administration.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Conservation, Open Space, & Recreation Element

Goals		Consistency Analysis
GOAL COR-1: OPEN SPACES THAT ARE PROTECTED AND MANAGED FOR CURRENT AND FUTURE GENERATIONS TO ENJOY		
Policy		Consistency Analysis
Policy COR-1.1	Preserve and protect natural habitats, creeks, hillside areas for use by wildlife, for education, and for residents' passive enjoyment. Consider acquiring vacant parcels that can contribute to the network of open space for these purposes.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat areas. The Project will provide active and passive open space recreation areas that shall be open to the public.
Policy COR-1.2	Use open spaces and parks to maintain Walnut's visual character and identity	The Project features multiple, connected open space elements that utilize the site's topography to offer views of the City of Walnut, as well as provide a place for outdoor recreation for the general public. Details of the Project's open spaces and parks are identified in <i>Section 4.7</i> .
Policy COR-1.3	Add beneficial and strategic plantings in open space areas and hillsides to help maintain slopes, enhance habitat value, and improve community aesthetics. This should include planting on private slopes using easements whenever possible.	Conceptual plantings, as well as a plant palette for the Project are identified in <i>Section 4.7</i> of the Specific Plan.

GOAL COR-2: INTACT NATURAL HABITATS AND PROTECTED OPEN SPACES THAT SUPPORT WILDLIFE

Policy		Consistency Analysis
Policy COR-2.1	Limit recreation in natural areas to activities compatible and appropriate with preserving natural vegetation, such as hiking and limited horseback riding.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat areas. The Project will provide active and passive open space recreation areas that shall be open to the public.
Policy COR-2.2	Protect and enhance natural habitat areas that are vital for wildlife, including Coastal Sage Scrub for the California Gnatcatcher.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat area for the California Gnatcatcher. The Project's EIR will identify appropriate mitigation for impacts to the Gnatcatcher.
Policy COR-2.3	Provide additional linkages between open space in order to accommodate wildlife movement.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat area in an area surrounded by developed parcels. Wildlife movement to abutting parcels would not be feasible.
Policy COR-2.4	Require identification on all new project site plans of sensitive areas that may be candidates for preservation.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat area in an area surrounded by developed parcels. The Project does not include any preservation of the limited on-site habitat areas.
Policy COR-2.5	Coordinate with Mt. San Antonio College and Cal Poly Pomona to preserve, enhance, and promote the Mt. SAC Wildlife Sanctuary and the Voorhis Ecological Reserve.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-2.6	Confine fencing on hillside property to the area around a building rather than around an entire site to allow for the migration of wild animals.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat area in an area surrounded by developed parcels. Wildlife movement outside of the subject parcel would not be feasible. Therefore, this policy is not applicable to the Project.

GOAL COR-3: PRESERVED AND REHABILITATED RIPARIAN AREAS AND CREEKS

Policy		Consistency Analysis
Policy COR-3.1	Preserve and enhance existing waterways and natural riparian areas to achieve natural states that support wildlife and that provide flood control and groundwater recharge functions.	The Project does not contain, nor is adjacent to, existing waterways and natural riparian areas. Therefore, this policy does not apply to the Project.
Policy COR-3.2	Consult with the Los Angeles County Flood Control District to explore storm water and green infrastructure improvements, such as along Pierre Road, to remove pollutants from storm water runoff before it enters San Jose Creek.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-3.3	When development is proposed near natural vegetation, encourage the landscaping to be consistent with the palette of vegetation found in the natural vegetation.	The Project is located on a disturbed parcel and contains a small amount of fragmented, natural habitat area in an area surrounded by developed parcels. The Project does not include any preservation of the limited on-site habitat areas; therefore, this policy does not apply to the Project.
Policy COR-3.4	Minimize and discourage use of lawns and turf on hillsides.	Plantings for slopes is identified in <i>Section 4.7.6</i> and does not include lawns or turf.
Policy COR-3.5	Encourage volunteer organizations to help clean creek beds to reduce pollution and help return waterways to their natural state.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-3.6	Provide educational materials to property owners whose properties include creeks to show them the benefits of creek restoration and proper management.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-3.7	Work with nonprofit groups and pursue grant funding to help restore and rehabilitate degraded natural habitat and implement conservation measures that protect local ecosystems.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-4: A HEALTHY AND VIBRANT COMMUNITY FOREST		
Policy		Consistency Analysis
Policy COR-4.1	Provide incentives and adopt policies to encourage a healthy and abundant tree canopy Citywide.	The Project design guidelines (<i>Section 4.7.3</i>) specifies that street trees shall be planted to create a continuous shade canopy in the public realm. Additionally, <i>Exhibit 4.2</i> shows possible locations where other trees could be planted to contribute to the City's tree canopy.
Policy COR-4.2	Prioritize the planting of street trees in new development projects, and ensure that any dying or diseased tree within a public right-of-way is quickly replaced with healthy and appropriate specimens.	As indicated in <i>Section 4.7</i> , street trees are a major component of the Project's streetscapes and will be planted along public and private roadways.
Policy COR-4.3	Implement effective programs that provide protection for mature trees on private properties.	<i>Section 2.3.2</i> of the Specific Plan details the existing trees on the site. None of the trees are protected by the City and are either non-native, diseased, or dying. However, the Specific Plan includes replacement ratios for these trees.
Policy COR-4.4	Encourage the preservation, maintenance, and protection of California Black Walnut/Oak Trees, as well as other important native tree species Citywide.	As indicated in <i>Section 2.3.3</i> , there are no California Black Walnut, Black Oak, or other trees that are protected by the City's tree ordinance on the Project site.

GOAL COR-5: MUNICIPAL PRACTICES AND PRIVATE ACTIONS THAT PROMOTE ENVIRONMENTAL SUSTAINABILITY

	Policy	Consistency Analysis
Policy COR-5.1	Implement regulations and provide incentives that require public and private developments to reduce energy use over the long term.	Section 4.9 of the Specific Plan includes sustainable design strategies that encourage provisions that will reduce energy use over the long term.
Policy COR-5.2	Work with Southern California Edison to encourage residents and businesses to take advantage of any programs designed to reduce energy. Also provide such information on the City's website.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-5.3	Encourage energy-efficient design of all new projects (public and private), including appropriate structure orientation and the use of shade trees to maximize cooling and reduce fossil fuel consumption for heating and cooling.	Section 4.9 of the Specific Plan includes sustainable design strategies that encourage structure orientation, and the use of shade trees.
Policy COR-5.4	Work to reduce landfill waste and increase recycling.	Section 4.9 of the Specific Plan identifies a sustainable design strategy to recycle no less than 50 percent of all waste generated during construction.
Policy COR-5.5	Implement measures focused on reducing landfill source materials beyond recycling, including making conscious purchasing choices in municipal operations.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-5.6	Support the efforts of all water agencies serving Walnut to reduce water consumption at all times, not just during times of drought.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, the Project includes water-reducing measures such as the encouragement of planting drought-tolerant landscape in Section 4.9 of the Specific Plan.

Policy		Consistency Analysis
Policy COR-5.7	Allow new development only when it can be demonstrated that sufficient water is available over the long term to supply that development.	The Project's EIR includes an analysis regarding the availability of water to service the Project. No significant impact related to water has been identified.
Policy COR-5.8	Support the expansion of recycled water use wherever possible and feasible.	The Terraces at Walnut Project includes the use of reclaimed water for irrigation of common areas (see Section 3.4.1.2).
Policy COR-5.9	Explore the possibility of adopting gray water ordinances for municipal, business, and residential applications.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL COR-6: A WELL-INFORMED COMMUNITY ON THE TOPICS OF RESOURCE CONSERVATION AND SUSTAINABILITY		
Policy		Consistency Analysis
Policy COR-6.1	Provide public information regarding resource conservation. Build on the City's Environmental Services Guide and other resource to make it easy for the public to make good decisions and access information and services regarding conservation.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-6.2	Send educational information and notices to households and businesses with water prohibitions, water allocations, and conservation tips.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-6.3	Consider creating a City demonstration water-wise garden in parks as they are re-landscaped or improved using drought-tolerant native and non-invasive plants.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-7: PROTECTED AND HEALTHY GROUNDWATER BASINS

Policy		Consistency Analysis
Policy COR-7.1	Require low-impact designs such as vegetated treatment systems (bioswales, drainage swale, vegetative buffers, constructed wetlands) and other green infrastructure improvements for storm water discharge pollution removal.	The Project includes low-impact design systems to treat storm water. A discussion of this design is included in <i>Section 3.4.3</i> .
Policy COR-7.2	Update Zoning and building requirements to require innovative design methods to increase pervious surfaces and maximize water infiltration into the San Gabriel Valley Groundwater basin.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-8: EXPANSIVE PUBLIC ART AND CULTURAL PROGRAMS THAT STRENGTHEN WALNUT'S COMMUNITY IDENTITY

Policy		Consistency Analysis
Policy COR-8.1	Encourage and promote opportunities for permanent and temporary public art installations.	As identified in <i>Section 4.7.5</i> of the Specific Plan, public art is encouraged in the Project's pocket parks and gateways.
Policy COR-8.2	Work with the community, local schools, Mt. San Antonio College, and local artists to design and implement artistic and cultural features throughout the City and on public properties.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-9: RECOGNIZE AND PRIORITIZE CULTURAL AND HISTORICAL PRESERVATION

Policy		Consistency Analysis
Policy COR-9.1	Protect identified historical sites, and continue to assess over time the historical significance of additional properties.	As indicated in the Project's EIR, the Project is a previously disturbed site and contains no historical resources.
Policy COR-9.2	Assure that all development properly address the potential for subsurface archeological deposits.	The Project's EIR identifies that the potential for subsurface archeological deposits and includes mitigation measures to mitigate address this potential.

Policy		Consistency Analysis
Policy COR-9.3	Review all development and re-development proposals in the City for the possibility of cultural resources. This may include the need for individual cultural resource studies, including subsurface investigations.	The Project's EIR identifies that the potential for subsurface cultural resources and includes mitigation measures to mitigate address this potential.
GOAL COR-10: CLEAN LOCAL AIR QUALITY AND REDUCED GREENHOUSE GAS EMISSIONS		
Policy		Consistency Analysis
Policy COR-10.1	Find creative means to comply with State laws addressing climate change.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-10.2	Assure the City provides updated data to the Southern California Regional Governments to assist in updates to the Sustainable Communities Strategies and Regional Transportation Plan.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-10.3	Streamline solar panel permits for small-scale residential and commercial business roof-top projects by removing discretionary planning permits or allowing approval over the counter.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-10.4	Encourage the use of solar energy systems or any other technology that similarly reduces the use of power from the grid in residential and commercial uses.	Section 4.9 of the Specific Plan encourages the integration of photovoltaic systems into building design. Additionally, other passive and active energy saving measures are recommended to reduce energy consumption.
Policy COR-10.5	Require LEED or similar building efficiency certifications for all new public facilities and buildings, and encourage similar green building certifications for private development projects.	Section 4.9 includes a variety of sustainable design strategies to incorporate into the Project. Most of these strategies are included in LEED or other building efficiency certifications.

Policy		Consistency Analysis
Policy COR-10.6	Minimize air quality impacts of new development projects on established uses.	The Project consists of development on an existing vacant site; therefore, this policy does not apply. Nevertheless, air quality impacts and mitigation measures to minimize said impacts are identified in the Project's EIR.
Policy COR-10.7	Ensure that land use and transportation plans support air quality goals, with new development projects reducing vehicle miles traveled and vehicle trips.	The Terraces at Walnut project promotes walkability through site design and linking the open spaces and Commercial District to the residential portions of the Project. Impacts on vehicle miles traveled are identified in the Project's EIR.
Policy COR-10.8	Partner with regional agencies to establish public education programs that provide information on ways to reduce and control emissions and make clean air choices.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-10.9	Pursue tree planting programs with species that can help with carbon sequestration.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut project. However, tree species are identified in <i>Section 4.7.6</i> .
Policy COR-10.10	Prioritize alternative fuel vehicles for City use. Incorporate alternative fuel charging stations into public and private development projects.	The Project will be required to include vehicle charging stations within the Commercial District per CALGreen and per sustainable design strategies included in <i>Section 4.9</i> .

GOAL COR-11: A VIBRANT PARK SYSTEM THAT MEETS EVOLVING COMMUNITY NEEDS		
Policy		Consistency Analysis
Policy COR-11.1	Develop and maintain parks, recreational, and cultural facilities that reflect the broadest range of interests, and that meet the needs, desires, and interests of the Walnut community.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces. Programming for these spaces are conceptually identified in the Specific Plan, but complete details will be provided as part of the Site Plan.
Policy COR-11.2	Explore ways to construct additional parks to ensure adequate open space/parks are provided within walking distance to all residential areas.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces that are located within close proximity to proposed dwellings.
Policy COR-11.3	Explore ways to add additional pocket parks throughout the City to provide additional recreation amenities within areas that lack access to parks.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces that are located within close proximity to proposed dwellings. Existing residents, especially those on Roundup Drive will also benefit from these proposed recreational facilities due to the proposed pedestrian connection at the Bridle Way EVA.
Policy COR-11.4	Maintain a current parks, recreation, open space, and trails master plan that outlines policies and strategies to plan for recreational needs, park accessibility, long-term maintenance, changing demographic preferences, COR - 28 open space and trails management, and sustainable funding sources.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy COR-11.5	Require that all new, large residential developments provide on-site park facilities, and ensure they provide connectivity to the existing Walnut trail system.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces. However, the Project does not include, nor is adjacent to any existing or planned trails. Therefore, the parks facilities do not connect to the existing trail system.
Policy COR-11.6	Maintain joint-use agreements with school sites to maximize recreation opportunities.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-11.7	Create new kinds of parks or convert existing parks as new community needs arise that incorporate flexible park areas, nature and educational play features, passive and social spaces, art facilities that utilize local artists, access to existing trails, and diversified play environments.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces. Programming for these spaces are conceptually identified to meet different needs in the Specific Plan, but complete details will be provided as part of the Site Plan. The network of parks will utilize the topography and introduce unique opportunities for recreation to the City's park system.
Policy COR-11.8	Establish sufficient funding sources to maintain parks and recreation facilities at very high standards.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces, which will be maintained by a private association. In addition, the Project will be required to pay park impact fees, as applicable per the City's Code.
Policy COR-11.9	Prioritize the replacement of playground equipment more than 20 years old.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy COR-11.10	Consider establishing nature play environments in lieu of the more conventional play equipment.	As indicated in <i>Section 4.7</i> , the Project includes a minimum of 2.0 acres of interconnected parks and usable open spaces. Programming for these spaces are conceptually identified to meet different needs in the Specific Plan, but complete details will be provided as part of the Site Plan.
Policy COR-11.11	Prioritize the construction of shade over all playground equipment for safety and character identity.	As indicated in <i>Section 4.7</i> , parks include shade elements over proposed playgrounds.
Policy COR-11.12	Adopt and maintain a master signage and wayfinding plan for all public parks to ensure adequate and consistent signage is provided to identify public recreational areas.	This policy does not apply to The Terraces at Walnut project as the Project only consists of private parks.
Policy COR-11.13	Pursue establishment of an aquatics center to help augment a range of aquatic, water, swimming facilities. Assure the new aquatics center and related facilities will have operational funding that will not be detrimental to the City General Fund.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-11.14	Continue to identify and plan for a new outdoor public amphitheater site that will allow for outdoor events and public gatherings.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-12: COMPREHENSIVE AND CONNECTED TRAIL SYSTEM

Policy		Consistency Analysis
Policy COR-12.1	Maintain the City's extensive trail network to accommodate the diverse needs of the Walnut community.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.
Policy COR-12.2	Plan and provide for all types of trail use—pedestrian, equestrian, and bike trails—in a manner that minimizes user conflicts.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.

Policy		Consistency Analysis
Policy COR-12.3	Require dedication or easements and construction of trails as part of the development review process, where appropriate.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.
Policy COR-12.4	Complete a connected trail system, including a loop system for pedestrian and bicyclists.	The Project does not include, nor is adjacent to any existing or planned trails. However, the project proposes an internal pedestrian network that connects the various parks, planning areas, and land uses.
Policy COR-12.5	Explore opportunities to increase funding for trail maintenance to assure trails are well kept as maintenance costs rise.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-12.6	Maintain wood lodge pole fencing to preserve a rural and rustic community character.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.
Policy COR-12.7	Develop support features to enhance the trail experience, such as rest stations and interpretative signage.	The Project does not include, nor is adjacent to any existing or planned trails. Therefore, this policy does not apply to the Project.
Policy COR-12.8	Establish an adopt-a-trail program to help maintain the trail system.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL COR-13: QUALITY COMMUNITY SERVICES AND PROGRAMS FOR WALNUT RESIDENTS

Policy		Consistency Analysis
Policy COR-13.1	Provide high-quality community service programs, events, and services that provide opportunities for recreational, physical, cultural and educational activities for residents of all ages, including new programming that involves emerging trends.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-13.2	Expand nature programming and environmental education, and distribute opportunities throughout the City.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy COR-13.3	Periodically revisit facility allocation, reservation, and fee policies and procedures.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-13.4	Extend recreational opportunities for special needs groups (seniors, disabled, visually challenged, etc.) by making improvements to existing facilities and trails.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut project. However, all parks will conform to applicable ADA accessibility standards.
Policy COR-13.5	Continue to plan for and conduct community special events that bring residents together.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy COR-13.6	Adjust programs over time as needed to respond to changing demographic structures, particularly the phenomena of the services needed by an aging population, changes in ethnographic composition, and the possible decline in the K-12 school-age population.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Community Facilities & Infrastructure Element

GOAL CFI-1: PROVIDE QUALITY COMMUNITY FACILITIES THAT MEET THE NEEDS OF THE COMMUNITY IN A FISCALLY RESPONSIBLE MANNER

	Policy	Consistency Analysis
Policy CFI-1.1	Expand and improve City facilities and buildings as needed to meet community needs, based on regular monitoring and evaluation of the physical condition of facilities, service gaps, and changing community needs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-1.2	Require that development projects fully address impacts to public facilities and services. Ensure new development pays proportional fair-share costs of public facilities through applicable fees and assessments. Ensure that existing residents and businesses are not burdened with the cost of financing facilities and services aimed at supporting new development or the intensification of existing development.	As indicated in the Project's EIR and/or conditions of approval, developers for the Project will pay the required infrastructure fair share fees, which may include and is not limited to: traffic, water, sewer, fire, police, storm drain, and parks. The Project will provide the opportunity for new retail and residential tax base for the City of Walnut.
Policy CFI-1.3	Continue to allow new development and the intensification of existing development only where and when adequate public services and facilities can be provided.	As indicated in the Project's EIR, the Project has adequate access to public facilities and can be adequately served by public facilities once the applicable mitigation measures have been implemented.
Policy CFI-1.4	Implement identified capital projects to enhance, maintain, and expand community facilities.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-1.5	Identify long-term funding sources that can be used to ensure that existing facilities are enhanced and maintained to meet the community's needs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut project. However, the Project will provide the opportunity for new retail and residential tax base to the City, contributing to the enhancement of existing City facilities.

Policy		Consistency Analysis
Policy CFI-1.6	Address current and future public facility needs by pursuing, adopting, implementing, and maintaining a diverse funding and management strategy that includes a variety of sustainable financing mechanisms.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-1.7	Develop, evaluate, and apply innovative public facilities and infrastructure financing mechanisms and strategies.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-1.8	Pursue the development of a new community amphitheater aquatic center, and community center to provide opportunities for public gathering events, athletic venues, and outdoor programming.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-1.9	Consider relocating the Maintenance Department and Recreation Services (City Yard) to a new location to make room for expansion of commercial uses.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL CFI-2: INFRASTRUCTURE THAT PRESERVES AND ENHANCES THE CITY'S CHARACTER AND RURAL AESTHETIC		
Policy		Consistency Analysis
Policy CFI-2.1	Limit negative aesthetic impacts of new public and private infrastructure.	Section 4.7 of the Specific Plan includes design guidelines for new infrastructure of the Project. Furthermore, guidelines require a high-quality design in order to contribute to the aesthetic character of the environment.
Policy CFI-2.2	Ensure that all major extensions of services, facilities, and utilities are comprehensively reviewed for related social, economic, and environmental impacts, and require that appropriate mitigation be identified and implemented.	Impacts that result from the extension of services, facilities, and utilities (should they occur,) will be described, analyzed, and mitigated as applicable in the Project's EIR.

Policy		Consistency Analysis
Policy CFI-2.3	Reduce the visual impact of above ground and overhead utilities, including electric lines, by continuing to require the placement of utilities underground within new development and wherever possible, the realignment of existing utilities and equipment underground.	The site does not consist of any existing above-ground utilities, with the exception of streetlights. Streetlights may have to be realigned due to the design of the Project. However, with the exception of screened pump stations, new utilities on the Project site will be built underground.
Policy CFI-2.4	Support efforts to develop improved communications technology in a manner that minimizes visual and environmental impacts to the surrounding area, while benefiting government, business, education, and public safety. Encourage use of newer technologies that allow facility components to be reduced in size or improved via screening or camouflaging. Encourage co-locations of facilities to minimize visual blight.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL CFI-3: PROVISION OF INFRASTRUCTURE AND UTILITIES THAT MEETS THE CURRENT AND FUTURE NEEDS OF THE COMMUNITY		
Policy		Consistency Analysis
Policy CFI-3.1	Consult with public service and private utility companies to assure the long-term provision of water, wastewater, solid waste, electricity, natural gas and telecommunications services citywide.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-3.2	Engage utility service providers in ongoing discussions of service needs assessments to fill in public service gaps and enhancements. Ensure that needed infrastructure system upgrades are implemented in a timely manner.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-3.3	Continue ongoing dialogue with service providers regarding funding and scheduling of any additional infrastructure facilities needed to serve the City.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL CFI-4: SUSTAINED SUPPLY OF POTABLE WATER THROUGH PLANNING AND CONSERVATION

	Policy	Consistency Analysis
Policy CFI-4.1	Continue to identify ways to improve the level of service, reliability, quality, and life cycle of the local potable and expand recycled water storage and distribution systems.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-4.2	Consult with the four water service providers to ensure that water and recycled water delivery systems are maintained.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-4.3	Coordinate with three water service agencies in their planning and infrastructure process to ensure that the City continues to have adequate supply for current needs and future growth.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-4.4	Coordinate with State and regional agencies to ensure that policies and programs related to water provision and conservation meet City goals.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL CFI-5: WASTEWATER SYSTEM THAT MEETS CURRENT AND FUTURE NEEDS

Policy		Consistency Analysis
Policy CFI-5.1	Consult with the Los Angeles County Sanitation Districts to ensure that regional collection and treatment facilities have sufficient capacity to meet future wastewater treatment needs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut project. However, the Project's EIR includes an analysis of wastewater generation and impacts from the Project. Impacts of wastewater are less than significant.
Policy CFI-5.2	Require developers to pay their fair share of costs for localized wastewater infrastructure upgrades to ensure that service levels are met.	Storm drain and flood control systems shall be funded and built by the developer, Community Facilities District, or some combination thereof. Backbone sewer facilities will be owned by the City of Walnut and the fair share cost of designing and constructing the sewer system shall be borne by the developer.

GOAL CFI-6: STORM WATER INFRASTRUCTURE THAT MINIMIZES FLOOD RISKS AND ACHIEVES WATER QUALITY GOALS

Policy		Consistency Analysis
Policy CFI-6.1	Implement best practices in storm water management to reduce demand on the drainage system and to remain low pollution impacts to the surface waters and Walnut's local creeks.	The Project's drainage design is described in Section 3.4.3 of the Specific Plan. Impact analysis of this drainage design is included in the Project's EIR.
Policy CFI-6.2	Continue to correct any deficiencies in the City's drainage system to minimize flood damage and adequately direct rainfall and subsequent runoff.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-6.3	Minimize the impact of development on the City's drainage system by reducing the amount of impervious surface associated with new development and encouraging low impact design features or landscaping that capture runoff.	The Project's drainage design is described in Section 3.4.3. The flows from Project's drainage design will be less than or equal to existing conditions. Additionally, the impact analysis of the drainage design is included in the Project's EIR.

Policy		Consistency Analysis
Policy CFI-6.4	Encourage on-site retention of storm water and compliance with requirements of the NPDES.	The Project's drainage design is described in Section 3.4.3 of the Specific Plan, which includes the on-site retention of stormwater. The impact analysis of the drainage design, including compliance with NPDES, is included in the Project's EIR.
Policy CFI-6.5	Develop and implement management plans that provide appropriate management strategies and natural landscaping of local creeks.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL CFI-7: COMMUNICATIONS SYSTEMS THAT USE COMPREHENSIVE STEALTHING METHODS COUPLED WITH INNOVATIVE TECHNOLOGIES AND PROVIDE EXCELLENT SERVICES TO BUSINESSES, RESIDENTS, AND INSTITUTIONS WHILE MINIMIZING VISUAL AND AESTHETIC IMPACTS		
Policy		Consistency Analysis
Policy CFI-7.1	Promote Citywide telecommunications systems have no or minimal visual impacts while providing services Citywide. Encourage the use of innovative technologies and equipment with minimal visual and aesthetic impacts.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-7.2	Coordinate with private utilities to provide Walnut residents, businesses, and institutions with an efficient telecommunications infrastructure, including telephone, cable, and internet services emphasizing below-grade facilities when feasible and, when not feasible, above-grade facilities that minimize visual impacts.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-7.3	Work with providers to provide services to areas that are not well served by telecommunications technologies.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy CFI-7.4	Restrict cell phone tower installations near schools, parks and recreation areas, and residential zones consistent with the WMC.	Table 5.2 of the Specific Plan allows antennas and private telecommunication facilities per City of Walnut Municipal Code.
Policy CFI-7.5	Encourage new and innovative technologies that are consistent with the community's rural setting, and partner with providers to provide the community with access to these services.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-7.6	Support the extension and access to telecommunications infrastructure such as fiber optic cables, wireless, or other emerging technologies that reduce existing visual impacts.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL CFI-8: EFFICIENT AND ECONOMICAL SOLID WASTE MANAGEMENT		
Policy		Consistency Analysis
Policy CFI-8.1	Reduce solid waste demands on landfills, reduce the release of toxins in the air (including greenhouse gas emissions), and improve community health.	The Specific Plan includes sustainable design strategies in <i>Section 4.9</i> , which include waste reduction strategies and recycling programs during the construction process.
Policy CFI-8.2	Ensure that solid waste generated within the City is collected and transported in a cost-effective manner.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-8.3	Ensure that all development provide on-site collection facilities to meet the waste diversion requirements.	Provisions pertaining to on-site collection facilities will be reviewed per existing regulations when the Site Plan and/or building permits are submitted into the City. The Project will comply with all applicable waste diversion requirements.
Policy CFI-8.4	Encourage public agencies and private property owners to design their operations to exceed regulatory waste diversion requirements.	The Specific Plan includes sustainable design strategies in <i>Section 4.9</i> , which include waste reduction strategies, incorporating a solid waste management program, and recycling programs during the construction process.

	Policy	Consistency Analysis
Policy CFI-8.5	Promote reduction in waste generation, and increase reuse and recycling.	The Specific Plan includes sustainable design strategies in <i>Section 4.9</i> , which include waste reduction strategies, incorporating a solid waste management program, and recycling programs during the construction process.
Policy CFI-8.6	Conduct programs that promote waste reduction through partnerships with schools, institutions, businesses, and homes.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-8.7	Work with providers and businesses to provide convenient hazardous and e-waste facilities for the community.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-8.8	Encourage reuse of materials and reusable products. Develop a program for the reuse of materials and reusable products in City facilities.	The Specific Plan includes sustainable design strategies in <i>Section 4.9</i> , which include waste reduction strategies, incorporating a solid waste management program, and recycling programs during the construction process.
Policy CFI-8.9	Conduct outreach programs for community-wide participation in reuse by promoting community-wide garage sales and other online venues.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-8.10	Collaborate with agencies and large businesses or projects to enhance opportunities for community-wide recycling, reuse, and reduction programs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL CFI-9: SUPERIOR EDUCATIONAL FACILITIES AND RESOURCES FOR RESIDENTS OF ALL AGES AND BACKGROUNDS

	Policy	Consistency Analysis
Policy CFI-9.1	Maintain, enhance, and promote the Walnut Library as an important central resource for informational materials, life-long learning, and personal development.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-9.2	Support the County of Los Angeles Public Library in efforts to provide a superior level of educational, informational, and cultural services for the Walnut community.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-9.3	Continue to support Walnut schools and school districts to provide outstanding educational experiences for Walnut students and to maintain their high ranking.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-9.4	Maintain effective lines of communication with the Walnut Valley Unified and Rowland Unified School Districts serving Walnut residents to address school planning and financing issues.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-9.5	Support efforts by the Walnut Valley Unified and Rowland Unified School Districts serving Walnut residents to establish, maintain, and improve educational facilities and services.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, all new uses will pay all applicable school fees for residential and commercial construction to mitigate impacts of the new development.
Policy CFI-9.6	Consult with school districts to ensure educational facilities with sufficient permanent capacity are available to meet the needs of current and future projected enrollment. Consult with the school districts on policies and projects that affect the provision of educational facilities and services.	All new construction within the Project will pay all applicable school fees for residential and commercial uses to mitigate impacts of the new development. Impacts on schools from the Project are discussed in the EIR.

Policy		Consistency Analysis
Policy CFI-9.7	Work with the school districts to address traffic and parking impacts on adjacent residential neighborhoods.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL CFI-10: MANAGED GROWTH OF MT. SAN ANTONIO COLLEGE AND CAL POLY POMONA THAT PROVIDES BENEFITS TO BOTH THE CITY AND THESE INSTITUTIONS		
Policy		Consistency Analysis
Policy CFI-10.1	Support Mt. San Antonio College's and Cal Poly Pomona's comprehensive education programs to promote continuing education and career advancement while minimizing negative impacts on surrounding neighborhoods.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-10.2	Encourage Mt. San Antonio College and Cal Poly Pomona to conduct transparent and open processes for allowing community input on decisions related to campus growth and facility and infrastructure improvements.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-10.3	Continue to enforce City Zoning Code regulations, City General Plan guidelines, and State and land use law as they may pertain to any proposed development or expansion associated with Mt. San Antonio College and Cal Poly Pomona.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-10.4	Consult with Mt. San Antonio College and Cal Poly Pomona to identify, minimize, or mitigate potential impacts of campus development projects on adjoining residential neighborhoods.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy CFI-10.5	Explore opportunities for City consultation with Mt. San Antonio College and Cal Poly Pomona to implement joint projects that would mutually benefit the City and these institutions.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Public Safety Element

GOAL PS-1: EFFECTIVE AND COMPREHENSIVE CRIME PREVENTION/PROTECTION AND FIRE SERVICES THAT RESPOND TO THE COMMUNITY'S SAFETY NEEDS

Policy		Consistency Analysis
Policy PS-1.1	Maintain law enforcement and fire prevention and protection services that maximize protection of life and property.	Impacts related to fire prevention and police protections are identified in the Project's EIR. The EIR does not identify that a significant impact will occur for these services.
Policy PS-1.2	Continue to contract with Los Angeles County Fire Department to provide fire services and the Los Angeles County Sheriffs' Department to provide law enforcement services.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL PS-2: MINIMIZED RISKS ASSOCIATED WITH WILDLAND FIRES

Policy		Consistency Analysis
Policy PS-2.1	Minimize the intensity of new residential development in the Very High Fire Hazard Severity Zone. Require fire protection plans for any new development located within the Very High Fire Hazard Severity Zone.	The Terraces at Walnut project is not located within or adjacent to a Very High Fire Hazard Severity Zone. Therefore, this policy does not apply to the Project.
Policy PS-2.2	Involve the Fire Department in the early design stage of all projects requiring public review to ensure Fire Department input and appropriate modifications and fire safe design is incorporated in future development.	The Project has been reviewed by LA County Fire, and the Project team has worked with them to ensure the design meets all applicable requirements.
Policy PS-2.3	Ensure adequate emergency access and evacuation routes for all new hillside development, including adequate ingress and egress access.	Adequate ingress and egress to the project is provided along Valley Boulevard. An emergency vehicle access route is also provided at the northern edge of the site connecting to Roundup Drive, north of the Project.

	Policy	Consistency Analysis
Policy PS-2.4	Require that new hillside development have frequent grade breaks in access routes to ensure timely response from fire personnel in an emergency situation.	The project has been reviewed by Los Angeles County Fire for adequacy of fire ingress and egress, including grades of all access routes. The Project will comply with all LA County Fire regulations regarding emergency access.
Policy PS-2.5	Conduct public education for residents of hillside properties and in high fire hazard areas to provide information about defensible space, evacuation routes, fuel modification, and legal brush clearance requirements.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-2.6	Continue to monitor and require short term and long-term maintenance of fuel modification zones and vegetation clearance for hillside development and public and private roads in and adjacent to the Very High Fire Hazard Severity Zone.	The project is not located within or adjacent to a Very High Fire Hazard Severity Zone. Therefore, this policy is not applicable to the Project.
Policy PS-2.7	Develop a program that requires ongoing maintenance of vegetation clearance on public and provide roads within residential hillside areas and in the Very High Fire Hazard Severity Zone.	The project is not located within or adjacent to a Very High Fire Hazard Severity Zone. Therefore, this policy is not applicable to the Project.
Policy PS-2.8	Consult regularly and cooperatively with public agencies responsible for fire protection. Coordinate wildland fire prevention efforts with adjacent jurisdictions and fire agencies.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-2.9	Consult with fire agencies after any major wildfire event to evaluate and plan for future preventative measures, such as increased buffer zones.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy PS-2.10	Develop a program that identifies the required steps, preventive fire mitigation, Fire Department evaluation, and Municipal Code requirements prior to rebuilding any structure after a large wildfire structure loss.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-2.11	Maintain adequate water pressure, fire flow, and water storage capabilities to meet required fire-flow pressures. Consult with water agencies to maintain long-term integrity of water supplies and related infrastructure systems.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project. However, the Project will be required to provide water to the entire development with adequate fire flow.
Policy PS-2.12	Consult with the Fire Department in reviewing new residential development projects to ensure new projects meet minimum fire-flow requirements identified under the California and Los Angeles County Fire Codes.	The water delivery infrastructure within the Terraces at Walnut Project will be adequately sized and designed to meet required fire-flow pressures. Future developments will provide the necessary calculations to ensure that the minimum fire flow requirements are met.
Policy PS-2.13	Discourage locating essential public facilities and water infrastructure facilities within the Very High Fire Hazard Severity Zone.	The project is not located within or adjacent to a Very High Fire Hazard Severity Zone. Therefore, this policy is not applicable to the Project.
Policy PS-2.14	Support the work of the Los Angeles County Fire Department to be engaged in inter-fire service coordination preparedness and mutual aid multi-agency agreements to maintain effective and efficient services.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-2.15	Require all newly constructed or approved roads, streets, and buildings to be designated by names or numbers, posted on signs clearly visible and legible from the roadway to facilitate emergency response personnel and to avoid delays in response.	Future developments will provide details regarding street and building identification signage at the Site Plan and/or Building Permit stage. All applicable legibility requirements will be adhered to.

GOAL PS-3: MINIMIZED RISKS ASSOCIATED WITH SEISMIC AND GEOLOGIC HAZARDS		
Policy		Consistency Analysis
Policy PS-3.1	Conduct earthquake preparedness education campaigns in coordination with regional and State agencies, as well as local school districts and colleges. Education campaigns should engage with the whole community and target public behavior changes around earthquake preparedness.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-3.2	Require geotechnical evaluation and recommendations prior to new development, as appropriate. Such geotechnical evaluation shall analyze the potential hazards from landslides, liquefaction, expansive soils, and mud and debris flow. Recommendations will include mitigation to avoid or minimize the identified hazards.	The Project's EIR includes a geotechnical report. Mitigation measures from this report have been incorporated into the Project's EIR.
Policy PS-3.3	Require that any site with a slope exceeding 10 percent be reviewed against current Landslide Hazard Potential Zone maps of the State of California to determine the need for geotechnical and structural analysis.	The site includes slopes in excess of 10%. The Project's EIR includes a geotechnical report. Mitigation measures from this report have been incorporated into the Project's EIR.
Policy PS-3.4	Require that all new development comply with the most recent State of California seismic building codes and the Seismic Hazards Mapping Act. As appropriate, require mitigation of potentially adverse impacts of geologic and seismic hazards.	Development within the project will comply with State of California seismic building codes and the Seismic Hazards Mapping Act. Additionally, the Project's EIR includes a geotechnical report. Mitigation measures from this report have been incorporated into the Project's EIR.

GOAL PS-4: RESILIENCY AND PREPAREDNESS TO RESPOND QUICKLY AND EFFECTIVELY TO NATURAL AND HUMAN-CAUSED DISASTERS AND THREATS

	Policy	Consistency Analysis
Policy PS-4.1	Maximize disaster preparedness for natural and human-caused disasters.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.2	Continue to implement the City of Walnut Multi-Jurisdictional Hazard Mitigation Plan, and update the Plan on a regular basis.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.3	Maintain current evacuation strategies and routes for all types of disasters, and identify locations of facilities for emergency shelter for all needs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.4	Maintain the Walnut Notification System or similar program to provide residents with critical information about emergency situations. Develop public outreach strategies to encourage awareness that publicizes the system, and encourage all residents to sign up.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.5	Prepare for the effective mobilization of City resources—both public and private—in the event of any disaster.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.6	Engage in regional emergency response planning.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.7	Ensure the ongoing training of City staff on their functions/responsibilities in the Emergency Operations Center and in disaster preparedness, first aid, and CPR. Conduct regular exercises, and participate in regional exercises to ensure that employees are adequately trained.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy PS-4.8	Encourage the use of volunteer groups to augment emergency services, and clearly define responsibilities during a local emergency.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.9	Provide emergency preparedness materials in languages that match the needs of Walnut residents.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.10	Incorporate climate change effects and impacts into public emergency preparedness education programs, with special consideration given to effective methods to communicate the issue to a general audience. Develop and implement a strategy to identify and assess local vulnerabilities associated with climate change. Develop a method for prioritization of adaptation strategies and create a strategy toolkit that identifies areas of action.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-4.11	Consult with the County of Los Angeles Office of Emergency Management for all emergency planning and disaster response needs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
GOAL PS-5: CREATE A HIGH DEGREE OF COMMUNITY AWARENESS AND PARTICIPATION IN THE PROPER STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS		
Policy		Consistency Analysis
Policy PS-5.1	Ensure the safe handling, storage, and transportation of hazardous materials citywide.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-5.2	Coordinate with regional agencies that assist in protecting the public from hazardous materials exposure.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Policy		Consistency Analysis
Policy PS-5.3	Require the proper storage and disposal of hazardous materials to prevent leakage, potential explosions, fire, or the release of harmful fumes. Maintain information channels to the residential and business communities about the illegality and danger of dumping hazardous material and waste into the storm drain system and creeks.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-5.4	Explore and implement efficient, economical, and convenient ways to offer household hazardous waste collection for residents in partnership with the City's solid waste contractor and the County. Coordinate with the Los Angeles County Public Works and other agencies to provide household hazardous waste and E-waste collection events.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-5.5	Work with appropriate authorities to ensure the safe handling of hazardous materials, including the monitoring of facilities that use, store, or handle hazardous materials.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-5.6	Consult with Los Angeles County agencies and LACFD to properly address train transport and other hazards planning in the event of a train accident.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-5.7	Continue to monitor and consult with Federal and State agencies involved in the cleanup of the BKK landfill site. Continue to monitor and review future development projects near and around the landfill site.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

GOAL PS-6: AVOID AND MINIMIZE FLOOD RISKS, DAM INUNDATION, AND OTHER FLOOD EVENTS

Policy	Consistency Analysis
Policy PS-6.1 Locate, when feasible, new essential public facilities outside of flood hazard zones, including hospitals and health care facilities, emergency shelters, fire stations, emergency command centers, and emergency communications facilities, or identifying mitigation measures.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-6.2 Continue to enforce, and update when necessary, the City's Floodplain Management Ordinance. Periodically review maps prepared by FEMA and the State Department of Water Resources to identify changes in mapping of areas subject to flooding and amend the General Plan or Municipal Code as warranted.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-6.3 Cooperate and coordinate with federal, State, and local jurisdictions and agencies involved in the mitigation of flood hazards from dam inundation, and other flood events.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy PS-6.4 Integrate flooding-related topics into emergency planning education and emergency operation programs.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.

Noise Element

GOAL N-1: QUIET NEIGHBORHOODS

Policy		Consistency Analysis
Policy N-1.1	Use the Land Use Compatibility for Community Noise Environments scale (Figure N-4), the Future Noise Contour Map (Figure N-5,) and the WMC to evaluate land use decisions to mitigate unnecessary noise impacts or discourage further unmitigated noise-inducing developments.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy N-1.2	Continue to refine noise standards responsive to seasonal variations in noise source levels, existing outdoor ambient levels (i.e., relative intrusiveness of the source), general societal attitudes towards the noise source, prior history of the source, tonal characteristics of the source, and qualitative community-equivalent standards.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy N-1.3	Minimize noise impacts in the community to ensure that noise does not detract from Walnut's quality of life.	Noise impacts are analyzed in the Project's EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. With the incorporation of mitigation measures, noise will not significantly impact adjacent neighborhoods.
Policy N-1.4	Continue to use established code regulations that help minimize noise. Encourage continued use of zoning regulations, design review, and environmental assessment to implement, and develop further effective noise policies.	The Terraces at Walnut project will comply with established municipal codes that regulate and minimize noise impacts. Additional design guidelines and standards have been included in the Specific Plan to further minimize noise.
Policy N-1.5	Locate delivery areas for new commercial and industrial development away from existing or planned homes.	Plans for the Commercial District are not included with this Specific Plan. Location of delivery areas (if any) will be reviewed during the Site Plan stage.

Policy		Consistency Analysis
Policy N-1.6	Minimize stationary noise impacts on sensitive receptors, and require control of noise from construction activities, private developments/residences, landscaping activities, and special events.	Noise impacts are analyzed in the Project's EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. With the incorporation of mitigation measures, noise will not significantly impact adjacent neighborhoods.
Policy N-1.7	Require development projects to implement mitigation measures, where necessary, to reduce noise levels to meet adopted standards and criteria. Such measures may include, but are not limited to, berms, walls, and sound-attenuating architectural design and construction methods.	Noise impacts are analyzed in the Project's EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. With the incorporation of mitigation measures, noise will not have a significant impact.
Policy N-1.8	Require that mixed-use structures and areas be designed to minimize the transfer of noise from commercial uses to residential uses.	Noise impacts are analyzed in the Project's EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. With the incorporation of mitigation measures, noise will not have a significant impact.
Policy N-1.9	Require analysis and implementation of techniques to control the effects of noise from industrial sources, utilities, and mechanical equipment.	Noise impacts are analyzed in the Project's EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. The Project does not include any industrial, utilities, or mechanical equipment that are anticipated to generate a significant amount of noise.

GOAL N-2: MINIMIZE TRANSPORTATION NOISE AND VIBRATION

	Policy	Consistency Analysis
Policy N-2.1	Continue to support and lobby for programs that establish limitations on train horns via “Quiet Zones” for neighborhoods within the vicinity of a railroad track.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy N-2.2	Evaluate solutions to discourage through traffic in neighborhoods through noise-attenuating roadway materials, and modifications to street design.	The Project consists of the development of an infill site surrounded by existing development. Other than Valley Boulevard, the Project will not include any vehicular connections.
Policy N-2.3	Designate a system of truck routes on specified arterial streets to minimize the negative impacts of trucking through the City.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy N-2.4	Continue to review developments for noise-minimizing loading and logistics site planning, and delivery practices.	Noise impacts are analyzed in the Project’s EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. Plans for the Commercial District are not included with this Specific Plan. Location of delivery areas (if any) will be reviewed during the Site Plan stage.
Policy N-2.5	Continue to support projects that minimize impacts on residents, improve traffic conditions, and reduce train horns and noise.	Noise impacts are analyzed in the Project’s EIR. Appropriate mitigation measures have been included, if needed, to reduce any potentially significant impact. With the incorporation of mitigation measures, noise will not have a significantly impact.

Housing Element

GOAL H-1: PROVIDE ADEQUATE SITES FOR RESIDENTIAL DEVELOPMENT.

	Policy	Consistency Analysis
Policy H-1.1	Facilitate the development of vacant and underutilized parcels identified in the Housing Element residential site inventory.	The project is identified as being within an underutilized area in the Housing Element. The project consists of converting the vacant land into residential and commercial uses. The project consists of 12 units within the Single-Family District, up to 201 units within the Small-Lot District, and up to 83 units within the Townhome District (up to 290 units total).
Policy H-1.2	Maintain an up-to-date inventory of sites suitable for residential development and provide this information to residential developers and the real estate community.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy H-1.3	Encourage the development of affordable multifamily/senior citizen housing to address the needs of the City's lower income households and increasing elderly population.	The project consists of 12 units within the Single-Family District, up to 201 units within the Small-Lot District, and up to 83 units within the Townhome District on a vacant site (up to 290 units total). The proposal will provide housing opportunities at varying price points that will appeal to different income levels.

GOAL H-2: ENCOURAGE THE ADEQUATE PROVISION OF AFFORDABLE HOUSING TO MEET THE EXISTING AND FUTURE NEEDS OF WALNUT RESIDENTS.

Policy	Consistency Analysis
Policy H-2.1	<p>Provide a variety of residential opportunities in the City including low density single-family homes, multi-family developments for families and seniors, and housing for persons with disabilities (including persons with developmental disabilities).</p>
Policy H-2.2	<p>Facilitate the development of low and moderate income housing through the Specific Plan process in commercial areas in order to provide flexible development standards consistent with the character of the community.</p>
Policy H-2.3	<p>Encourage the development of residential units that are accessible to or are adaptable for conversion to residential use by persons with disabilities (including persons with developmental disabilities). Offer priority for rehabilitation assistance to disabled homeowners for unit modifications to improve accessibility.</p>
Policy H-2.4	<p>Encourage both the private and public sectors to produce or assist in the production of housing with particular emphasis on housing affordable to lower income households, as well as the needs of the disabled, elderly, large families, and female-headed households.</p>

GOAL H-3: MAINTAIN AND ENHANCE THE QUALITY OF EXISTING RESIDENTIAL NEIGHBORHOODS IN WALNUT.

	Policy	Consistency Analysis
Policy H-3.1	Continue to implement the City's residential rehabilitation program. Concentrate future outreach efforts in identified focus neighborhoods.	This policy requires action by the City of Walnut. This policy does not apply to The Terraces at Walnut Project.
Policy H-3.2	Continue to utilize the City's code enforcement program to bring substandard units into compliance with City codes and to improve overall housing conditions in Walnut.	The housing proposed for The Terraces at Walnut will be new construction and be built in compliance with applicable City and State codes.

GOAL H-4: PROVIDE INCREASED OPPORTUNITIES FOR HOMEOWNERSHIP.

	Policy	Consistency Analysis
Policy H-4.1	Continue to participate in home buyer programs administered through the County of Los Angeles Community Development Commission.	Housing for the proposed project will be market rate. This policy does not apply to The Terraces at Walnut Project.

GOAL H-5: MITIGATE GOVERNMENTAL CONSTRAINTS ON HOUSING DEVELOPMENT.

	Policy	Consistency Analysis
Policy H-5.1	Monitor all regulations, ordinances, departmental processing procedures and fees related to the rehabilitation and/or construction of dwelling units to assess their impact on housing costs. Process amendments to the Zoning Code to address constraints to housing development and to be consistent with State laws.	This policy requires action by the City of Walnut. The proposal includes a Zone Change; however, said Zone Change is necessary to implement the proposed Specific Plan, as contemplated by the existing Housing Element and Overlay designation.
Policy H-5.2	Provide priority processing and reduced development fees for Specific Plans with an affordable housing component.	The project will pay all applicable City-required development fees. This policy is not applicable to the proposed project since it is planned as a market rate development consisting of single-family, small-lot single-family, and townhome dwelling units.

GOAL H-6: PROMOTE EQUAL OPPORTUNITY FOR ALL RESIDENTS TO RESIDE IN HOUSING OF THEIR CHOICE.		
	Policy	Consistency Analysis
Policy H-6.1	Continue to enforce fair housing laws prohibiting arbitrary discrimination in the building, financing, selling or renting of housing on the basis of race, color, national origin, ancestry, age, religion, family status, marital status, disability, sexual orientation, source of income, or any other arbitrary factors.	The Terraces at Walnut project will comply with all applicable fair housing laws.
Policy H-6.2	Direct persons with fair housing complaints to the appropriate agency for investigation and resolution.	The Terraces at Walnut project shall comply with the intent of this policy.

APPENDIX B

DEVELOPMENT TRACKING SYSTEM

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APPENDIX C
ORDINANCES AND RESOLUTIONS

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