

[illegible]

## A wide-angle photograph of a large, multi-story resort building with a rustic, log-cabin style architecture. The building features extensive wood siding, multiple gables, and a prominent chimney. It is situated on a grassy lawn with some trees and shrubs in front. A person is walking a dog on the right side of the lawn. The foreground is a dry, grassy field.

ARCHITECTURAL DRAWINGS:	
SHEET	NAME
A1-1	COVER SHEET
A2-1	HI-SEAS SURVEY 1998
A2-2a	PARCEL AND TOPO SURVEY 2017
A2-2b	PARCEL AND TOPO SURVEY 2017 - 2
A2-3	SITE PLAN
A2-4	CONCEPT LANDSCAPE PLAN
A2-5	ILLUSTRATIVE LID PLAN
A2-6	CIRCULATION PLAN
A3-1	MAIN FLOOR PLAN
A3-2	SECOND FLOOR
A3-3	THIRD FLOOR
A4-1	ROOF PLAN
A5-1	EXTERIOR ELEVATIONS BUILDING 1
A5-2	EXTERIOR ELEVATIONS BUILDING 2, BUILDING COLIRS
A5-3	EXTERIOR ELEVATIONS BUILDING 3
A5-4	EXTERIOR ELEVATIONS EVENT CENTER
A6-1	AERIAL PERSPECTIVES
A6-2	VIEW CORRIDOR
A6-3	BEFORE & AFTER - HWY
A6-4	BEFORE & AFTER - AIRPORT ROAD
A6-5	BEFORE & AFTER - HAUL ROAD
A6-6	EXTERIOR PERSPECTIVES HAUL
A6-7	BEFORE & AFTER HAUL ROAD
A7-1	EXTERIOR CONCEPT LIGHTING FIXTURES
A7-2	EXTERIOR LIGHTING PLAN

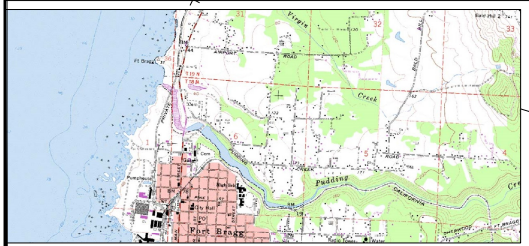
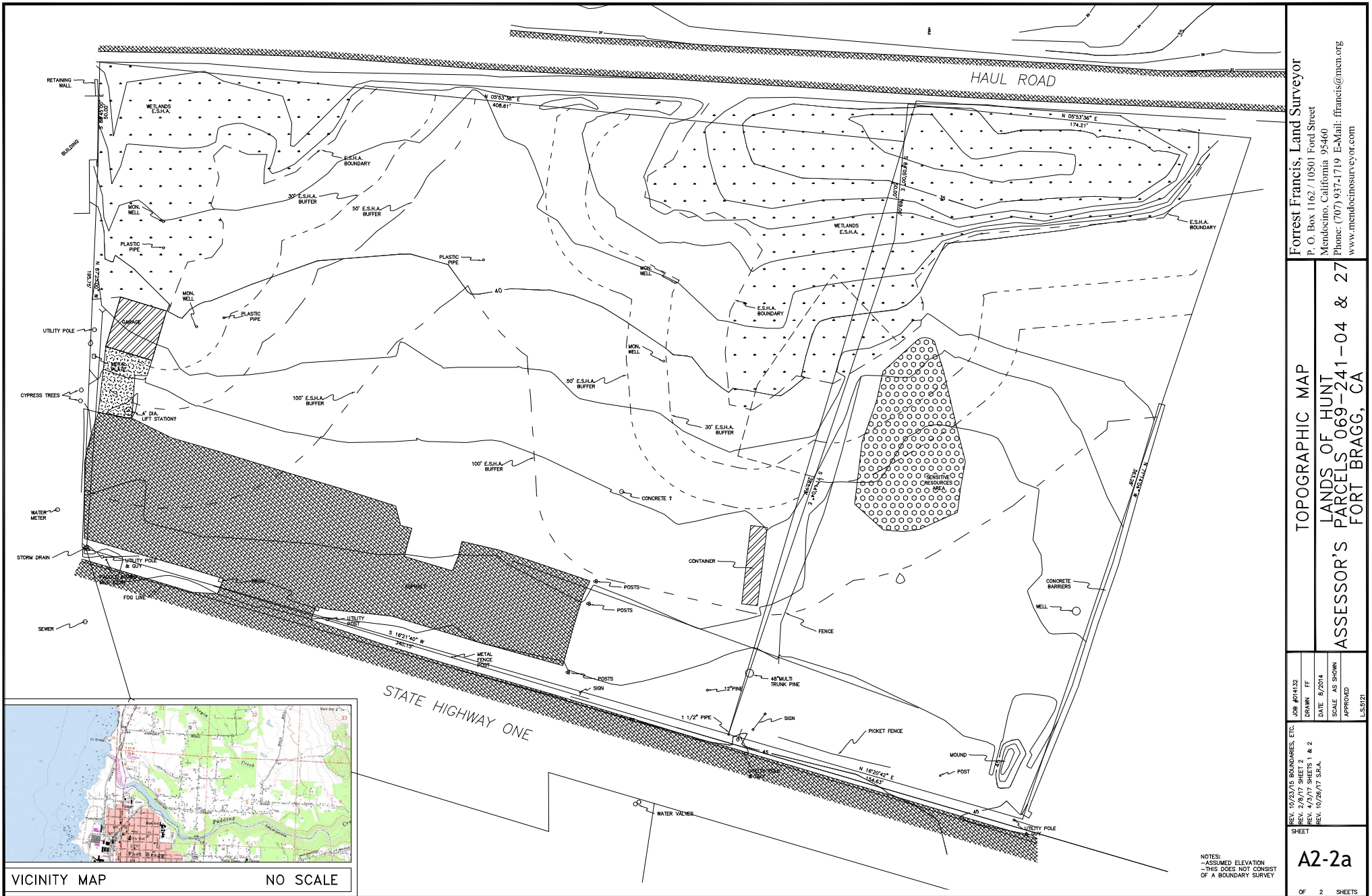
SHEET	NAME
C-1	STANDARD ABB. & LEGENDS
C-2	GRADING, DRAINAGE & UTILITY
C-3	ADA PARKING PLAN
C-4	BIORETENTION & NOTES
C-5	SEDIMENT & EROSION CONTROL PLAN
C-6	SITE CIVIL DETAILS
6.1.1	BUILDING SECTIONS
6.1.2	BUILDING 1 BUILDING SECTIONS
6.1.3	BUILDING 2 BUILDING SECTIONS

<b>CODE INFORMATION:</b>	
DESIGN CODE:	2016 IBC / CBC
OCCUPANCY:	R-1 HOTEL
CONSTRUCTION TYPE:	V
ZONE:	CH / CZ
LOT AREA:	158,994 SF APPX.
<b>LOCATION:</b>	
1201 N. MAIN STREET / HIGHWAY 1	
FORT BRAGG, CALIFORNIA	
A.P. #069-241-04, #069-241-27	
<b>SQUARE FOOTAGE CALCULATION:</b>	
<b>BUILDING 1:</b>	<b>EVENT CENTER</b>
FIRST FLOOR	7,122
SECOND FLOOR	4,096
THIRD FLOOR	3,355
	14,573 SF
<b>BUILDING 2:</b>	<b>PROJECT TOTAL</b>
FIRST FLOOR	5,492
SECOND FLOOR	4,653
THIRD FLOOR	4,653
	14,798 SF
<b>BUILDING 3:</b>	
FIRST FLOOR	4,844
SECOND FLOOR	4,606
	4,645
	14,095 SF

CLIENT:	AGENT:	ARCHITECTURE:	SITE DESIGN:	SURVEYOR:	CIVIL ENGINEER:
HUNT INVESTMENTS, INC P.O. Box 1470 McCall, ID 83638	WYNN COASTAL PLANNING 703 North Main St Fort Bragg, California 95437	EPKOS LAND PLANNING + ARCHITECTURE 303 Colorado, PO Box 2490 McCall, Idaho 83638	EPKOS LAND PLANNING + ARCHITECTURE 303 Colorado, PO Box 2490 McCall, Idaho 83638	FORREST FRANCIS, LAND SURVEYOR PO Box 1162 10501 Ford Street Mendocino, California 95460	SHIN ENGINEERS & GEOLOGISTS 335 S. Main St. Willits, CA 95490
PHONE: 208-634-1154 208-630-4870	PHONE: (707) 964-2537	PHONE: 208-634-4540	PHONE: 208-634-4540	PHONE: (707) 937-1719	PHONE: (707) 459-4518
CONTACT: BOB HUNT	CONTACT: AMY WYNN amy@wcpnplan.com	CONTACT: LISA BECK, LEAD AP BD-C lbeck@epkiosdesign.com	CONTACT: DAVID PEUGH dpeugh@epkiosdesign.com	CONTACT: FORREST FRANCIS ffr@ccsinc.org	CONTACT: JASON ISLAND, PE jisland@shn-engr.com
ARCHAEOLOGIST:	GEOTECHNICAL SURVEY:	TRAFFIC ENGINEER:	BOTANICAL SURVEY	LANDSCAPE CONSULTANT:	CONSULTING ARCHITECT:
Alta Archaeological Consulting 15 Third Street Santa Rosa, CA 95401	BACE, Brunning Associates 6448 Sylvan Ave., Suite 201 Santa Rosa, CA 95403	WHITLOCK & WEINBERGER TRANSPORTATION, INC. (WVTRANS) 490 Mendocino Avenue, Suite 201 Santa Rosa, CA 95401	SINR, WYNN COASTAL PLANNING 703 N. Main St. Fort Bragg, California 95437	KENT GRANEY LANDSCAPING 43202 Little Lake Rd. Mendocino, CA 95460	PAYETTE + FYFE ARCHITECTS 963 Downing Avenue Lafayette, CA 94549
PHONE: (530) 570-7172	PHONE: (707) 838-3027 (x236) (707) 292-3345 (cell) (707) 838-4420 (fax)	PHONE: (707) 542-9500	PHONE: (707) 964-2537	PHONE: (707) 937-0653 (707) 811-0016	PHONE: (415) 392-4433
CONTACT: ALEX DE GORREY Alex@ataac.com	CONTACT: ERIK E. OLSBERG, E.G. Principal Engineering Geologist www.brunning.com	CONTACT: DALINE WHITLOCK, P.E., PTCE dwhitlock@wv-trans.com	CONTACT: ASA SPRIDE asa@wcpnplan.com	CONTACT: KENT GRANEY kent@graneyc.com	CONTACT: ANDRE PIERCE apierce@payettefyf.com



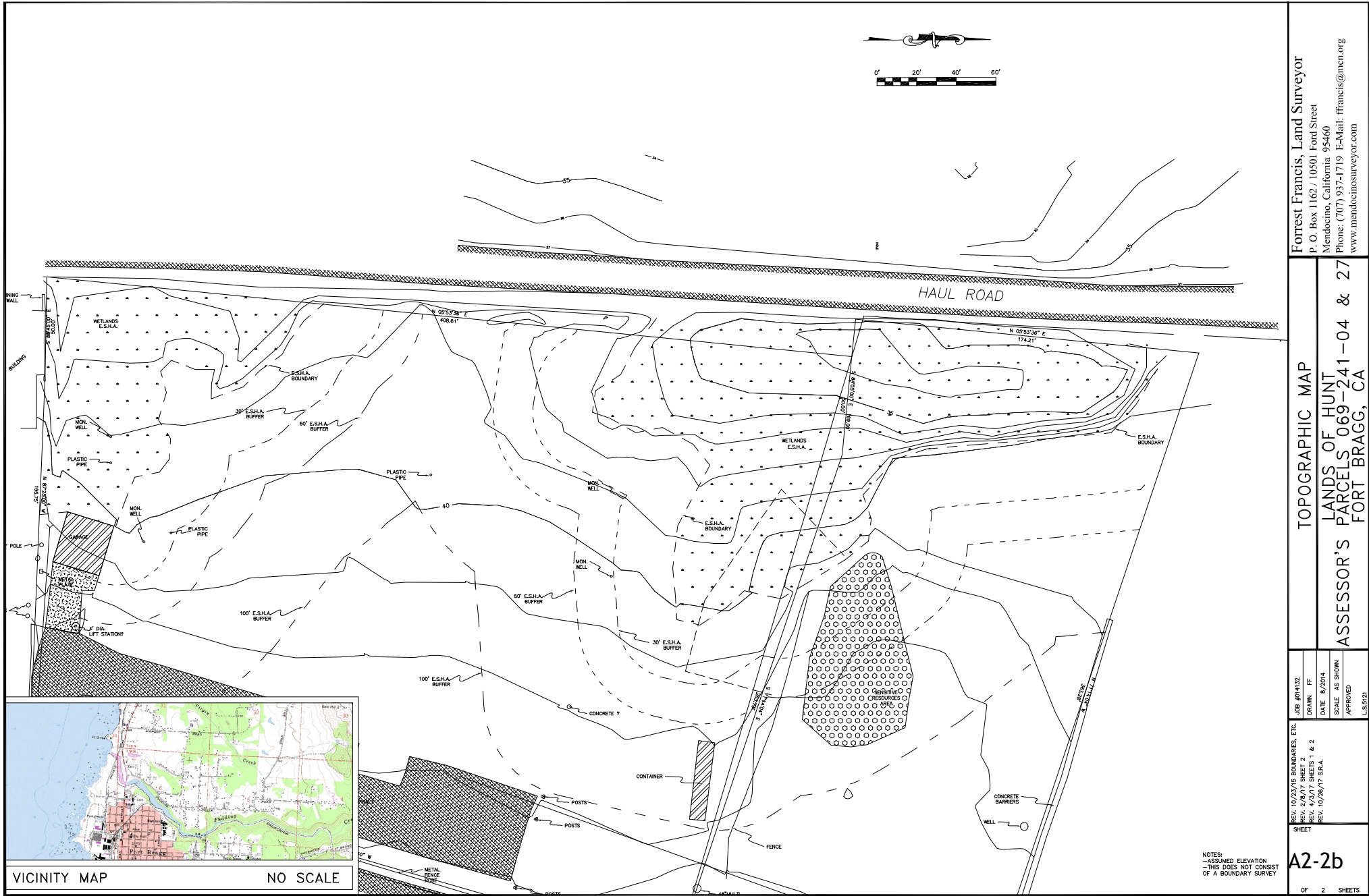




VICINITY MAP NO SCALE

NOTES:  
 --ASSUMED ELEVATION  
 --THIS DOES NOT CONSIST  
 OF A BOUNDARY SURVEY

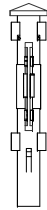
<b>Forrest Francis, Land Surveyor</b> P. O. Box 1162 / 10501 Ford Street Mendocino, California 95460 Phone: (707) 937-1719 E-Mail: <a href="mailto:ffrancis@men.org">ffrancis@men.org</a> <a href="http://www.mendocinosurveyor.com">www.mendocinosurveyor.com</a>	
<b>TOPOGRAPHIC MAP</b> <b>LANDS OF HUNT</b> <b>ASSESSOR'S PARCELS 069-241-04 &amp; 27</b> <b>FORT BRAGG, CA</b>	
JOB #41432 DRAWN: FF DATE: 8/2014 SCALE: AS SHOWN APPROVED: L.S. 5121	REV. 10/23/15 BOUNDARIES, ETC. REV. 2/8/17 SHEET 2 REV. 4/3/17 SHEETS 1 & 2 REV. 10/26/17 S.C.A.
<b>A2-2a</b> OF 2 SHEETS	



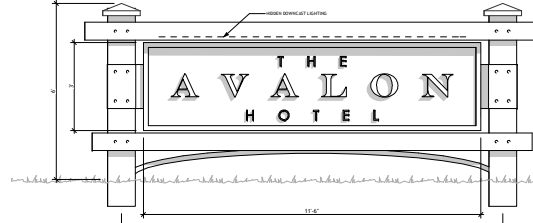




2 SIGN PERSPECTIVE



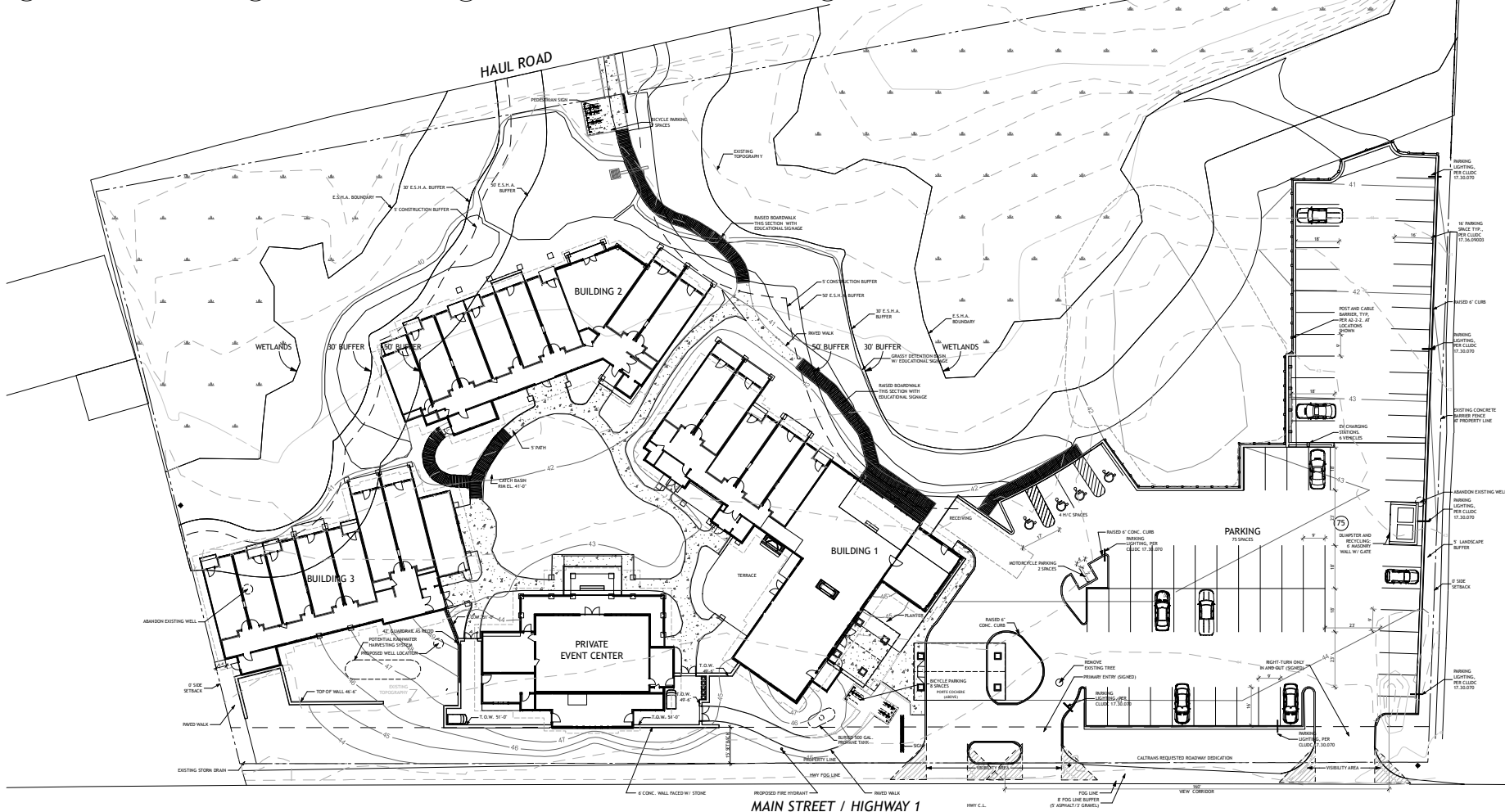
3 SIGN SIDE  
SCALE: 1/2" = 1'-0"



4 SIGN FRONT  
SCALE: 1/2" = 1'-0"



5 PEDESTRIAN SIGN  
SCALE: 1/2" = 1'-0"



MAIN STREET / HIGHWAY 1

CONCEPTUAL GRADING ONLY ILLUSTRATED ON THIS PLAN. REFER TO SHM GRADING PLAN FOR DETAIL.

1 SITE PLAN  
SCALE: 1" = 20'



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Sheet:

A2-3

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# LANDSCAPE SPECIFICATIONS

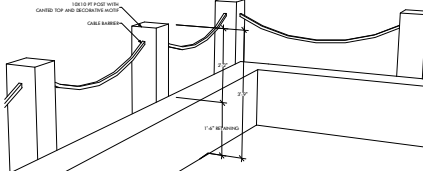
- General Conditions:**
  - All work shall be performed in a professional manner and be of the highest quality standard.
  - No work shall occur within the protected wetland.
  - Restoration shall be completed by the end of the project, including but not limited to, immediate, intermediate, or displacement, shall not be used.
  - Where practical, all proposed plantings to be native vegetation, and all plant material shall be native to the project area. If native vegetation is not available, native vegetation shall be substituted with native species of the same or similar appearance. The plant species listed as a "native" shall be the native species of the U.S. Federal Government shall be utilized within the project.
- Soil Preparation:**
  - Additional support needs to be prepared to the site for planting in the wetland buffer. Identify plant holes with existing soil, amendments and approved fertilizer labels.
- Planting:**
  - Plant holes shall be twice the diameter and depth of the root ball.
  - When planted, crown of plant shall be 1" above grade. Prepare a water basin by forming a soil ridge at least 2" high and wide around the outer edge of the root ball. Water should be considered immediately prior to planting and directly after to eliminate air pockets and reduce plant mortality.
  - All plants shall require 1" minimum of soil, water or fertilizer, or equal. Existing vegetation in a 2' radius from tree crown shall be removed and mulch applied.
  - Plants shall be kept moist for two weeks following planting and then watered weekly, once per week until roots become legions.
- Irrigation:**
  - Planting shall occur late fall/early winter to take advantage of winter rainy season.
  - Irrigation system to be installed according to irrigation Plan, to be developed.
- Maintenance and replacement:**
  - Provide a monthly maintenance check on vegetation and irrigation conditions to ensure success of the planting and irrigation system.
  - Trees shall be replaced in kind, per the landscape plan and written specifications, as the site is not substantially changing.

- TREATMENT A- Wetland preservation**
- TREATMENT B- Soil Amendment**
- TREATMENT C- Wetland Restoration**
- TREATMENT D- Buffer Enhancement (shrubs)**
- TREATMENT E- Spillway (low growing plants)**
- TREATMENT F- Buffer Enhancement (low plants)**

- Scirpus microcarpus, 3' TALL**
- Juncus effusus, 4' TALL**
- Pteridium aquilinum, 3' TALL**
- Sagittaria latifolia, 1' TALL**
- Argemone anserina, 6' TALL**
- Festuca rubra, 4' TALL**

- TREES SUCH AS:**
- Shore Pine
  - Shore Pine
  - Shore Pine
- 5-10' TALL SHRUBS SUCH AS:**
- Wax Myrtle
  - Pink Flowering Currant
  - Emergent Hickberry
  - Strawberry Tree (Anemone)
  - Cantharus
  - Coastal Redwood
  - Callery
  - California Wax Myrtle
  - Crab Apple
  - Texas Blue Rosemary
- 2-6' TALL SHRUBS SUCH AS:**
- Yucca
  - Yucca
  - Yucca

- 2-3' TALL SHRUBS SUCH AS:**
- Cantharus
  - Cantharus
  - Cantharus
- 1'-18" TALL GRASS, PERENNIALS SUCH AS:**
- Yucca
  - Yucca
  - Yucca

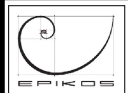


2 POST AND CABLE BARRIER  
NOT TO SCALE



MAIN STREET / HIGHWAY 1

1 CONCEPT LANDSCAPE PLAN  
SCALE: 1" = 20'



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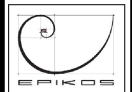
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A2-4



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1 CIRCULATION PLAN

SCALE: 1" = 30'



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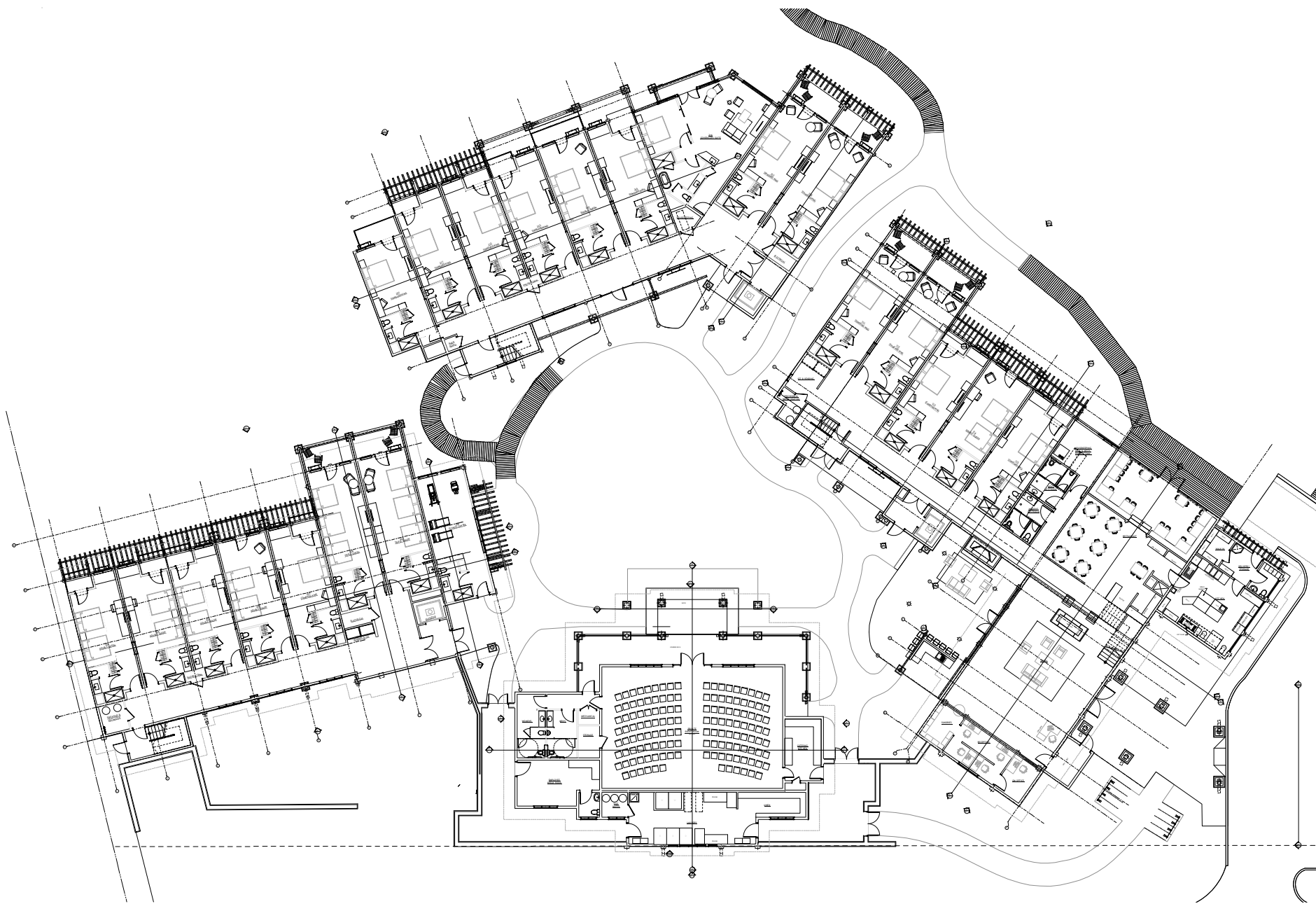
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1 MAIN FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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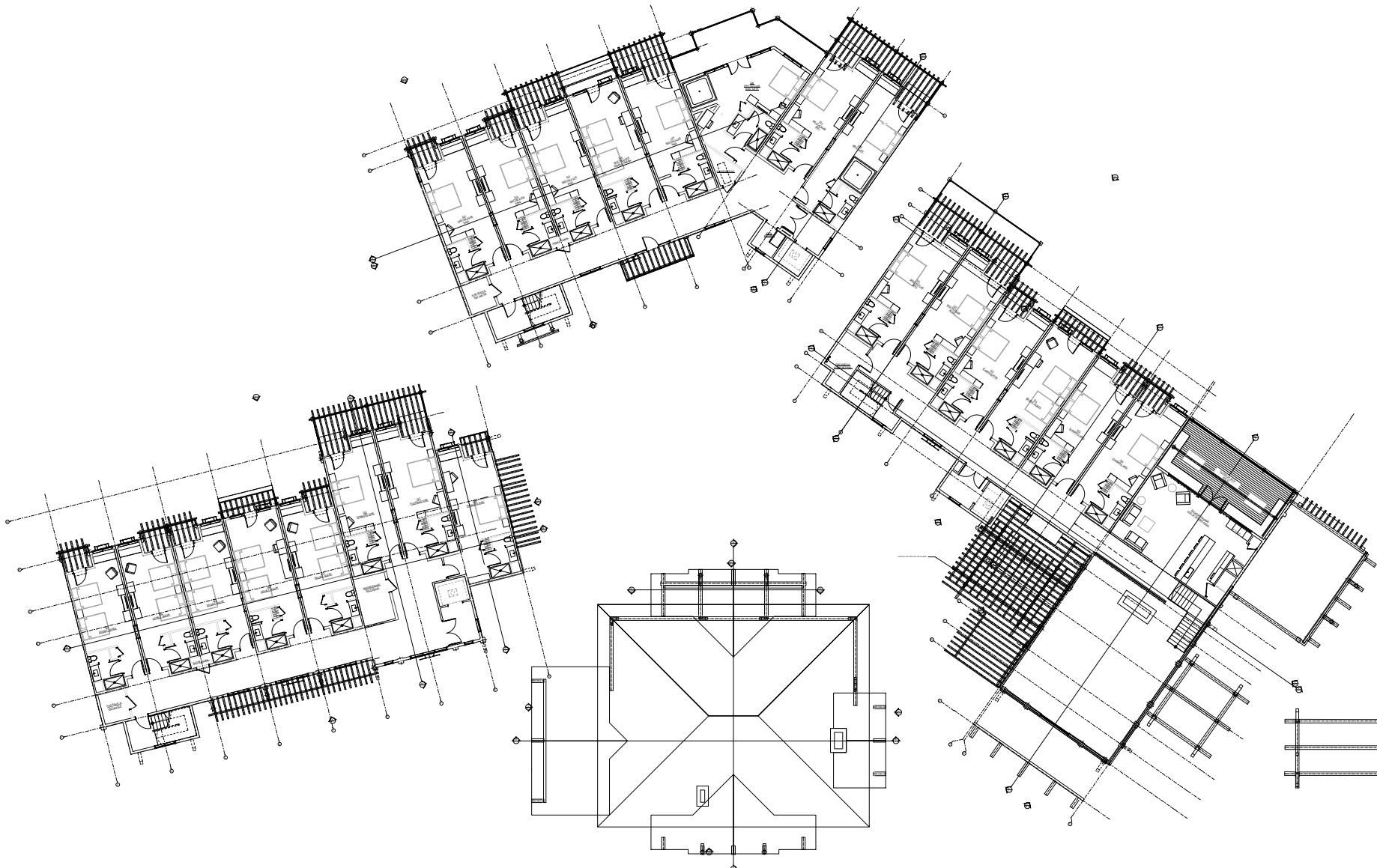
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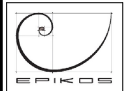
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1 SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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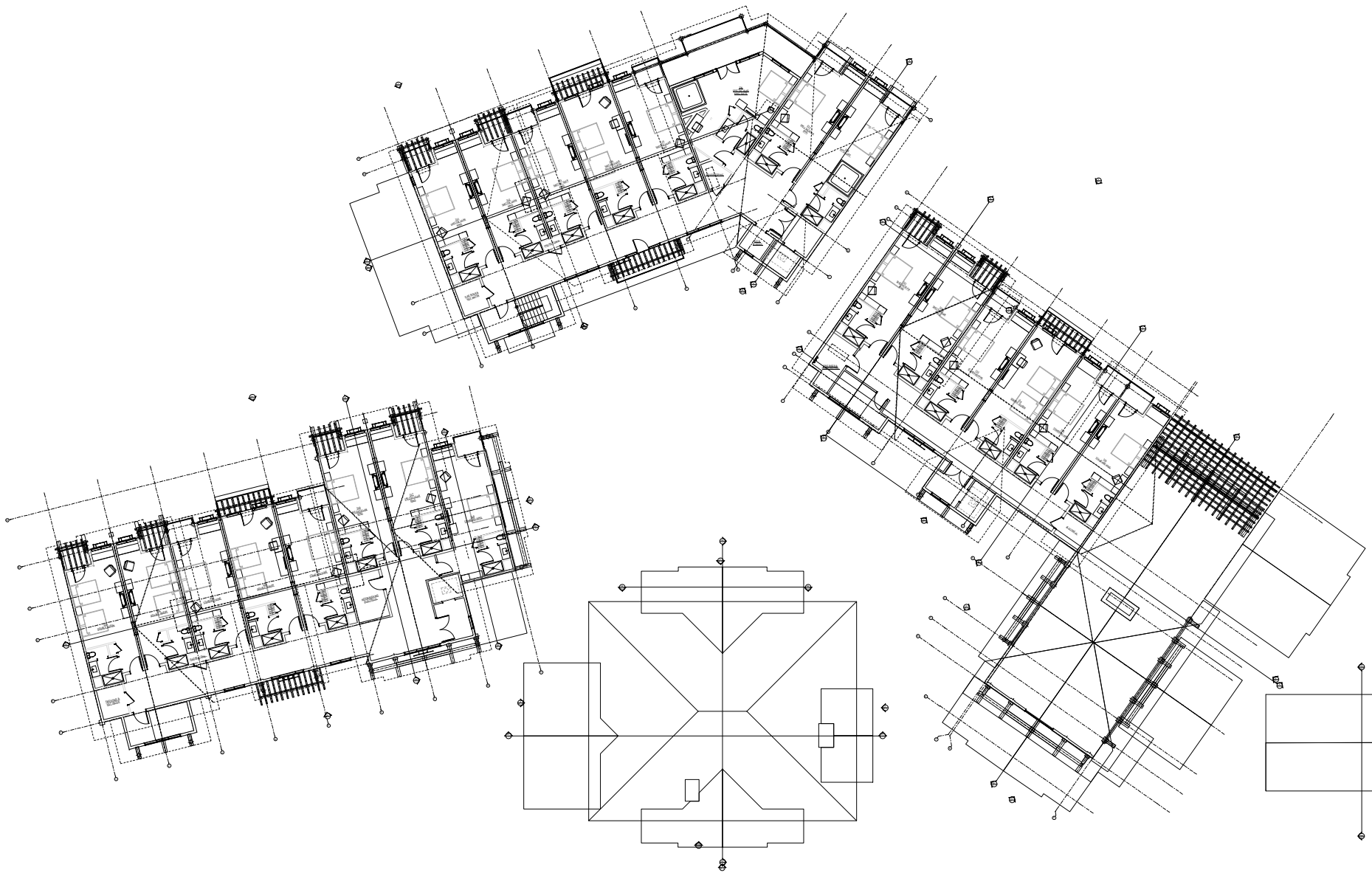
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1 THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0"

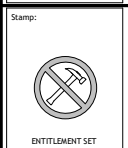
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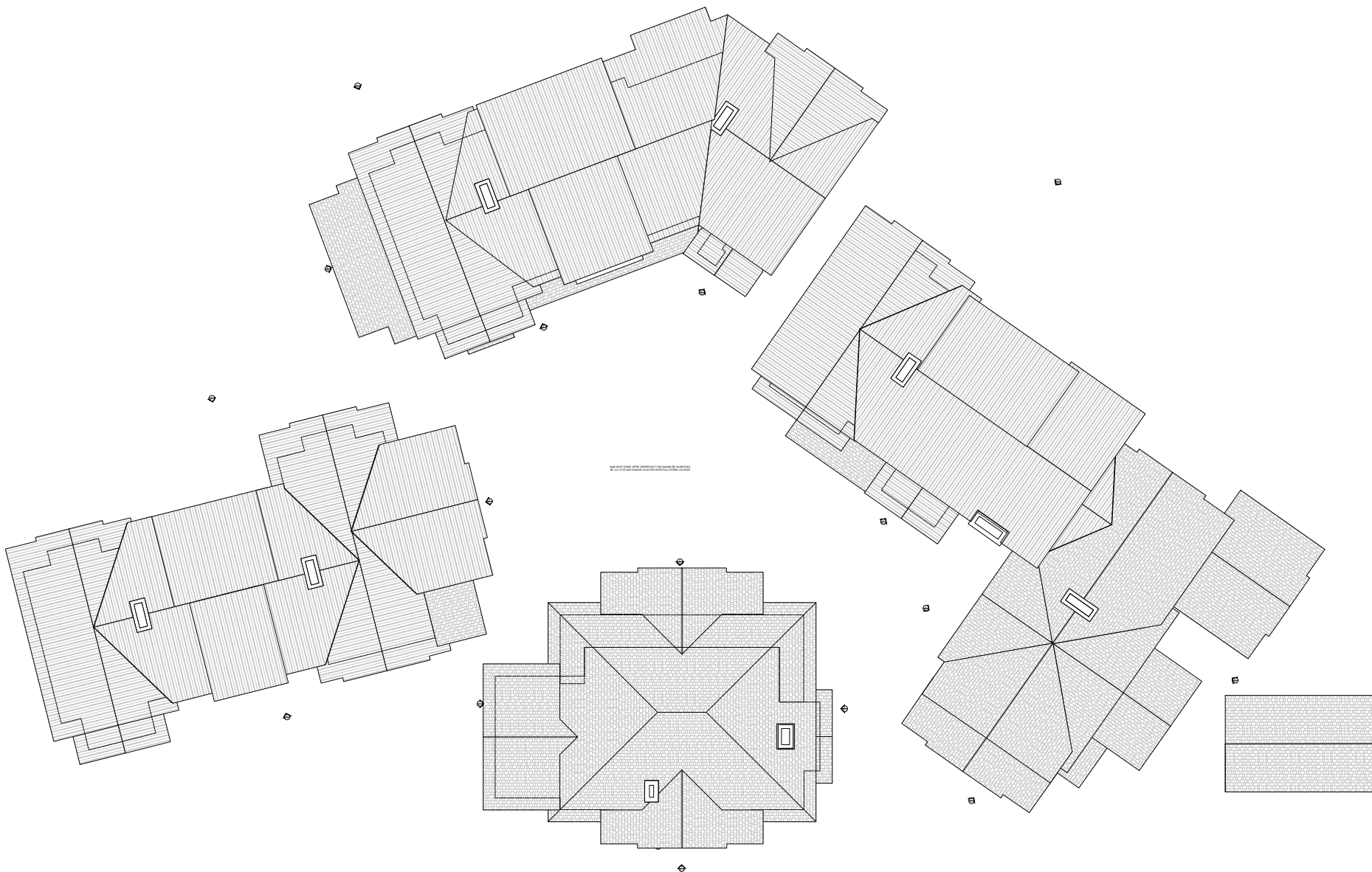
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1 ROOF PLAN  
SCALE: 3/32" = 1'-0"





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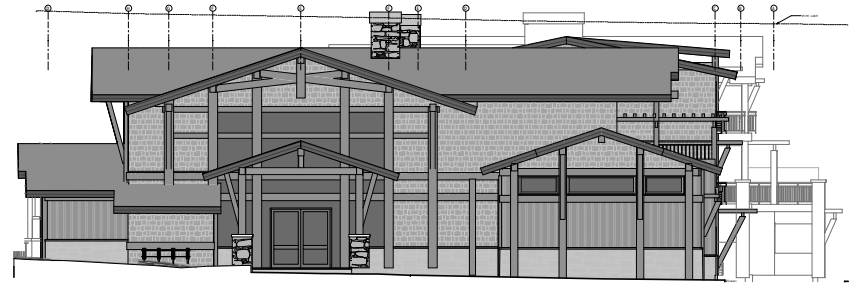
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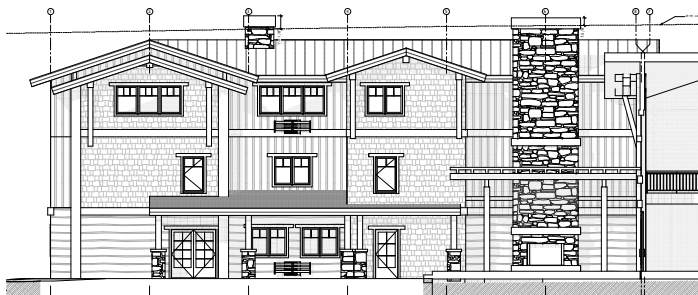
1 BUILDING 1 PERSPECTIVE  
SCALE: 1/4" = 1'-0"



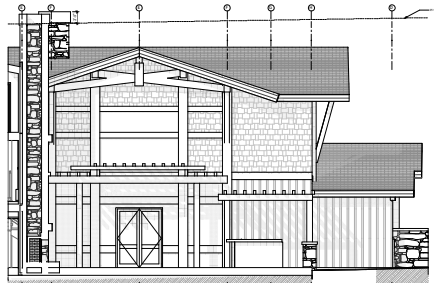
2 BUILDING 1 ENTRANCE  
SCALE: 1/8" = 1'-0"



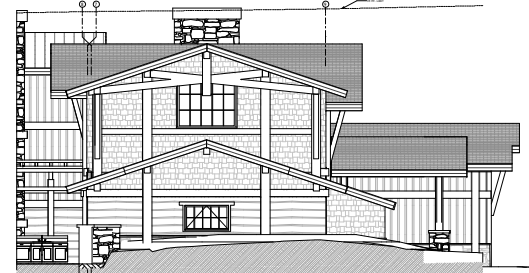
3 BUILDING 1 WEST  
SCALE: 1/8" = 1'-0"



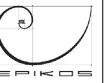
4 BUILDING 1 COURTYARD 1  
SCALE: 1/8" = 1'-0"



5 BUILDING 1 COURTYARD 2  
SCALE: 1/8" = 1'-0"



6 BUILDING 1 HWY  
SCALE: 1/8" = 1'-0"



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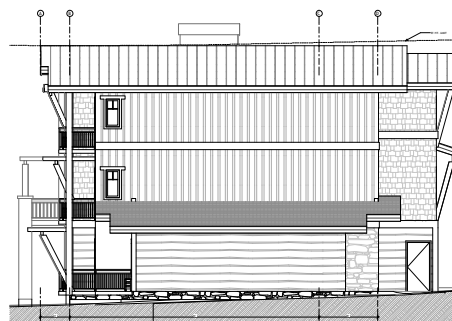
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2 BUILDING 2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



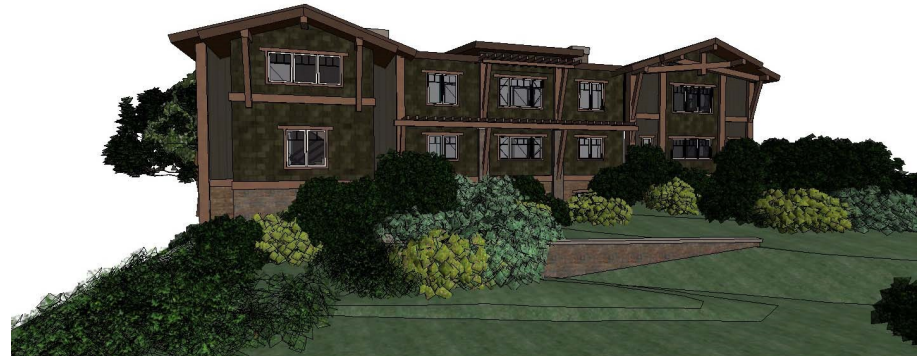
**4 BUILDING 2 COURTYARD 2**  
SCALE: 1/8" = 1'-0"



## 5 BUILDING 2 PERSPECTIVE AND PROJECT MATERIALS



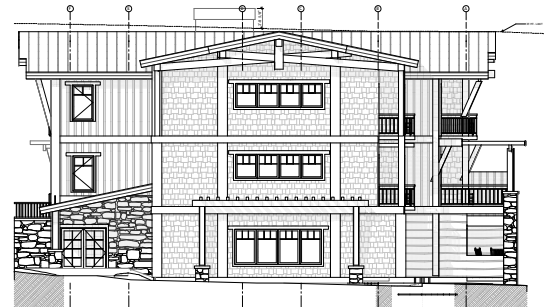
1 BUILDING 3 PERSPECTIVE



2 BUILDING 3 HWY PERSPECTIVE



3 BUILDING 3 WEST  
SCALE: 1/8" = 1'-0"



4 BUILDING 3 COURTYARD  
SCALE: 1/8" = 1'-0"



5 BUILDING 3 HWY  
SCALE: 1/8" = 1'-0"



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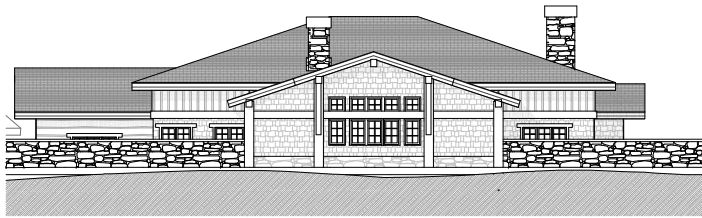
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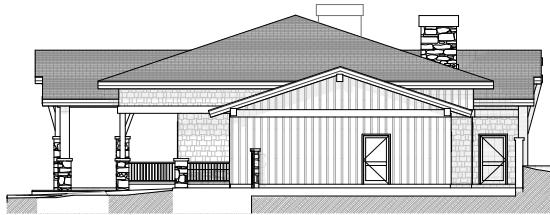
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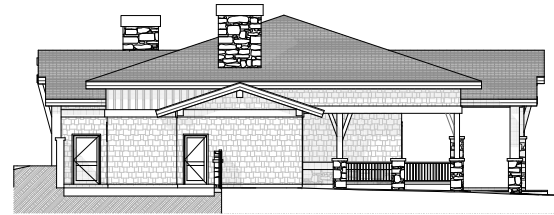
① EVENT CENTER FROM HWY  
SCALE: 1/8" = 1'-0"



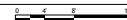
② EVENT CENTER FROM COURTYARD  
SCALE: 1/8" = 1'-0"



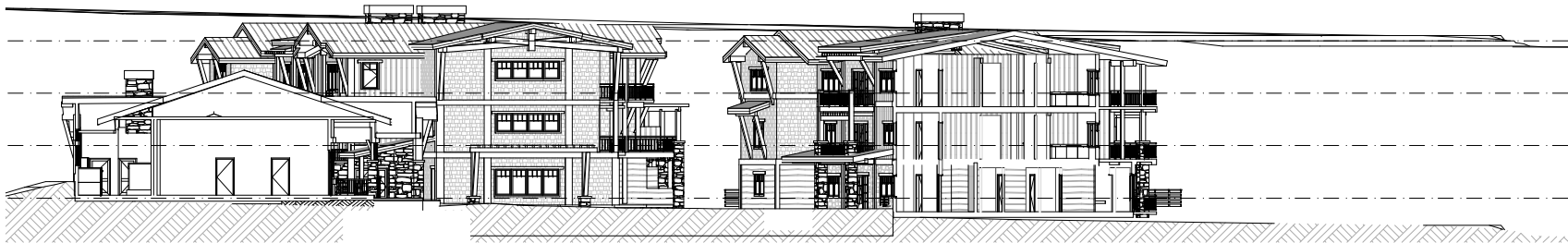
③ EVENT CENTER SOUTH  
SCALE: 1/8" = 1'-0"



④ EVENT CENTER NORTH  
SCALE: 1/8" = 1'-0"



⑤ EVENT CENTER PERSPECTIVE



⑥ 35' HEIGHT LIMIT SITE SECTION  
SCALE: 1" = 10'



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(BEFORE)



(AFTER)

1 COASTLINE AERIAL

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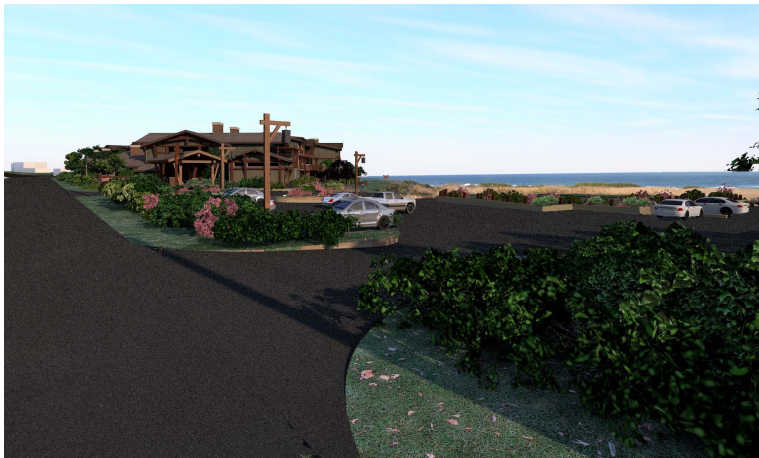




① VIEW FROM PARKING LOT



(BEFORE)



(AFTER)

② VIEW CORRIDOR FROM NORTH



(BEFORE)



STUDY CONCEPT (AFTER- NO GRADING)



STUDY CONCEPT (AFTER- 3' GRADE CHANGE)



PROPOSED DESIGN(AFTER- 41' CONTOUR GRADING)

③ VIEW CORRIDOR



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(BEFORE)



(BEFORE)



(AFTER)

1 HIGHWAY FROM NORTH



(AFTER)

2 HIGHWAY FROM SOUTH

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(BEFORE, WITH HI-SEAS MOTEL)



(BEFORE, WITH HI-SEAS MOTEL)



(BEFORE, WITH VIEW TO PACIFIC)



(BEFORE, WITH VIEW TO PACIFIC)



(AFTER)

## 1 AIRPORT ROAD



(AFTER)

## 2 AIRPORT ROAD INTERSECTION


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(BEFORE)



(AFTER)

1 HAUL ROAD FROM NORTH



(BEFORE)



(AFTER)

2 HAUL ROAD FROM SOUTH

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① SOUTH PROP. LINE FROM HAUL ROAD

(AFTER)



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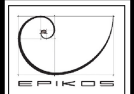


(BEFORE)



(AFTER)

① VIEW FROM BLUFF



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## HINKLEY.

INTERIOR LIGHTING OUTDOOR LIGHTING IDEA CENTER OUR STORY CONTACT > SHOW ME LIGHTING I LIKE THIS

Product Catalog Outdoor Lighting Fixtures



### HARBOR 2578AR-GU24

#### Dimensions + Resources

Width:	13.0"
Height:	20.0"
Weight:	14.0 lbs
Material:	Brushed Aluminum
Color:	Brushed Aluminum Seedy Bronze
Backplate Width:	4.5"
Backplate Height:	14.5"
Socket:	GU24-GU24
Dark Sky:	W8000-0000
Extension:	13.0"
ETL:	13.0"
Construction:	5445 VAF RATED
Voltage:	120V
UPC:	60000507504

#### Resources

- Find a Local Showroom
- Lighting Made Simple Worksheet
- Order a Finish Sample
- Spec Sheet
- Assembly Instructions
- Share with a Friend



1 2570AR-LED

2 HINKLEY CUT SHEET



3 2572AR



4 2576AR-GU24



5 16016MZ-LED



6 1542MZ-LED



7 16710MZ-3K60



8 PARKING LOT



### P8401-31 - Nightsaver - 8.38" Medium Dark Sky Shield Lighting

Specs	
Family/Collection:	Nightsaver
Height:	8.38"
Width/Diameter (in):	4.25"
Material:	Aluminum
Weight:	0.84 lbs.
Style and Option 1	
Style:	Black Finish
Item #:	P8401-31
Price:	\$21.96



9 PROGRESS DARK SKY SHIELD



10 RECESSED CAN LIGHT



11 SIGN LED STRIP LIGHT



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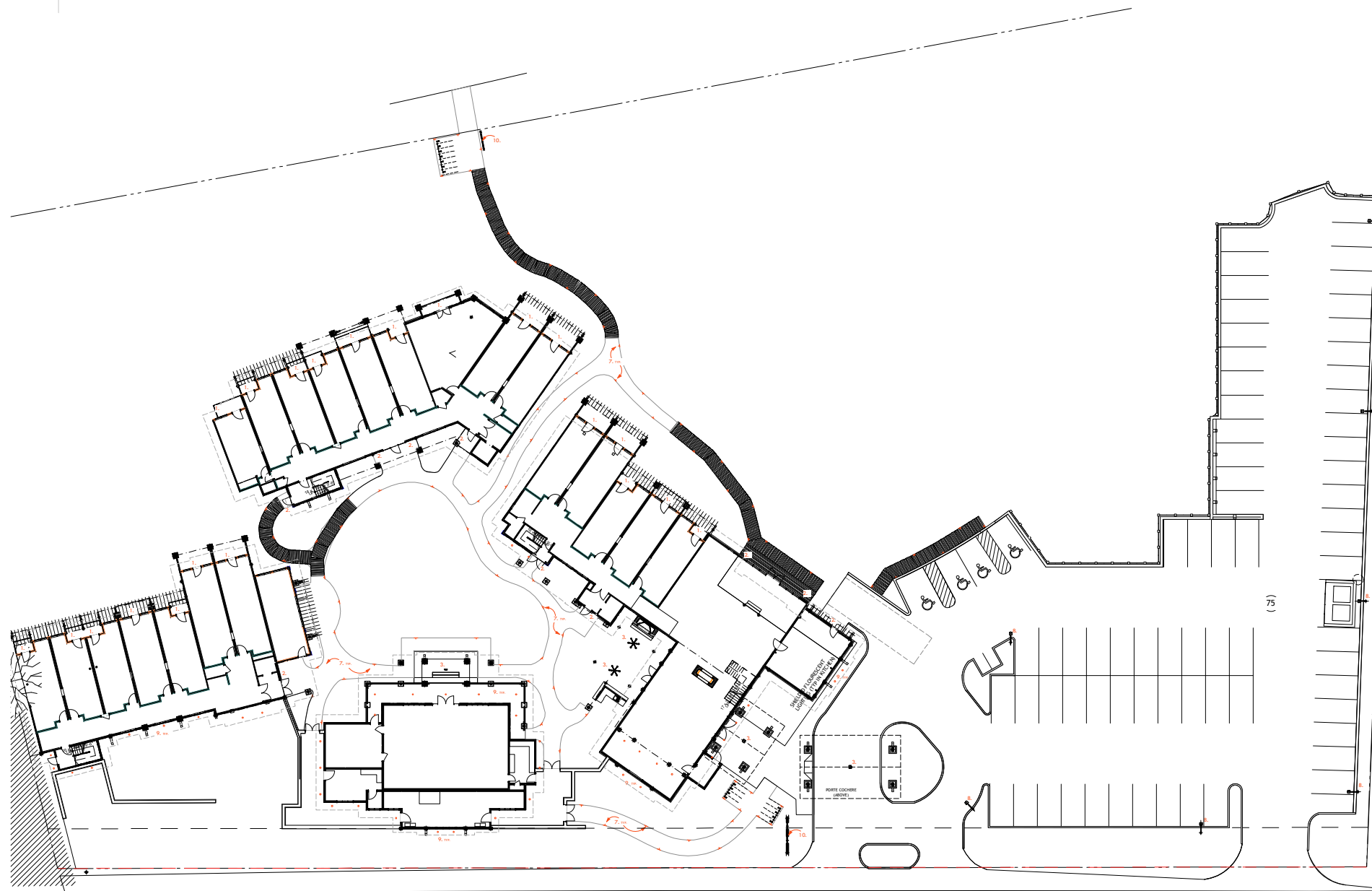
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1 EXTERIOR LIGHTING PLAN  
SCALE: 1/16" = 1'-0"

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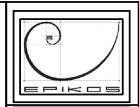
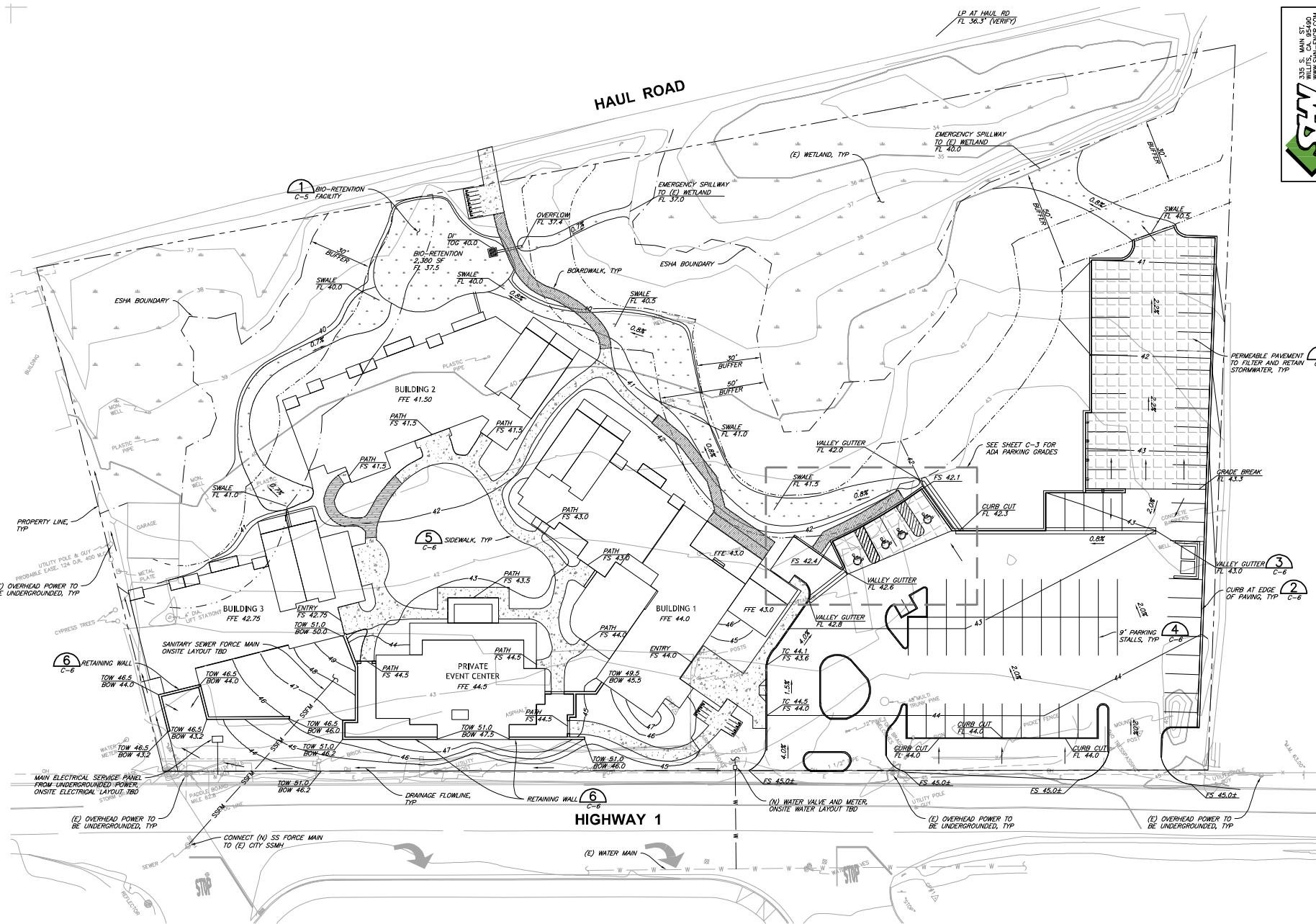
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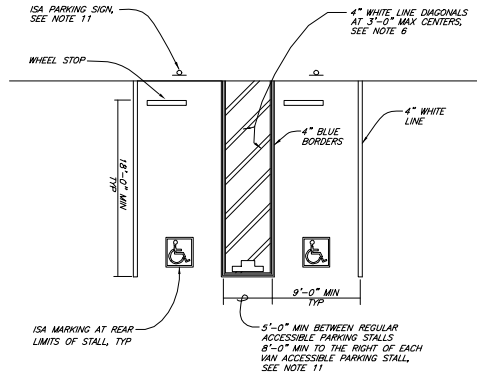


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**GRADING, DRAINAGE, AND UTILITY PLAN**  
1"=20'





**DETAIL 1**  
NTS  
(ADA PARKING LAYOUT,  
SIGNAGE, & STRIPING)

- PARKING STALL NOTES:**
1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
  2. ONE IN EVERY SIX ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE ASLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED MIN ACCESSIBLE. THE R7-8b SIGN SHALL BE MOUNTED BELOW THE R99B (CA) PLAQUE OR THE R99C (CA) SIGN.
  3. IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCRUMBMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN. FOR MORE PARKING BUMPER REQUIREMENTS, SEE THE SPECIAL PROVISIONS.
  4. PARKING SPACES AND ACCESS ASLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1.5% IN ALL DIRECTIONS.
  5. WHERE PLAQUE R99B (CA), SIGN R99C (CA) OR SIGN R7-8b ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
  6. BLUE PAINT, INSTEAD OF WHITE MAY BE USED FOR MARKING ACCESSIBILITY ASLES IN AREAS WHERE SNOW MAY CAUSE WHITE MARKINGS TO NOT BE VISIBLE.
  7. THE WORDS "NO PARKING" SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1'-0" HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE REVERSED STANDARD PLAN RSP A90B FOR DETAILS OF THE "NO PARKING" PAVEMENT MARKING.
  8. A R100B (CA) SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL. THE SIGN SHALL INCLUDE THE ADDRESS WHERE THE TOWED VEHICLE MAY BE RECLAIMED AND THE TELEPHONE NUMBER OF THE LOCAL TOWING LAW ENFORCEMENT AGENCY.
  9. WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS ASLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
  10. WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS ASLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
  11. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R99C (CA) OR SIGN R99B (CA) WITH PLAQUE R99B (CA).



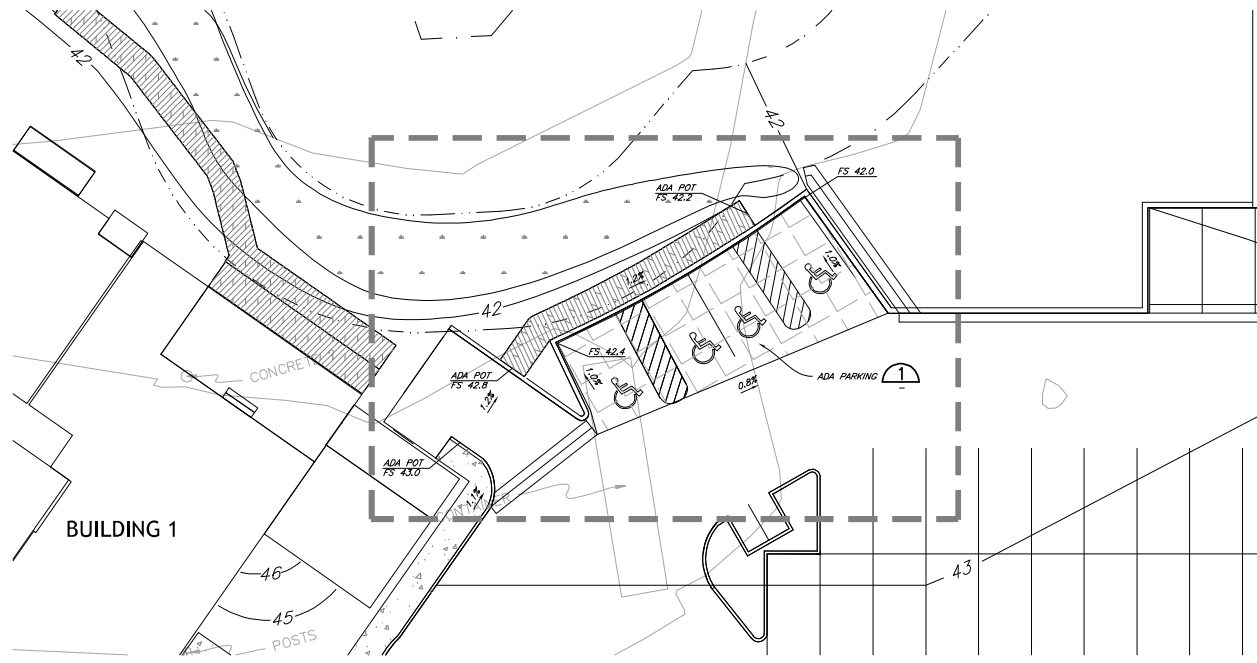
**SIGN R99C (CA)**  
SEE NOTE 5



**SIGN R7-8b**  
SEE NOTES 2 AND 5



**SIGN R100B (CA)**  
SEE NOTE 8



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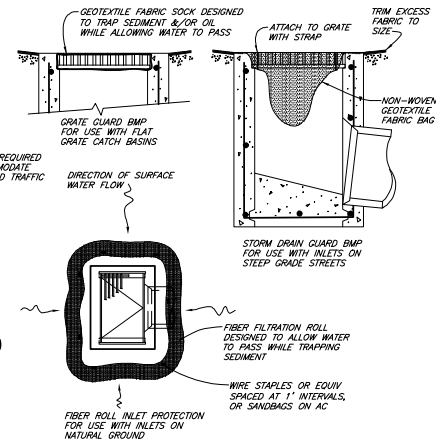
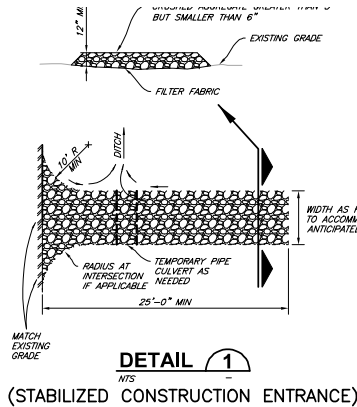


## EROSION CONTROL PLAN NOTES:

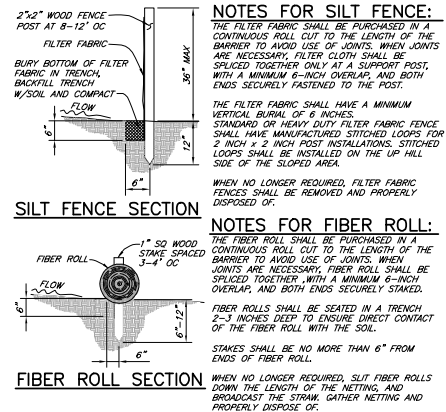
- CONSTRUCTION OF ALL EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND CITY RELATED ORDINANCE REVISIONS.
  - THE IMPLEMENTATION OF THE EROSION CONTROL PLAN (ECP) AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE BMP'S IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
  - THE BMP'S SHOWN ON THESE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
  - CONTRACTOR TO SCHEDULE AN IN-FIELD PRE-CONSTRUCTION MEETING WITH THE DESIGN ENGINEER BEFORE COMMENCING WORK TO DISCUSS THE INTENT OF THE EROSION CONTROL PLAN.
  - USE NATIVE GRASS SEED TO RESEED DISTURBED AREAS AND MATCH EXISTING VEGETATION TO THE EXTENT POSSIBLE. SEEDING AREAS SHALL BE COVERED WITH STRAW, RICE, OR COIR MULCH AND KEPT MOIST UNTIL GRASSES ESTABLISH.
  - STREET CLEANING MUST BE DONE BY VACUUM SWEEPER, STREET WASHING IS NOT ALLOWED. CONTRACTOR TO PERFORM STREET CLEANING ON PAVED STREETS AFTER CONSTRUCTION IS COMPLETE AND AS DEEMED NECESSARY DURING CONSTRUCTION.
  - INLET PROTECTION TO BE INSTALLED PRIOR TO DEMOLITION AND TO REMAIN IN PLACE UNTIL SURFACING IS COMPLETED, STOCKPILES ARE REMOVED, AND VEGETATION IS RE-ESTABLISHED.
  - SEDIMENT BARRIER TO BE INSTALLED PRIOR TO DEMOLITION AND TO REMAIN IN PLACE UNTIL SURFACING IS COMPLETED, STOCKPILES ARE REMOVED, AND VEGETATION IS RE-ESTABLISHED.
- MAINTENANCE AND INSPECTION:
- MAINTENANCE AND INSPECTION OF BMP'S, AT A MINIMUM, SHALL BE CONDUCTED ACCORDING TO THE FOLLOWING SCHEDULE:
    - BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
    - BMP'S AT INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH, PRIOR TO A FORECAST STORM, AND WITHIN 24 HOURS FOLLOWING A STORM EVENT.

## EROSION CONTROL PLAN NOTES (CONTINUED):

- STOCKPILES:
- EXCAVATED SOILS MAY BE PLACED ADJACENT TO THE TOP OF THE TRENCH IF THE STOCKPILED SOIL THICKNESS ARE 2 FEET OR LESS. IF SOILS ARE PLACED IN MOUNDED STOCKPILES, THEN EXCAVATED SOILS SHOULD BE PLACED NO CLOSER THAN 10 FEET FROM THE TOP OF THE TRENCH EXCAVATION.
  - SOIL STOCKPILES SHALL BE COVERED, STABILIZED, OR PROTECTED WITH SOIL STABILIZATION MEASURES AND A PERIMETER SEDIMENT BARRIER AT ALL TIMES DURING THE RAINY SEASON, AND PRIOR TO THE ONSET OF RAIN DURING THE NON-RAINY SEASON.
  - STOCKPILES OF CONTAMINATED SOIL SHALL BE MANAGED IN ACCORDANCE WITH CALTRANS BMP FOR "CONTAMINATED SOIL MANAGEMENT"
- DEWATERING:
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROPER DESIGN, INSTALLATION, OPERATION, AND DESTRUCTION OF DEWATERING FACILITIES NEEDED DURING CONSTRUCTION.
  - CONTRACTOR SHALL ESTABLISH AND MAINTAIN DEWATERING FACILITIES TO ALLOW FOR THE EXCAVATION, AND SUBSEQUENT PLACEMENT AND RECOMPACTION OF TRENCH MATERIAL WITHIN THE EXCAVATED AREA.
  - HANDLING OF WATER FROM THE EXCAVATION AND DISPOSAL OF SAME FROM THE PROJECT SITE SHALL BE PERFORMED IN ACCORDANCE WITH BMP'S TO AVOID SEDIMENT TRANSPORT AND OTHER IMPACTS TO RECEIVING WATERS AS OUTLINED IN THE APPROVED SWPPP FOR THIS PROJECT.
  - SEDIMENT BASINS SHALL BE LOCATED A MINIMUM OF 100 FEET FROM A WATERCOURSE.
  - WATER FROM THE SEDIMENT BASINS SHOULD NOT BE DISCHARGED AS CONCENTRATED FLOW DIRECTLY INTO SLOUGHS, CUTOFF SLOUGHS, STREAMS, OR ANY DITCH THAT DISCHARGES TO ONE OF THESE FEATURES.

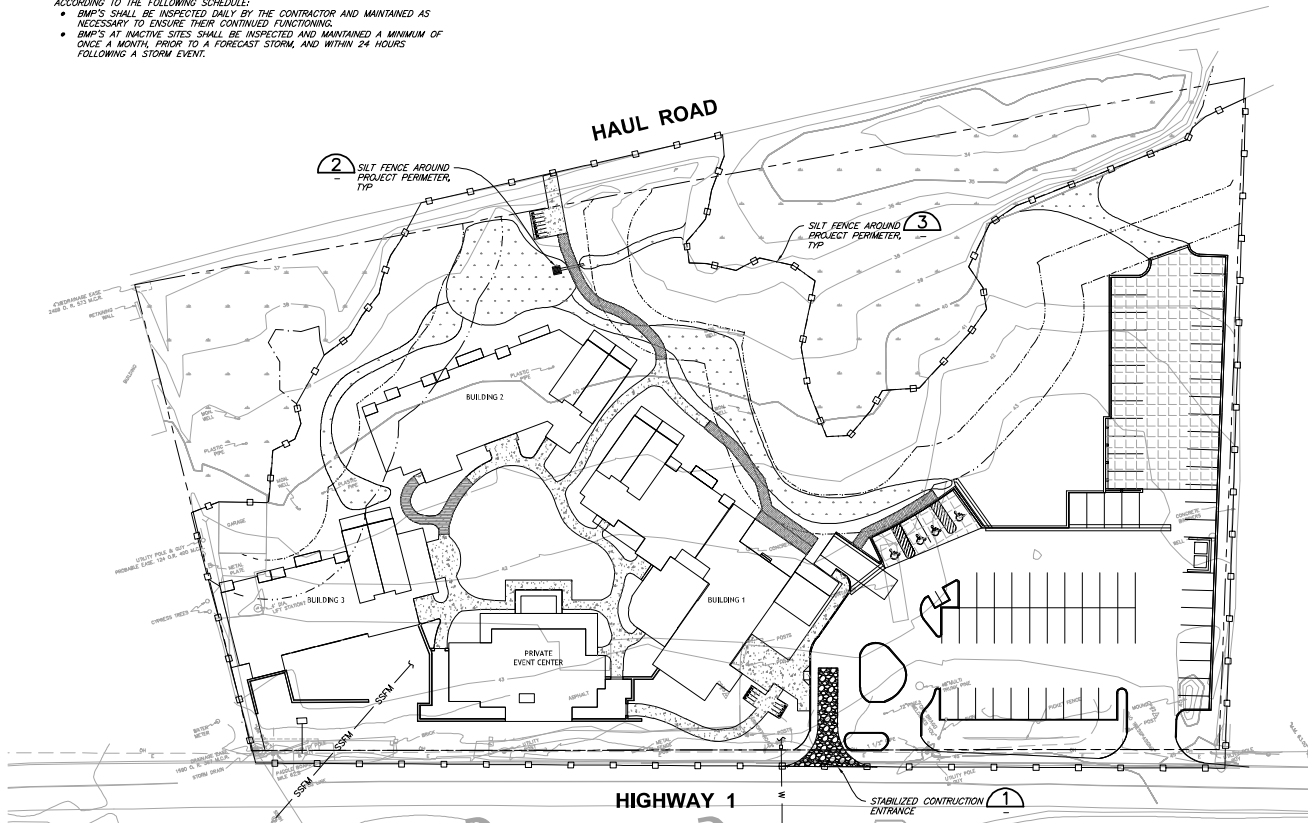


DETAIL 2  
(STORM DRAIN INLET PROTECTION)



- NOTES:
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE.
  - ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION SHALL BE BACK FILLED AND COMPACTED ALONG THE ENTIRE DISTURBED AREA.
  - BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
  - SEDIMENT SHALL BE REMOVED WHEN IT BUILDS UP TO 1/3 OF THE BARRIER HEIGHT.

DETAIL 3  
(SEDIMENT BARRIER)



## SEDIMENT AND EROSION CONTROL PLAN

7"=30'



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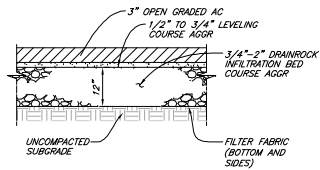
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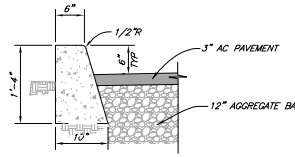
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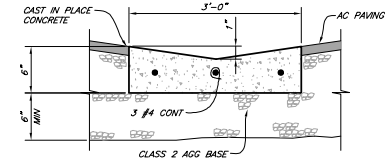
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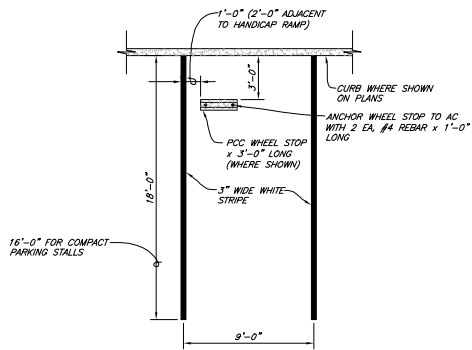
**DETAIL 1**  
NTS C-2  
(PERMEABLE PAVEMENT)



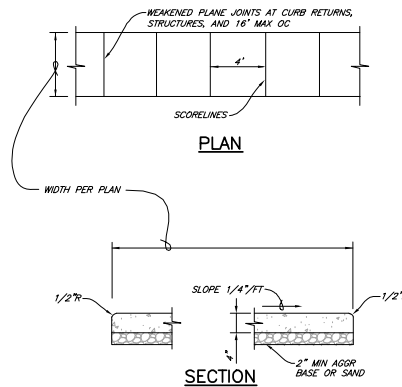
**DETAIL 2**  
NTS C-2  
(CURB AND PAVING)



**DETAIL 3**  
NTS C-2  
(VALLEY GUTTER)

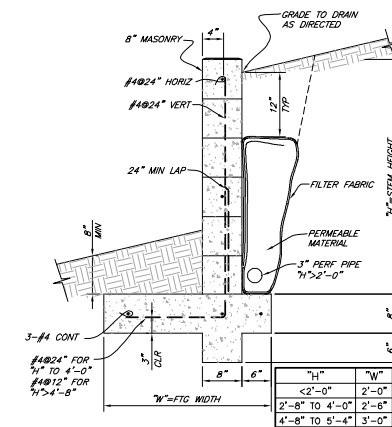


**DETAIL 4**  
NTS C-2  
(STANDARD PARKING STALL)




**NOTE:**  
WHERE NO ADJACENT CURBS,  
CONSTRUCT SIDEWALK SIMILAR  
TO THIS DETAIL.


**DETAIL 5**  
NTS C-2  
(SIDEWALK)



**DETAIL 6**  
NTS C-2  
(RETAINING WALL)



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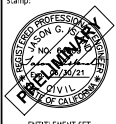


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