

Jalama Beach County Park

9999 Jalama Road; Lompoc, CA 93436

Planning and Development Resubmittal 05-21-2019



235 Palm Ave.
Santa Barbara CA
93101 USA

t 805.957.1315
f 805.957.1317

www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Architects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good
Taylor & Sytan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:

Linda Attomare, Principal
MEC, Mechanical Engineering Consultants
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Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal
ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

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083-510-001 (REC)
083-510-064 (AG-II)

Revisions

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Cover Sheet

Project Information,
Sheet Index,
Vicinity Map,
Plot Plan

A0.0

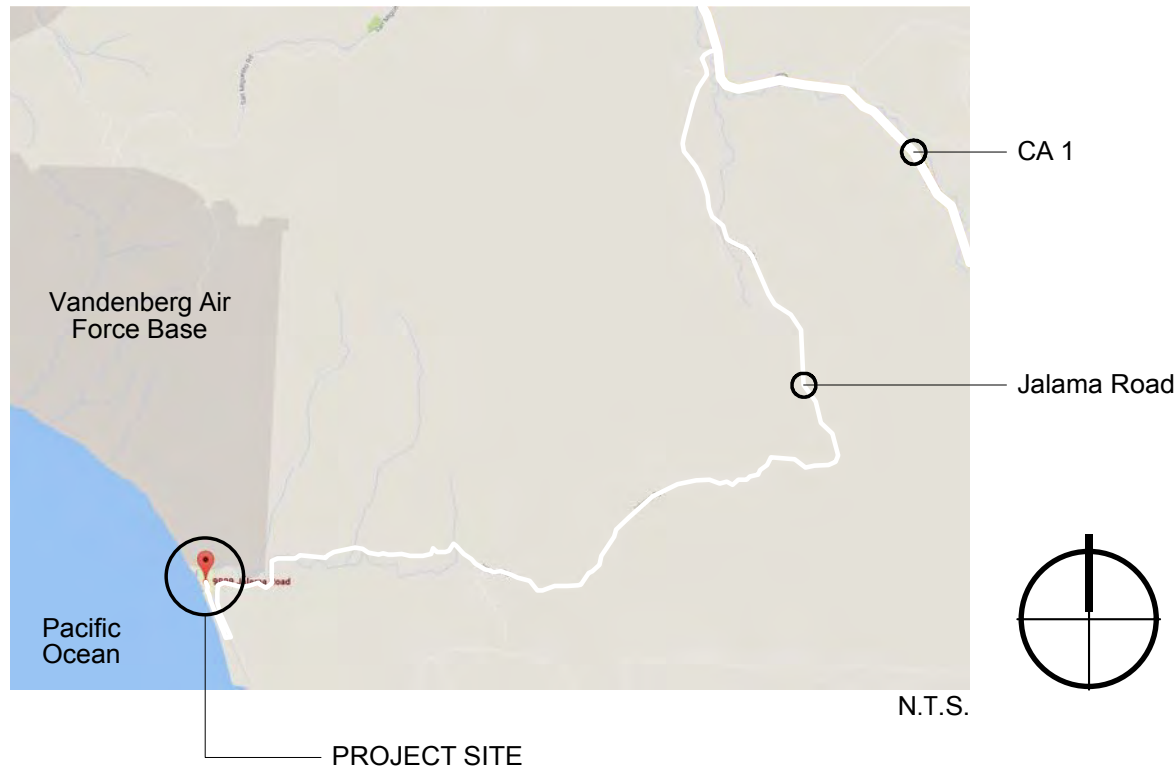
P&D Resubmittal 05.21.19

Scope of Work

The project consists of grading and utility development at two locations, demolition of five (5) existing restrooms, replacement construction of three (3) "larger type" restroom facilities and two (2) "smaller type" restroom facilities, a three-shower addition to the existing shower facility, a solar thermal flat plate collection system at the existing shower facility, and a photovoltaic panel system at the existing workshop facility.

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" & "Ground Disturbing Activities within Archaeologically Sensitive Zone" sections).

Vicinity Map



PROJECT AREA

see site plan for proposed improvements

Project Description

The County of Santa Barbara proposes to develop four (4) new prefabricated recreational vehicle like (RV) cabin structures and associated support facilities within the existing Jalama Beach County Park.

The four new RV-like cabins would be located in an area that is currently the Starfish Cove Group Camp Area (approx. 10,500 sq. ft.), located at the northernmost portion of the County Park adjacent to an existing basketball court and camp tent sites no.'s 45 to 51. Construction in this area would consist of a new 20-foot wide two-way access drive; a 4-foot high reinforced allan block retaining wall and 4-foot high concrete masonry unit (CMU) retaining wall; site cut; placement of compacted fill and pavement; new 4' x 6' site utility shed and 8' in height; new 1,500 gallon septic tank; new utility lines for site electricity, water and sewer drainage; installation of (4) modular RV cabin building pads with an electrical pedestal, water and sewer connections to each cabin. Each cabin would be 12' x 28' in size and 14' in height, and would have an outdoor barbeque and picnic table. Fabrication of the RV cabins would occur offsite and would require trucking to the site, placement on the modular building pads, and electric, water and sewer utility connections as needed.

Four tent sites (no.'s 37 to 40) located southwest of the RV cabins and near the park entry and ranger kiosk would be converted into the new Star Fish Cove Group Camp Area (approx. 7,000 sq. ft.), resulting in an overall reduction of four existing tent sites within the County Park. Construction of the relocated Starfish Cove Group Camp Area would require placement of small amounts of compacted fill and new/relocated utility lines for electric, water and sewer drainage.

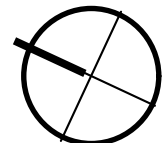
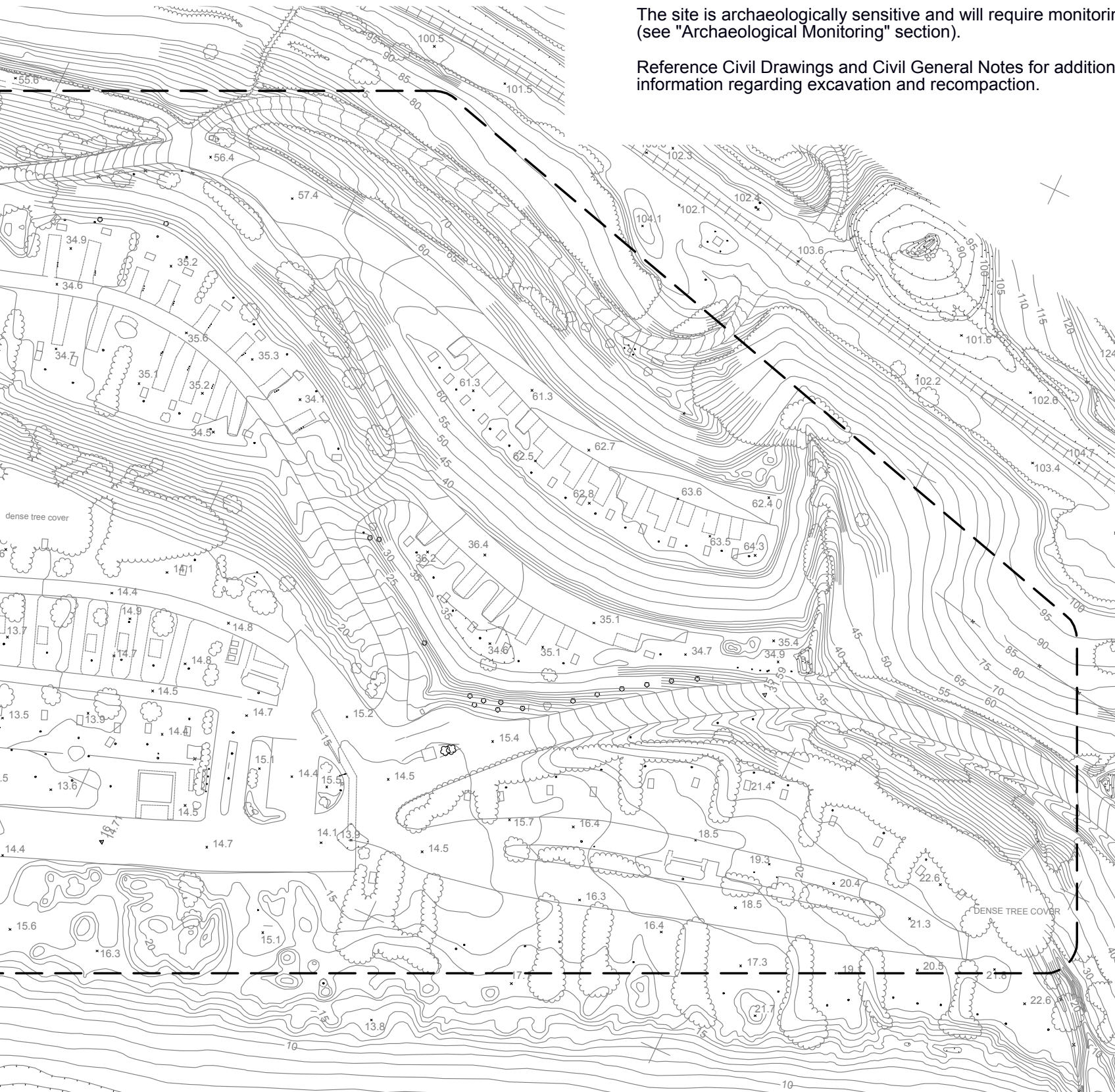
Five (5) existing restroom facilities would be demolished and replaced throughout the County Park with three "larger type" restroom faies (383 sq. ft. and 13 ft. in height) and two "smaller type" restroom facilities (221 sq. ft. and 13 ft. in height). The replaced restroom facilities would be constructed onsite, and would require concrete and block work, utility connections, erection of structural systems, and final finishes. The north restroom facility (replaced restroom #3) would be constructed on top of 15 inches of imported fill to avoid impacts to archaeological resources. Any new utility lines in each restroom project area would be located within the same footprint of the existing utility lines, with no additional trenching required. Some restrooms will require minor grading / repaving of existing road.

Additionally, three new showers would be added onto the eastern end of the existing shower structure. The shower addition (140 sq. ft.) will inhabit the western area of existing camp site 17, which is currently an abandoned campsite unavailable for reservations.

No changes to the existing septic system are required to accommodate the upgraded and/or replaced restroom or shower facilities.

In order to achieve the California New Zero Energy policy for the proposed construction, a (17)-panel photovoltaic system and (6)-panel solar thermal flat plate collection system would be provided. The PV system is proposed to be installed on the rooftop of the existing Workshop Building (located at the northeast side of the County Park), and is to connect into the existing electric grid of the park. Any new utility lines are to be co-located within existing utility trenches to avoid disturbing the archaeologically sensitive area. The solar thermal system is proposed to be installed on the rooftop of the existing/addition Shower Facility, and is intended to reduce the amount of propane gas used for providing hot water to the showers. Structural review & upgrade (if necessary) of existing roof structures would also be provided for the installation of both systems.

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" & "Ground Disturbing Activities within Archaeologically Sensitive Zone" sections).



Ground Disturbing Activities within Archaeologically Sensitive Zone

Cabin Area - Site Walls
Site walls in this area consist of a new 4-foot high site-cut concrete masonry unit (CMU) retaining wall along the northern and eastern perimeter, and a new 4-foot high site-fill reinforced allan block retaining wall along the southern and western perimeter. The proposed CMU retaining walls will key \pm 7'-9" into existing grade at a width of \pm 5'-6", and the proposed allan block retaining walls will key \pm 1'-2" into existing grade at a width of \pm 2'-0". See site sections on A1.1 & A1.1a.

Cabin Area - Septic Tank
A new centrally-positioned 1,500 gallon concrete septic tank will be provided and located underneath the 12' wide parking turnout. This proposed location on the site allows for gravity-driven drainage from each RV-cabin, site sink and site hose bib drain without the need of a macerator pump. The size of the tank is per coordination with Water Resources Control Board, and it's location and depth of disturbance (\pm 5'-6") below existing grade has been approved per coordination with Archaeologist.

Utility Lines

The general rule of thumb is to:

A) Co-locate all new utility lines (electrical, water, sewer) serving the cabin area within existing utility trenches - as identified by *Pacific Coast Locators, Inc.*, and indicated on the Civil drawings - and provide a 9" minimum clearance from any existing utility line within any trench, and/or

B) provide any new utility line within areas of proposed site fill.

In addition, it is highly recommended that any new water lines not be co-located within any utility trench that serves electrical or sewer lines. For these instances, a new trench is recommended with a 6'-0" minimum horizontal clearance and 6" below any other utility line.

The exceptions to the rules above will require new trenches (approx. 2' wide x 3' deep, per detail B/C-1.1) to be excavated. These instances are for the following items:

1. Portion of new waste line (\pm 30' in length) connecting the new septic tank to the existing waste line clean out located to the southwest of the basketball courts.
2. Portion of new water line (\pm 10' in length) to relocate existing hose bib at the host RV location.

Contractor to review field conditions against utility survey provided by *Pacific Coast Locators, Inc.* and confirm locations of existing utility lines prior to commencement of construction.

Utility Trenching

Detailed utility marking of existing lines are to be marked prior to construction, and all trenches will be reopened/re-excavated by hand. Backfill is to be piled on tarps adjacent to the trench (or elsewhere, but still on tarps) and replaced after new co-located utility line is installed. If excess native sediments are generated, then this material shall be used as the site fill component for the RV cabin area.

Replaced North Restroom #3

The new slab is to be constructed over 15" of imported fill to avoid impacts to archaeologically sensitive area. Along the northern edge, the slab edge is to key into existing grade by \pm 1'-5" at a width of \pm 2'-6", and along the southern edge, the slab edge is to key into existing grade by \pm 5" at a width of \pm 1'-0". See sections on A3.4.

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" section).

Reference Civil Drawings and Civil General Notes for additional information regarding excavation and recompaction.

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Sheet Number	P&D Set	Sheet Title
A0.0	x	Cover Sheet: Project Information, Sheet Index, Vicinity Map, Plot Plan
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A0.2		General Notes
A0.3	x	Existing Facility Plan
A0.4	x	Site Photos: Existing Facilities
A0.5	x	Site Photos: Proposed Areas of Work
A0.6	x	Site Photos: Proposed Areas of Work
civil		
C1.1	x	Preliminary Grading, Drainage and Utility Plan
C1.2	x	Preliminary Grading, Drainage and Utility Plan
C2.1	x	Preliminary Erosion Control Plan
C2.2	x	Preliminary Erosion Control Plan
architectural		
A1.0	x	Site Development Plan
A1.1	x	Enlarged Site Plan: Proposed RV Cabin Pad Development Area
A1.1a	x	Enlarged Site Plan: Proposed RV Cabin Pad Site Sections
A1.2	x	Enlarged Site Plan: Proposed Relocated Group Camp Site & Solar Photovoltaic Panel System Development Areas
A2.1	x	Shower Facility Addition: Existing Photos
A2.2a	x	Shower Facility Addition: Floor Plans
A2.2b	x	Shower Facility Addition: Roof Plans
A2.3	x	Shower Facility Addition: Exterior Elevations
A2.4	x	Shower Facility Addition: Building Sections
A2.7		Shower Facility Addition: Schedules
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A3.2a	x	Restroom: Floor Plan (Small & Large Module)
A3.2b		Restroom: Clerestory Plan (Small & Large Module)
A3.2c	x	Restroom: Roof Plan (Small & Large Module)
A3.3	x	Restroom: Exterior Elevations
A3.4	x	Restroom: Building Sections
A3.7		Restroom: Door and Window Schedules & Types
structural		
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S1.1		Specifications
S2.0		Restrooms: Foundation Plan
S3.0		Restrooms: Roof Framing Plan
S4.0		Shower: Foundation & Framing Plan
S5.0		Structural Details
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S8.0		Structural Details
plumbing		
P1.1		Abbreviations, Symbols and Schedules
P2.1		Shower: Plumbing demolition and floor plan
P2.2		Shower: Plumbing solar thermal diagrams & details
P2.3		Restroom: Plumbing Floor Plan
electrical		
E1.0	x	Symbols, Specs, Schedules
E1.1	x	Electrical One Line Diagram
E2.0	x	Electrical Site Plan
E2.1	x	Electrical Site Plan: Cabin & PV Area
E3.0	x	Electrical Shower Plan
E3.1	x	Electrical Restroom Plans
E4.0		Title 24 - Interior Lighting
E4.1		Title 24 - Interior Lighting

28 sheet:

Grading Quantities

Approximate cubic yards per CIVIL drawings

RV Cabin Pad Area	
Excavation	530 cy
Fill	850 cy
Import	370 cy
Export	0 cy
Removal & Recompaction	0 cy
Relocated Group Campsite Area	
Excavation	0 cy
Fill	5 cy
Import	5 cy
Export	0 cy
Removal & Recompaction	20 cy
Aggregate Restroom Areas	
Excavation	15 cy
Fill	10 cy*
Import	0 cy
Export	5 cy
Removal & Recompaction	0 cy
*Contractor to provide 15" of compacted fill material on top of the work area for the North Restroom Building #3.	



EXISTING STRUCTURES LEGEND

- | | | | |
|-----|------------|-------------|---|
| 1. | (95 SF) | (10'-6" HT) | Entry Kiosk |
| 2. | (270 SF) | (11'-0" HT) | Large Restroom - Southwest |
| 3. | (270 SF) | (11'-0" HT) | Large Restroom - Park Entry |
| 4. | (n/a) | (n/a) | Lift Station |
| 5. | (380 SF) | (12'-3" HT) | Shower Facility |
| 6. | (197 SF) | (9'-6" HT) | Small Restroom - Northwest |
| 7. | (1,820 SF) | (13'-6" HT) | Store Owner Residence |
| 8. | (1,470 SF) | (12'-7" HT) | Jalama Beach Store |
| 9. | (110 SF) | (9'-8" HT) | Jalama Beach Store Storage Shed |
| 10. | (197 SF) | (9'-6" HT) | Small Restroom - North |
| 11. | (420 SF) | (10'-0" HT) | Park Office |
| 12. | (120 SF) | (9'-0" HT) | Private Shed |
| 13. | (1,750 SF) | (12'-6" HT) | Park Ranger Residence #1 |
| 14. | (24 SF) | (10'-0" HT) | Park Ranger Residence #1 - Storage Shed 1 |
| 15. | (24 SF) | (9'-6" HT) | Park Ranger Residence #1 - Storage Shed 2 |
| 16. | (24 SF) | (10'-0" HT) | Park Ranger Residence #1 - Storage Shed 3 |
| 17. | (810 SF) | (12'-6" HT) | Park Ranger Residence #2 |
| 18. | (24 SF) | (10'-0" HT) | Park Ranger Residence #2 - Storage Shed 1 |
| 19. | (1,190 SF) | (12'-6" HT) | Park Ranger Residence #3 |
| 20. | (1,230 SF) | (13'-6" HT) | Park Ranger Residence #4 |
| 21. | (24 SF) | (10'-0" HT) | Park Ranger Residence #4 - Storage Shed 1 |
| 22. | (200 SF) | (11'-3" HT) | Employee Break Room |
| 23. | (2,210 SF) | (15'-6" HT) | Workshop Building |
| 24. | (1,140 SF) | (13'-9" HT) | Old Workshop Building |
| 25. | (110 SF) | (9'-3" HT) | Restroom Storage Shed |
| 26. | (180 SF) | (11'-2" HT) | Water Booster Pump Shed |
| 27. | (1,450 SF) | (13'-0" HT) | Employee Parking Garage |
| 28. | (120 SF) | (10'-0" HT) | Private Shed |
| 29. | (200 SF) | (16'-3" HT) | General Water Storage |
| 30. | (60 SF) | (9'-5" HT) | Chlorine Storage Shed |
| 31. | (130 SF) | (12'-0" HT) | Chlorine Mixing Tank |
| 32. | (197 SF) | (9'-6" HT) | Small Restroom - East |

SITE PLAN LEGEND

- | | |
|----------------------|---------------|
| (E) RV cabins | (E) road |
| (E) RV sites | property line |
| (E) tent sites | |
| (E) county structure | |



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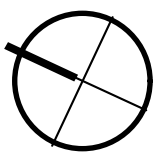
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Existing Facility Plan



Jalama Beach County Park - Existing Facility Plan

feet 0 25 50 100

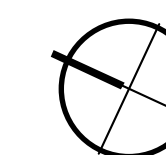
1" = 50 ft

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P&D Resubmittal

04.10.19



feet 0 50 100 200

Existing Site Plan

1

1"= 100 ft



(32) Small Restroom - East



(31) Chlorine Mixing Tank



(29) General Water Storage (left)
(30) Chlorine Storage Shed (right)



(27) Employee Parking Garage (left)
(28) Private Shed (right)



(25) Restroom Storage Shed (left)
(26) Water Booster Pump (right)



(24) Old Workshop Building



(23) Workshop Building



(22) Employee Break Room



(21) Park Ranger Residence #4
Storage Shed 1



(20) Park Ranger Residence #4



(19) Park Ranger Residence #3



(17) Park Ranger Resid. #2 (right)
(18) Storage Shed 1 (left)



(16) Park Ranger Residence #1
Storage Shed 3



(15) Park Ranger Residence #1
Storage Shed 2



(14) Park Ranger Residence #1
Storage Shed 1



(13) Park Ranger Residence # 1



(12) Private Shed



(11) Park Office



(10) Small Restroom - North



(9) Jalama Beach Store
Storage Shed



(7) Store Owner Residence (left)
(8) Jalama Beach Store (right)



(6) Small Restroom - Northwest



(5) Shower Facility



(4) Lift Station



(3) Large Restroom - Park Entry



(2) Large Restroom - Southwest



(1) Entry Kiosk

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Site Photos

Existing Facilities

A0.4

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site 8 (existing camp sites)



site 7 (existing small restroom)



site 6 (existing Starfish Cove Group Camp Site)



site 5 (existing small restroom)



site 4 (existing small restroom)



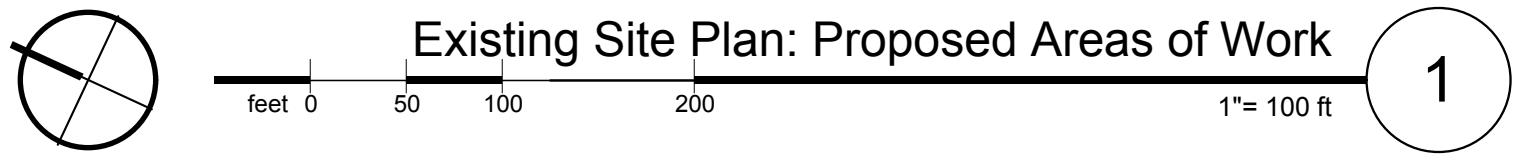
site 3 (existing large restroom)



site 2 (existing shower facility)



site 1 (existing large restroom)



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Site Photos

Proposed Areas of Work

A0.5

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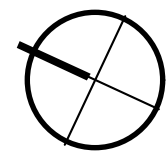
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Site Photos

Proposed Areas of Work

A0.6

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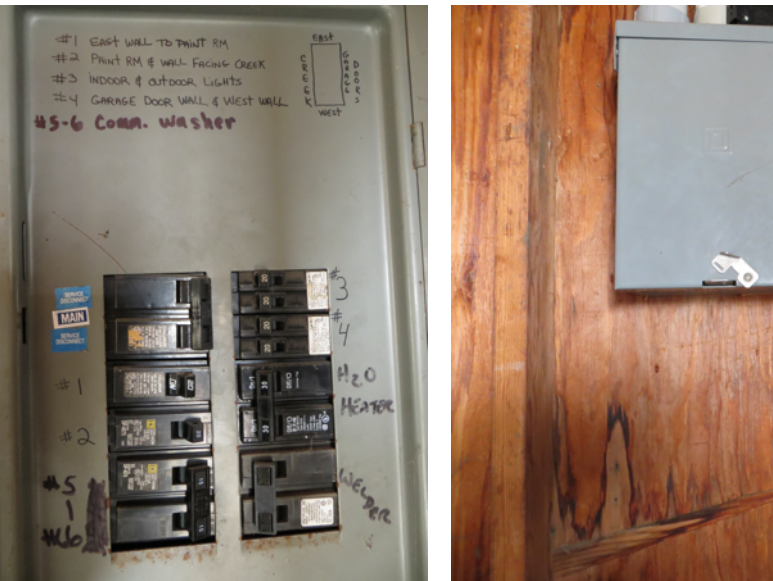


Existing Site Plan: Proposed Areas of Work

1

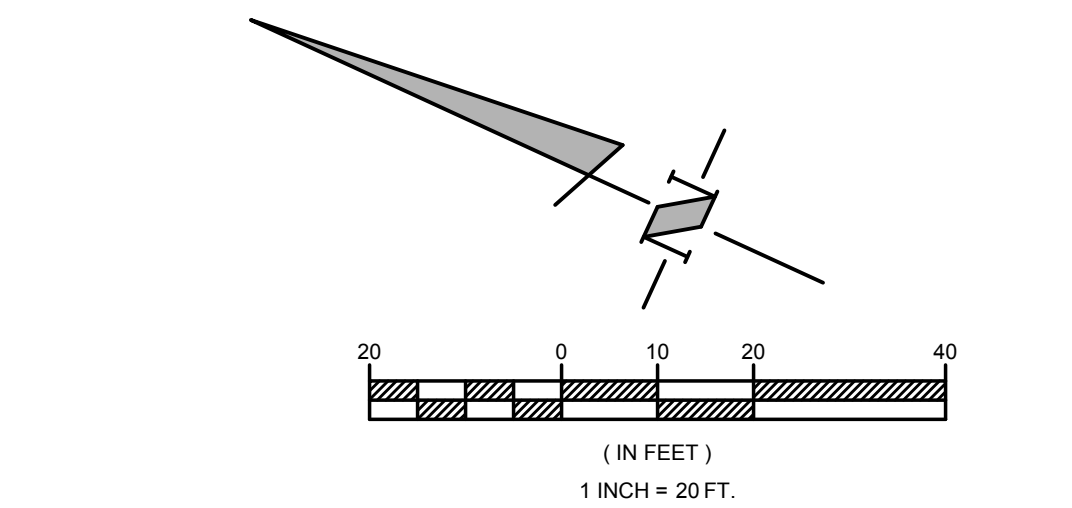
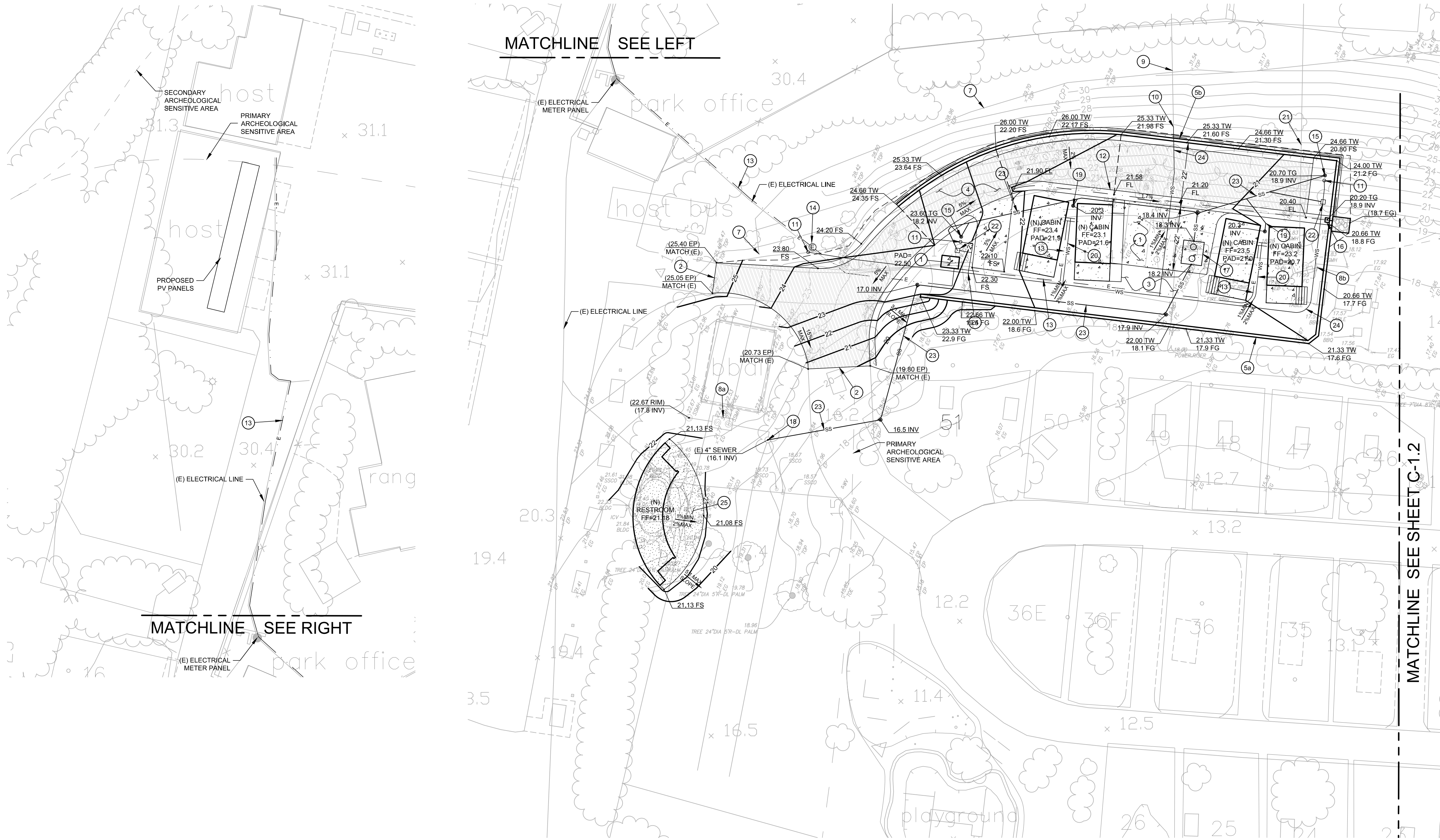


site 10 (existing park office & electric meter connection)



site 9 (existing workshop building & electric circuit breaker)

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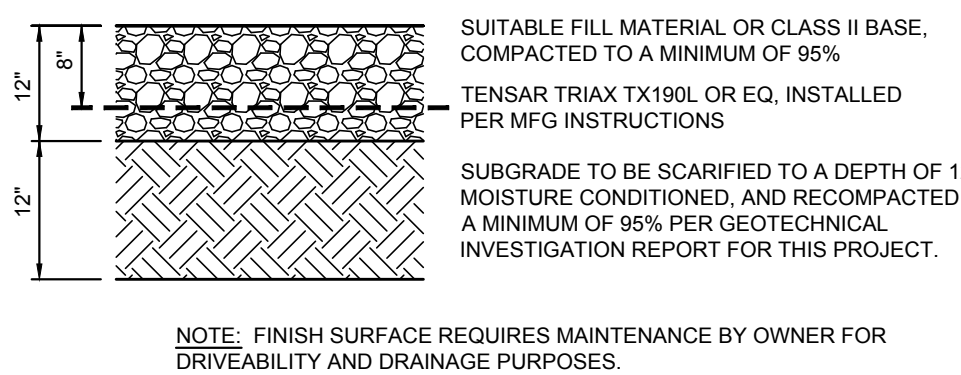


SPECIFIC CONSTRUCTION NOTES:

1. INSTALL CONCRETE FLATWORK, SEE DETAIL 'A' ON SHEET C-1.2.
2. SAWCUT & REMOVE (E) AC PAVEMENT AND MATCH (E) GRADES.
3. INSTALL COMPACTED FILL MATERIAL, SEE DETAIL 'D' ON SHEET C-1.1.
4. INSTALL AC PAVEMENT.
- 5a. INSTALL 4" MAX ALLEN BLOCK GRAVITY WALL WITH HANDRAILS PER ARCHITECTURAL PLAN.
- 5b. INSTALL 4" MAX CMU RETAINING WALL. PROVIDE 1" WIDE DRAINAGE SWALE BEHIND WALL TO OUTLET AT ROCK SPILLWAY.
6. CONNECT TO (E) SEWER LINE. CONTRACTOR TO POT HOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
7. (E) SEWER LINE TO REMAIN.
- 8a. (E) SEPTIC TANK TO REMAIN. PROTECT IN PLACE.
- 8b. (E) SEPTIC TANK TO BE FILLED IN & ABANDONED IN PLACE.
9. (E) WATER LINE TO REMAIN.
10. CONNECT TO (E) WATER SERVICE. CONTRACTOR TO POT HOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
11. INSTALL 1" SCH-40 PVC WATER SERVICE WITH HOSE BIB PER ARCHITECTURAL PLAN.
12. INSTALL 3" WIDE CONCRETE VALLEY GUTTER, SEE DETAIL 'C' ON SHEET C-1.1.
13. INSTALL ELECTRICAL CONDUITS FROM EXISTING ELECTRICAL PANEL TO PROPOSED RV CABINS AND NEW PV PANELS. INSTALL NEW CONDUIT(S) ALONG EXISTING ELECTRICAL LINES. COORDINATE WITH ELECTRICAL PLAN E-2.1.
14. REPLACE (E) RV ELECTRICAL PEDESTAL. COORDINATE WITH ELECTRICAL PLAN E-2.1.
15. INSTALL 4" PVC SEWER LINE WITH 3" DRAIN INLET WITH "P-TRAP". CONTRACTOR TO POT HOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION.
16. INSTALL 18" CONCRETE CATCH BASIN WITH TRAFFIC RATED GRATE. PROVIDE 6" DIP THROUGH WALL DRAIN OUTLET PIPE TO ROCK SPILLWAY.
17. INSTALL "MIDSTATE CONCRETE" 1500 GALLON SEPTIC TANK, OR APPROVED EQUAL. CONNECT TO EXISTING 4" PVC SEWER LINE BEFORE LEACH FIELD. CONTRACTOR TO POT HOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION LOCATION & DEPTH PRIOR TO CONSTRUCTION.
18. INSTALL 4" PVC SEWER LATERAL FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.
19. INSTALL 1" PVC WATER SERVICE FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.
20. ABANDONED (E) SEWER LINE TO BE CAP & REMOVED IF FOUND DURING CONSTRUCTION. CONTRACTOR TO POT HOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
21. INSTALL 1" PVC WATER SERVICE ALONG WITH A 4" PVC SEWER LATERAL AND CONNECT TO "WASHOUT SINK". CONTRACTOR TO COORDINATE CONNECTION DETAIL TO SINK ON ARCHITECTURAL PLANS.
22. INSTALL 4" SDR-35 PVC SEWER LATERAL PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 1% MINIMUM SLOPE IN PIPE.
23. INSTALL 1" SCH-80 PVC WATER SERVICE PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 12" MINIMUM COVER OVER PIPE.
24. INSTALL CONCRETE FLATWORK AROUND PROPOSED RESTROOM BUILDING. PROVIDE FLUSH CONNECTION TO EXISTING GRADES. RE-GRADE SLOPES AROUND CONCRETE NO GREATER THAN 5%.

BUILDING & SAFETY DIVISION GRADING NOTES

1. ALL GRADING SHALL CONFORM WITH SANTA BARBARA COUNTY CODE CHAPTER 14 GRADING ORDINANCE #4477 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO. THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE SOILS ENGINEER AND ENGINEERING GEOLOGIST.
2. CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR PRE-CONSTRUCTION MEETING.
3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION.
4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH THE CONTRACTOR.
5. THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.
6. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION.
7. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE GEOTECHNICAL ENGINEER.
8. AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO. G-13.
9. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 ASTM D - 1557 - 91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.
10. CUT SLOPES SHALL NOT EXCEED A GRADE OF 1 1/2:1 HORIZONTAL TO 1 VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2:1 HORIZONTAL TO 1 VERTICAL. SLOPES OVER 3 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION.
11. SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.
12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION.
13. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.



CONTRACTOR TO REFER TO SHEET A-0.0 FOR ARCHAEOLOGICAL MONITORING NOTES

EARTHWORK ESTIMATES

RV CAMPSITE QUANTITIES
EXCAVATION: 530 CUBIC YARDS
FILL: 850 CUBIC YARDS
IMPORT: 370 CUBIC YARDS
EXPORT: 0 CUBIC YARDS

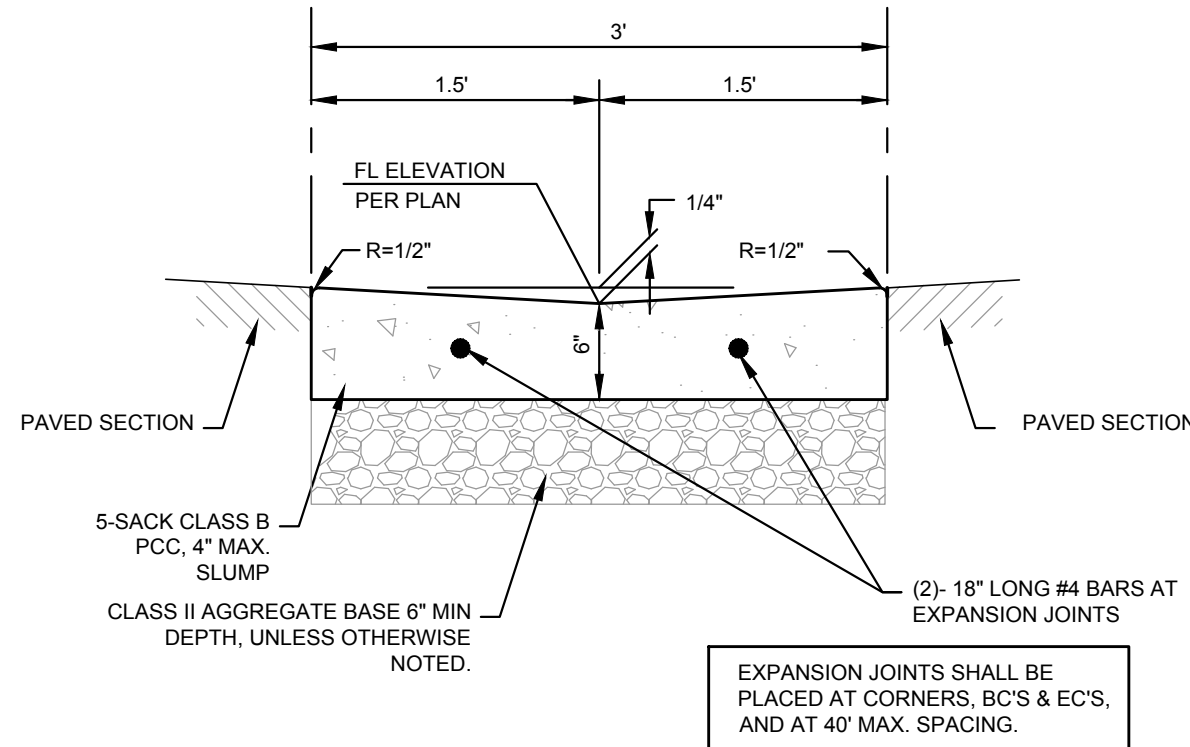
EARTHWORK ESTIMATES

RESTROOM QUANTITIES
EXCAVATION: 15 CUBIC YARDS
FILL: 10 CUBIC YARDS
IMPORT: 0 CUBIC YARDS
EXPORT: 5 CUBIC YARDS

EARTHWORK ESTIMATES

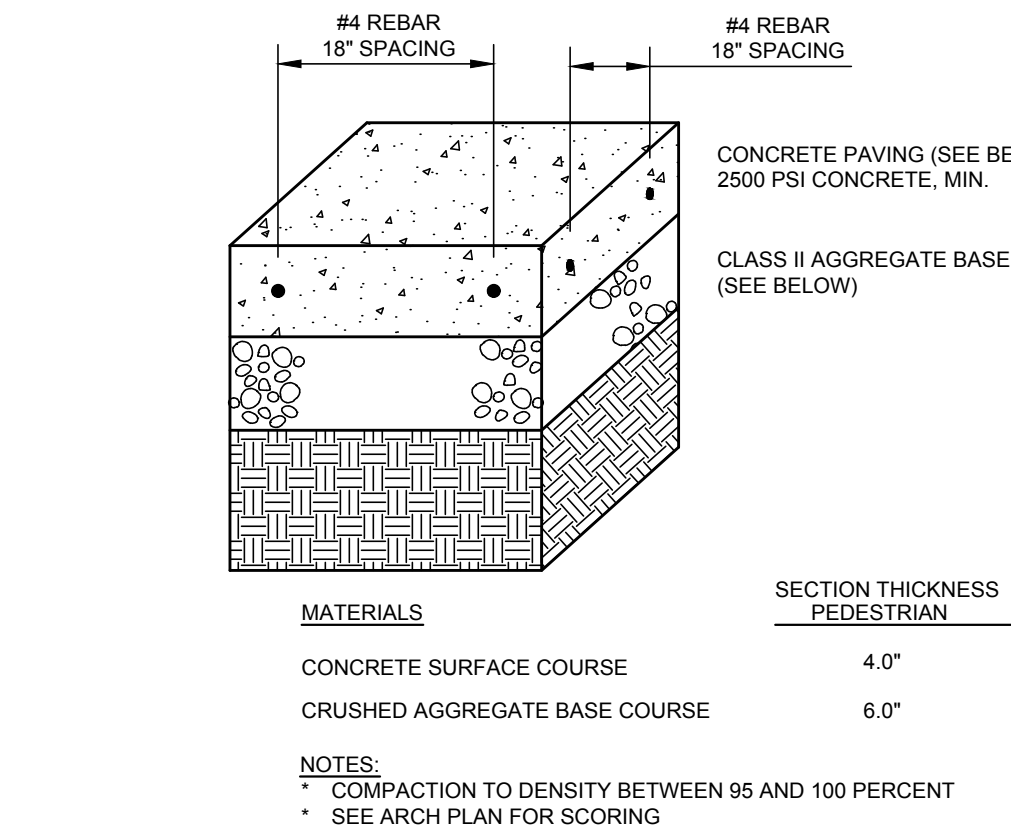
GROUP CAMPSITE QUANTITIES
EXCAVATION: 20 CUBIC YARDS
FILL: 25 CUBIC YARDS
IMPORT: 5 CUBIC YARDS
EXPORT: 0 CUBIC YARDS

* CONTRACTOR IS TO INCLUDE THE PLACEMENT OF AT LEAST 15 INCHES OF IMPORTED FILL ON TOP OF THE WORK AREA FOR THE NORTH RESTROOM BUILDING. CONSTRUCTION IS TO BEGIN ON TOP OF THAT IMPORTED FILL, WITH AN ALLOWABLE DEPTH OF DISTURBANCE NOT TO EXTEND BEYOND 4 INCHES OF THE EXISTING GRADE. REFER TO ARCHAEOLOGICAL MONITORING NOTES FOR ADDITIONAL INFORMATION.



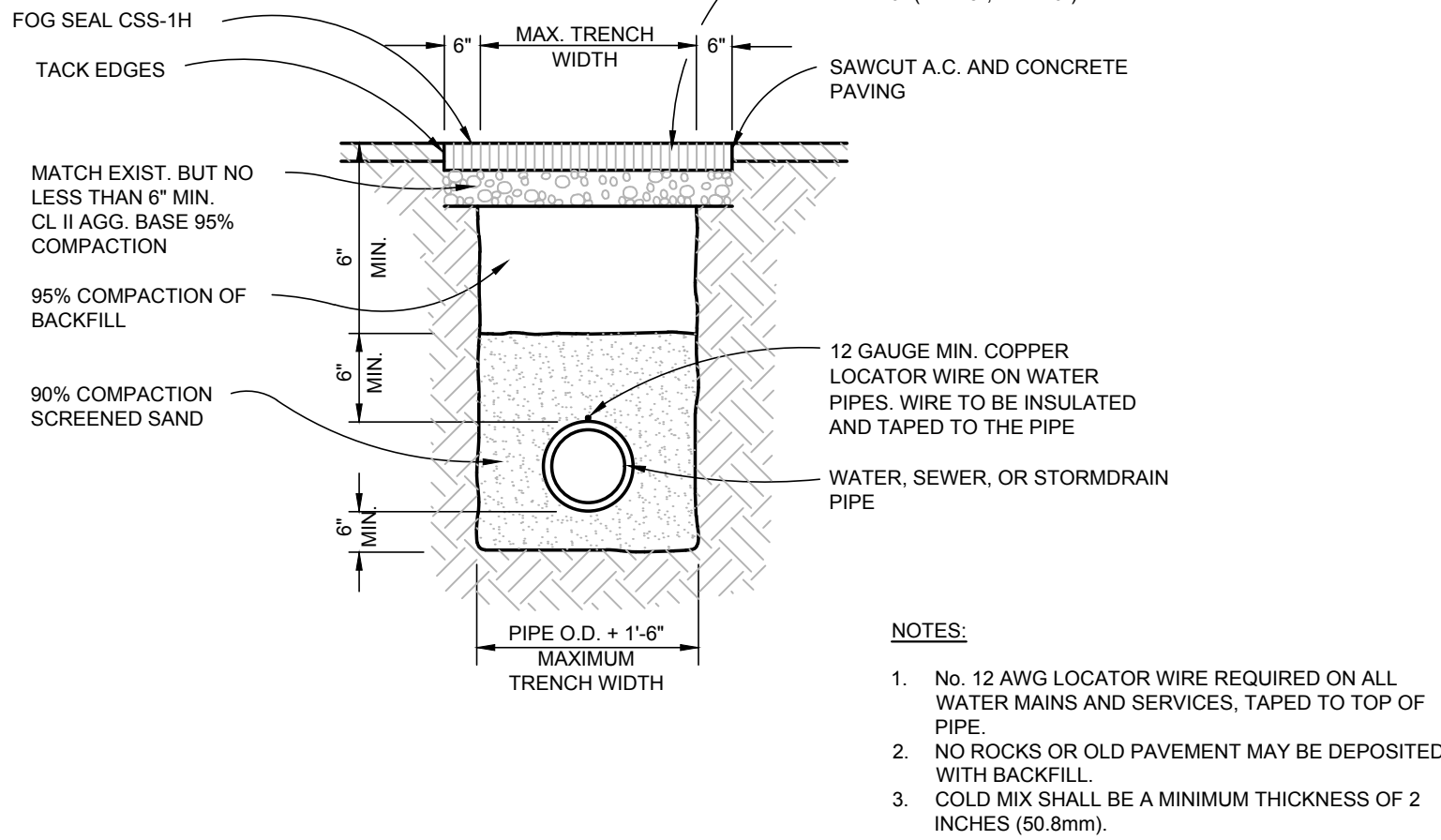
C CONCRETE VALLEY GUTTER DETAIL

SCALE: NONE



A TYPICAL CONCRETE FLATWORK SECTION

SCALE: NONE



B TYPICAL UTILITY TRENCHING DETAIL

SCALE: NONE

**Jalama Beach
County Park**

999 Jalama Road,
Lompoc, CA 93436

APN:

083-510-001

Revisions

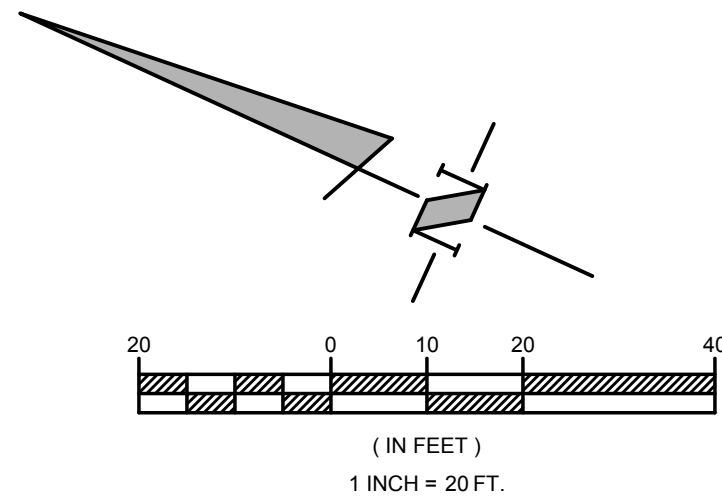
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**Grading, Drainage &
Utility Plan**

C-1.1

N:\2016\16217-Jalama-Beach\Engineering\Condoa (Sheetfile-Civil)\16217-C101-C1.2.dwg, C-1.2, May 17, 2019 2:13pm, AGE204



SPECIFIC CONSTRUCTION NOTES:

1. INSTALL CONCRETE FLATWORK, SEE DETAIL 'A' ON SHEET C-1.2.
2. SAWCUT & REMOVE (E) AC PAVEMENT AND MATCH (E) GRADES.
3. INSTALL COMPACTED FILL MATERIAL, SEE DETAIL 'D' ON SHEET C-1.1.
4. INSTALL AC PAVEMENT.
- 5a. INSTALL 4" MAX ALLEN BLOCK GRAVITY WALL WITH HANDRAILS PER ARCHITECTURAL PLAN.
- 5b. INSTALL 4" MAX CMU RETAINING WALL. PROVIDE 1" WIDE DRAINAGE SWALE BEHIND WALL TO OUTLET AT ROCK SPILLWAY.
6. CONNECT TO (E) SEWER LINE. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
7. (E) SEWER LINE TO REMAIN.
- 8a. (E) SEPTIC TANK TO REMAIN. PROTECT IN PLACE.
- 8b. (E) SEPTIC TANK TO BE FILLED IN & ABANDONED IN PLACE.
9. (E) WATER LINE TO REMAIN.
10. CONNECT TO (E) WATER SERVICE. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
11. INSTALL 1" SCH-40 PVC WATER SERVICE WITH HOSE BIB PER ARCHITECTURAL PLAN.
12. INSTALL 3" WIDE CONCRETE VALLEY GUTTER, SEE DETAIL 'C' ON SHEET C-1.1.
13. INSTALL ELECTRICAL CONDUITS FROM EXISTING ELECTRICAL PANEL TO PROPOSED RV CABINS AND NEW PV PANELS. INSTALL NEW CONDUIT(S) ALONG EXISTING ELECTRICAL LINES. COORDINATE WITH ELECTRICAL PLAN E-2.1.
14. REPLACE (E) RV ELECTRICAL PEDESTAL. COORDINATE WITH ELECTRICAL PLAN E-2.1.
15. INSTALL 4" PVC SEWER LINE WITH 3" DRAIN INLET WITH 'P-TRAP'. CONTRACTOR TO POTHOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION.
16. INSTALL 18" CONCRETE CATCH BASIN WITH TRAFFIC RATED GRATE. PROVIDE 6" DIP THROUGH WALL DRAIN OUTLET PIPE TO ROCK SPILLWAY.
17. INSTALL MIDSTATE CONCRETE 1500 GALLON SEPTIC TANK, OR APPROVED EQUAL.
18. CONNECT TO EXISTING 4" PVC SEWER LINE BEFORE LEACH FIELD. CONTRACTOR TO POTHOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION LOCATION & DEPTH PRIOR TO CONSTRUCTION.
19. INSTALL 4" PVC SEWER LATERAL FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.
20. INSTALL 1" PVC WATER SERVICE FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.
21. ABANDONED (E) SEWER LINE TO BE CAP & REMOVED IF FOUND DURING CONSTRUCTION. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
22. INSTALL 1" PVC WATER SERVICE ALONG WITH A 4" PVC SEWER LATERAL AND CONNECT TO 'WASHOUT SINK'. CONTRACTOR TO COORDINATE CONNECTION DETAIL TO SINK ON ARCHITECTURAL PLANS.
23. INSTALL 4" SDR-35 PVC SEWER LATERAL PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 1% MINIMUM SLOPE IN PIPE.
24. INSTALL 1" SCH-80 PVC WATER SERVICE PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 12" MINIMUM COVER OVER PIPE.
25. INSTALL CONCRETE FLATWORK AROUND PROPOSED RESTROOM BUILDING. PROVIDE FLUSH CONNECTION TO EXISTING GRADES. RE-GRADE SLOPES AROUND CONCRETE NO GREATER THAN 5%.

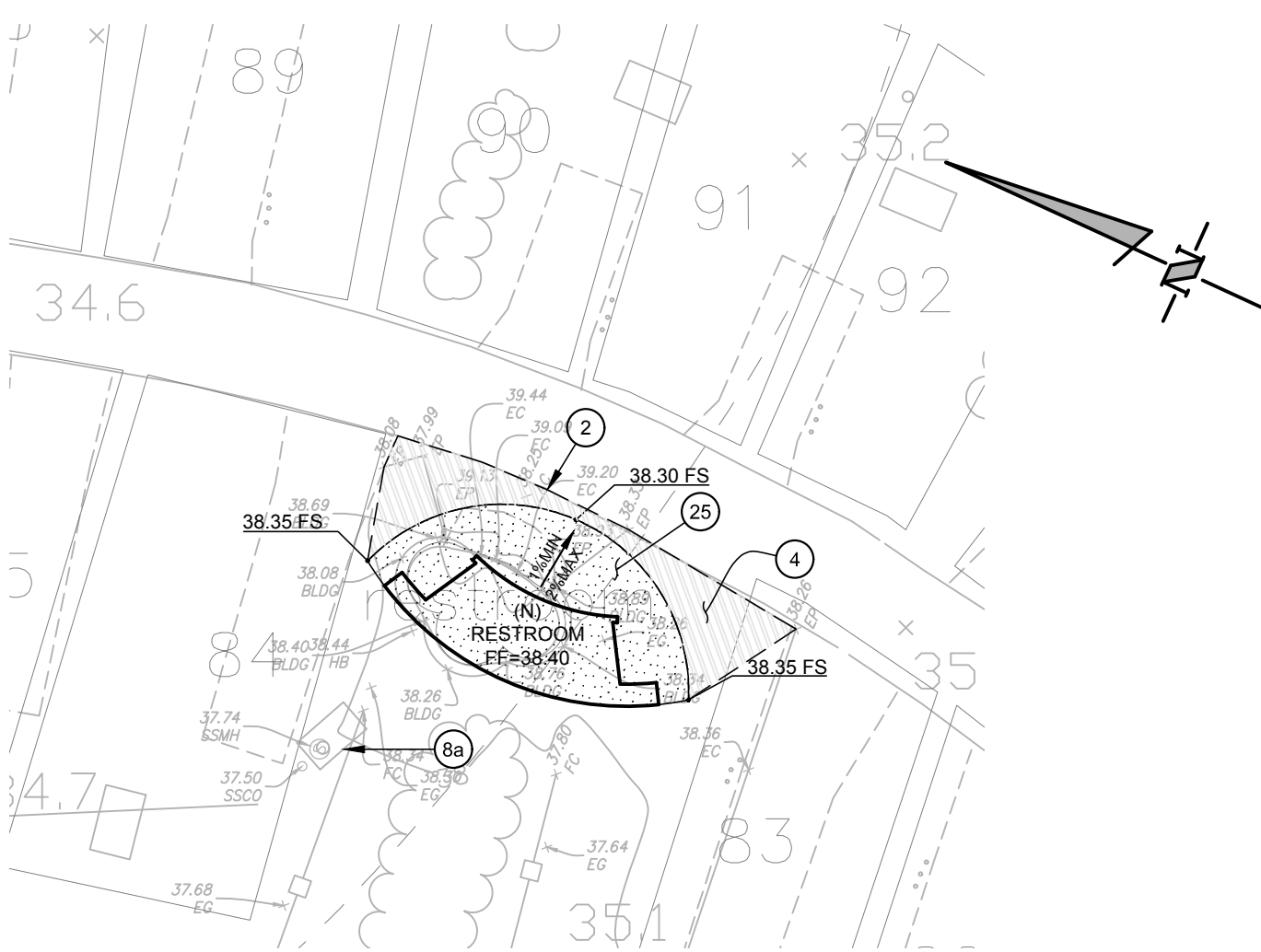
CONTRACTOR TO REFER TO SHEET A-0.0
FOR ARCHAEOLOGICAL MONITORING NOTES

LEGEND:

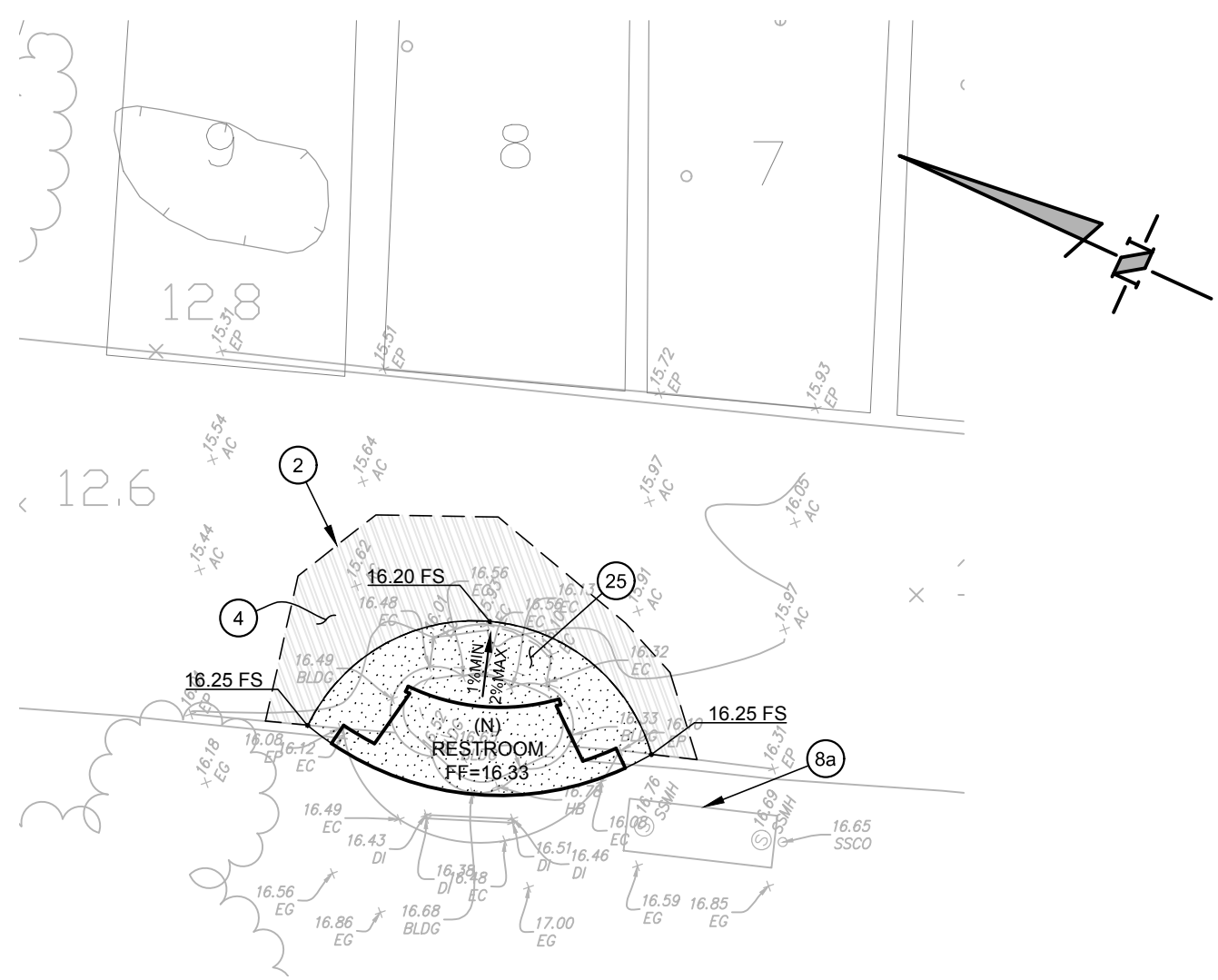
PROPOSED	EXISTING
340 INDEX CONTOUR	340 INDEX CONTOUR
342 INTERMEDIATE CONTOUR	342 INTERMEDIATE CONTOUR
SD STORM DRAIN	SD STORM DRAIN
W WATER LINE	W WATER LINE
SS SANITARY SEWER	S SEWER LINE
E ELECTRICAL CONDUIT	E ELECTRICAL CONDUIT
TEL COMMUNICATION CONDUIT	TEL FIBER OPTICAL CONDUIT
JT JOINT TRENCH	JT JOINT TRENCH
G GAS LINE	G GAS LINE
347.20 ELEVATION	(347.20) ELEVATION
2% SLOPE & DIRECTION OF FLOW	(2%) SLOPE & DIRECTION OF FLOW
GRADED SWALE	GRADED SWALE
PROPERTY LINE	PROPERTY LINE
SAWCUT	FENCE

ABBREVIATIONS:

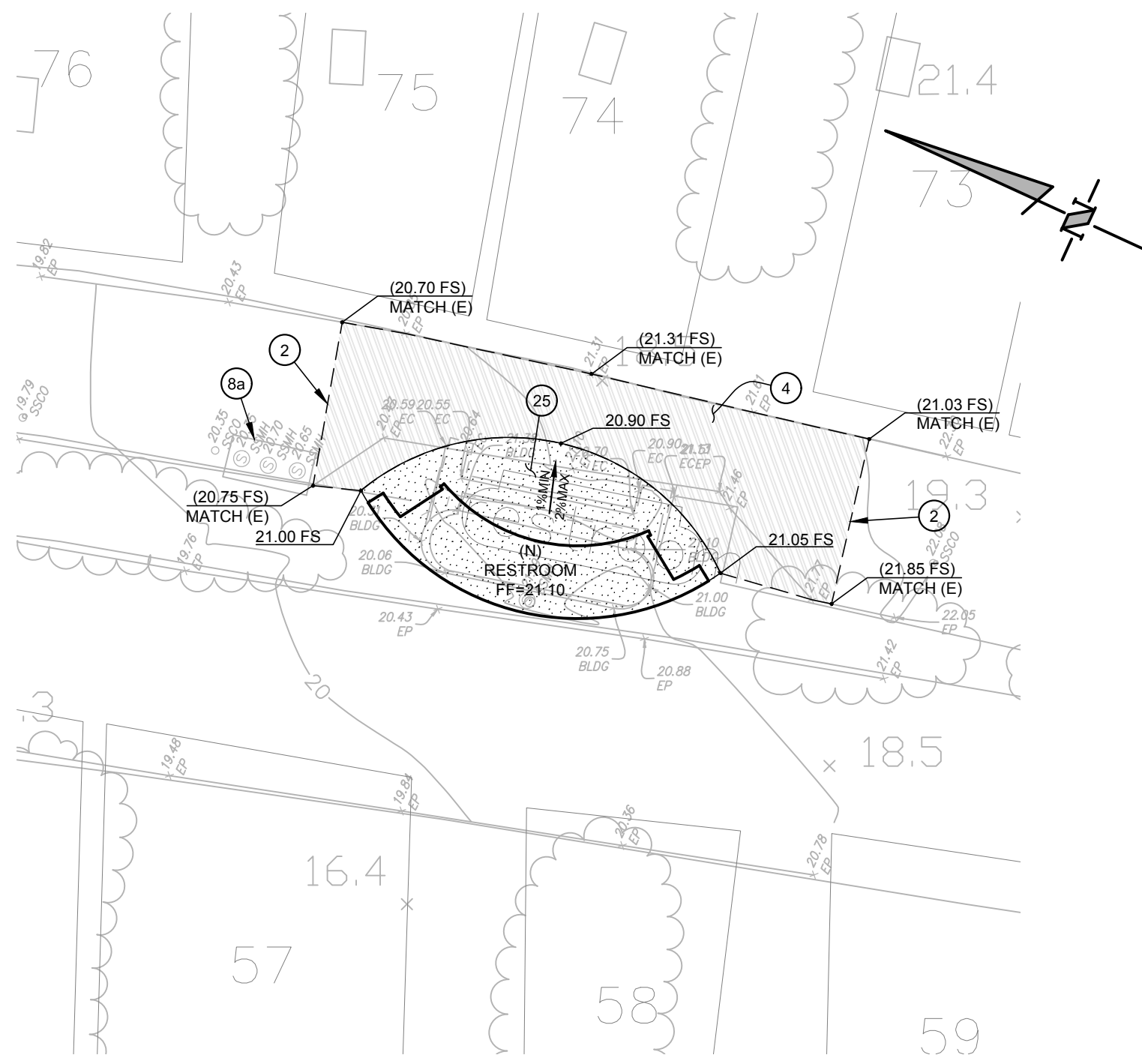
(E) EXISTING	L LENGTH
EG EXISTING GROUND	S SLOPE
EP EDGE OF PAVEMENT	INV INVERT
FS FINISH SURFACE	HDPE HIGH DENSITY POLYETHYLENE
FG FINISH GRADE	SDMH STORM DRAIN MANHOLE
FL FLOW LINE	SSMH SANITARY SEWER MANHOLE
GB GRADE BREAK	
TG TOP OF GRATE	
TC TOP OF CURB	
TW TOP OF WALL	
RIM RIM OR TOP OF FRAME HOLDING GRATE	
AC ASPHALT CONCRETE PAVEMENT	



A UPPER CAMPGROUND RESTROOM BUILDING
SCALE: 1" = 20'



B BEACHSIDE RESTROOM BUILDING
SCALE: 1" = 20'



C LOWER CAMPGROUND RESTROOM BUILDING
SCALE: 1" = 20'

Blackbird

Architects Inc.
235 Palm Ave.
Santa Barbara CA
93101 USA
t 805.957.1315
f 805.957.1317
www.bbirc.com

consultants:

civil engineer:
Scott Stokes, PE
Above Grade Engineering
245 Higuera Street
San Luis Obispo, CA 93401
t 805.540.5115

**Jalama Beach
County Park**

999 Jalama Road,
Lompoc, CA 93446

APN:
083-510-001

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**Grading, Drainage &
Utility Plan**

C-1.2

Construction
Documents
3.27.2019

consultants:

civil engineer:

Scott Stokes, PE
Above Grade Engineering
245 Higuera Street
San Luis Obispo, CA 93401
t 805.540.5115

Jalama Beach
County Park

999 Jalama Road,
Lompoc, CA 93436

APN:
083-510-001

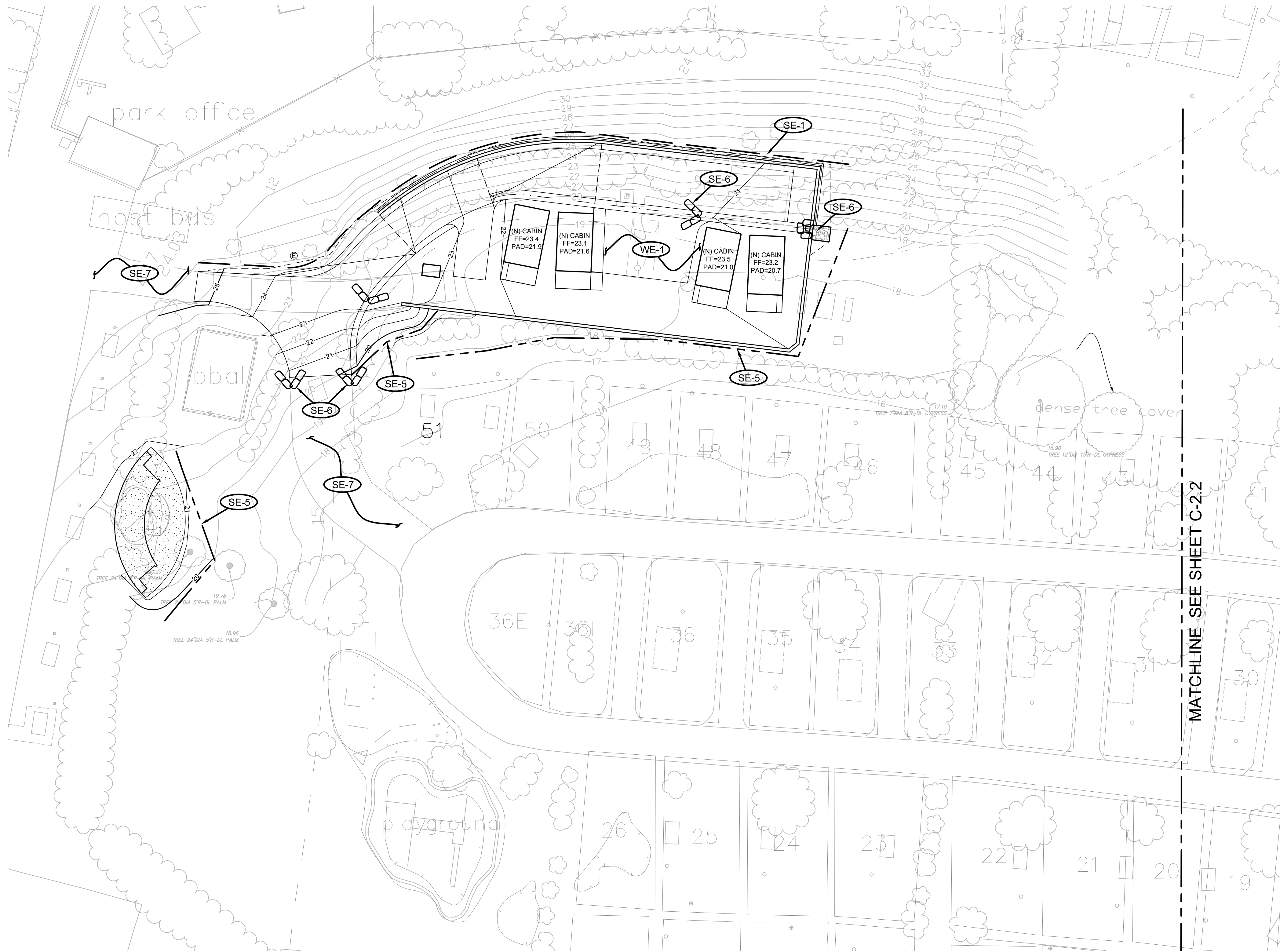
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Preliminary Erosion
Control Plan

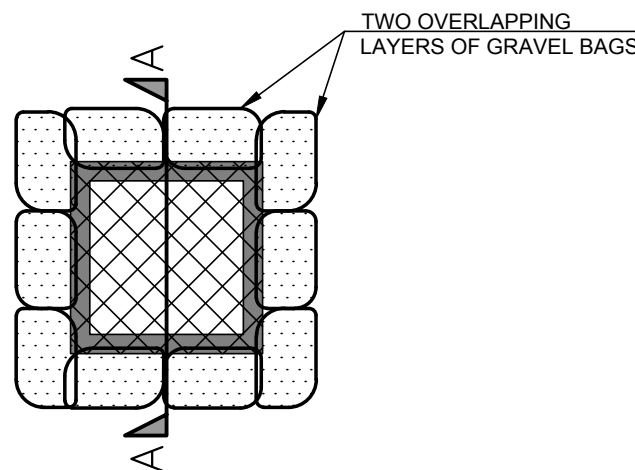
C-2.1



EROSION CONTROL NOTES:

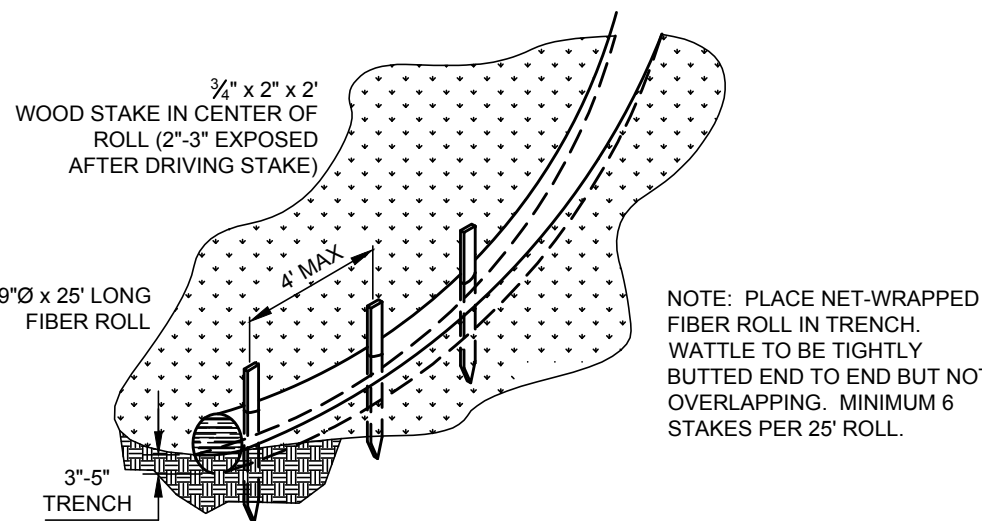
SYMBOL	CASQ#	DESCRIPTION
	SL-A	STORMWATER RUN-OFF SAMPLE LOCATION - FOR NON-VISIBLE POLLUTANTS, SAMPLE TO BE TAKEN DURING RUN-OFF EVENT.
	SE-5	INSTALL FIBER ROLLS PER MANUFACTURERS SPECIFICATIONS.
	SE-1	INSTALL SILT FENCE PER MANUFACTURER SPECIFICATIONS.
	EC-3	INSTALL HYDROMULCH TO DISTURBED SLOPES.
	TC-1	INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
	SE-6	INSTALL GRAVEL BAG BERM.
	WE-1	PROVIDE WIND EROSION CONTROL.
	EC-7	PROVIDE GEOTEXTILE MAT, NORTH AMERICAN GREEN SC250.
	SE-7	PROVIDE STREET SWEEPING & VACUUMING.
	WM-1	MATERIAL DELIVERY & STORAGE
	WM-8	CONCRETE WASHOUT

* NOT ALL EROSION CONTROL MEASURES LISTED ABOVE ARE USED ON THIS PLAN, BUT ARE PROVIDED FOR THE FUTURE USE BY THE QUALIFIED SWPPP PRACTITIONER PRIOR OR DURING CONSTRUCTION.



- NOTES:
- FILTER FABRIC TO EXTEND 3" PAST THE DRAIN INLET RIM & TO BE HELD IN PLACE BY OVERLAYING GRAVEL BAGS.
 - REMOVE ACCUMULATED SEDIMENT WHEN ONE-THIRD OF THE BARRIER HEIGHT.
 - INSPECT BEFORE & AFTER STORM EVENTS.

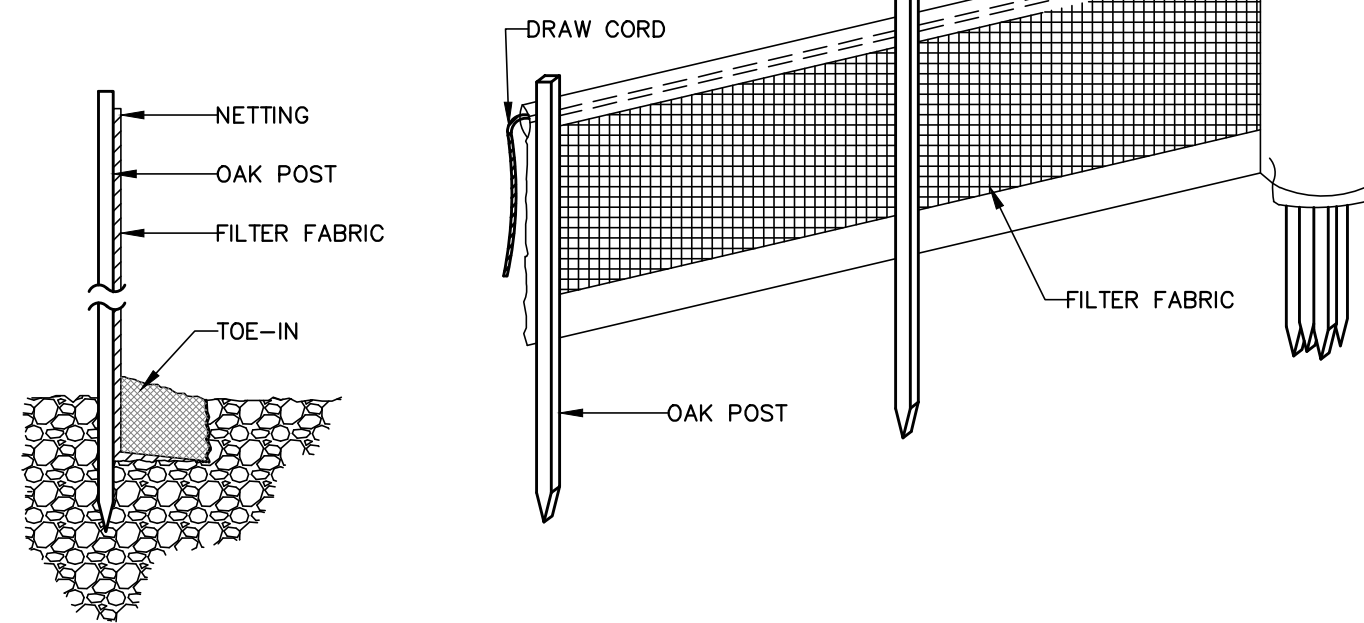
A STORM DRAIN INLET PROTECTION SCALE: NONE



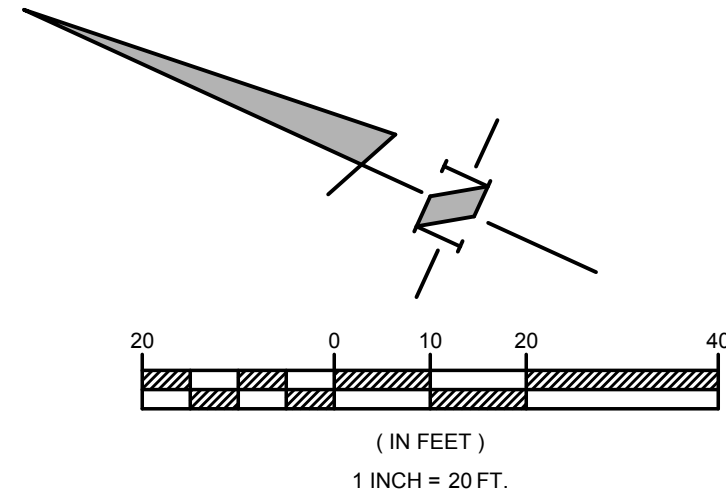
B FIBER ROLLS SCALE: NONE

INSTALLATION PROCEDURES:

- DIG A 6" x 6" TRENCH AT DESIRED FENCE LOCATION.
- UNROLL SILT FENCE ALONG TRENCH.
- DRIVE STAKES INTO THE DOWN HILL SIDE OF TRENCH WITH NETTING AND STAKES FACING THE DOWN HILL SIDE.
- LAY THE BOTTOM 6" OF FABRIC INTO THE TRENCH AND FILL WITH TOP SOIL FOR PROPER TOE-IN.
- DRAW TENSION CORD AT TOP OF FENCE AND TIE TO END STAKES.



C PRE-ASSEMBLED SILT FENCE SCALE: NONE



EROSION CONTROL NOTES:

SYMBOL	CASQ#	DESCRIPTION
	SL-A	STORMWATER RUN-OFF SAMPLE LOCATION - FOR NON-VISIBLE POLLUTANTS, SAMPLE TO BE TAKEN DURING RUN-OFF EVENT.
	SE-5	INSTALL FIBER ROLLS PER MANUFACTURERS SPECIFICATIONS.
	SE-1	INSTALL SILT FENCE PER MANUFACTURER SPECIFICATIONS.
	EC-3	INSTALL HYDROMULCH TO DISTURBED SLOPES.
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	SE-6	INSTALL GRAVEL BAG BERM.
	WE-1	PROVIDE WIND EROSION CONTROL.
	EC-7	PROVIDE GEOTEXTILE MAT, NORTH AMERICAN GREEN SC250.
	SE-7	PROVIDE STREET SWEEPING & VACUUMING.
	WM-1	MATERIAL DELIVERY & STORAGE
	WM-8	CONCRETE WASHOUT

* NOT ALL EROSION CONTROL MEASURES LISTED ABOVE ARE USED ON THIS PLAN, BUT ARE PROVIDED FOR THE FUTURE USE BY THE QUALIFIED SWPPP PRACTITIONER PRIOR OR DURING CONSTRUCTION.

Jalama Beach
County Park

999 Jalama Road,
Lompoc, CA 93436

APN:
083-510-001

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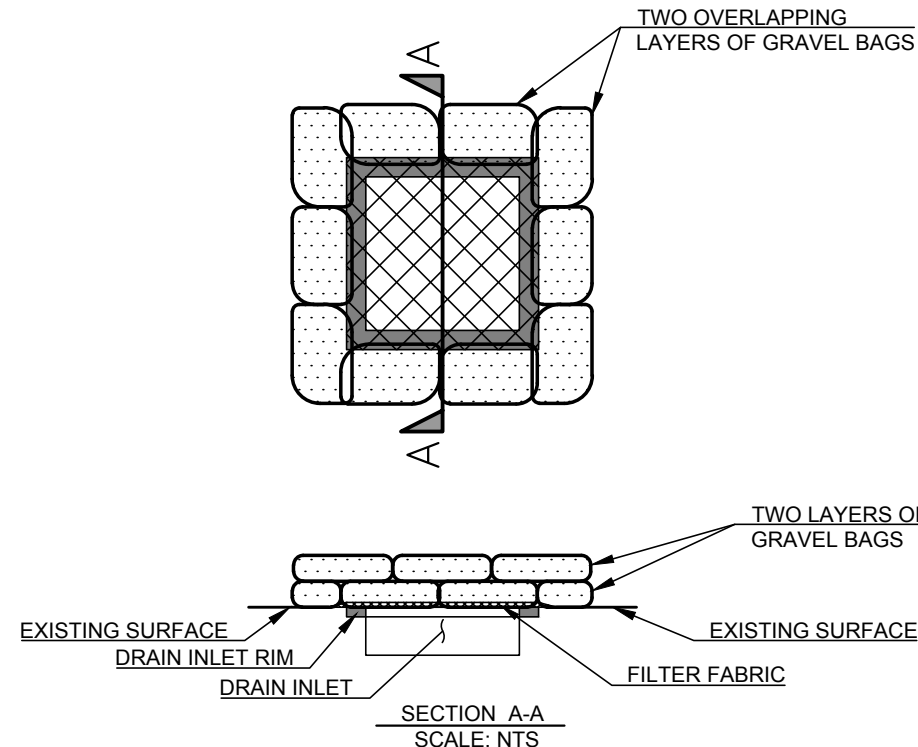
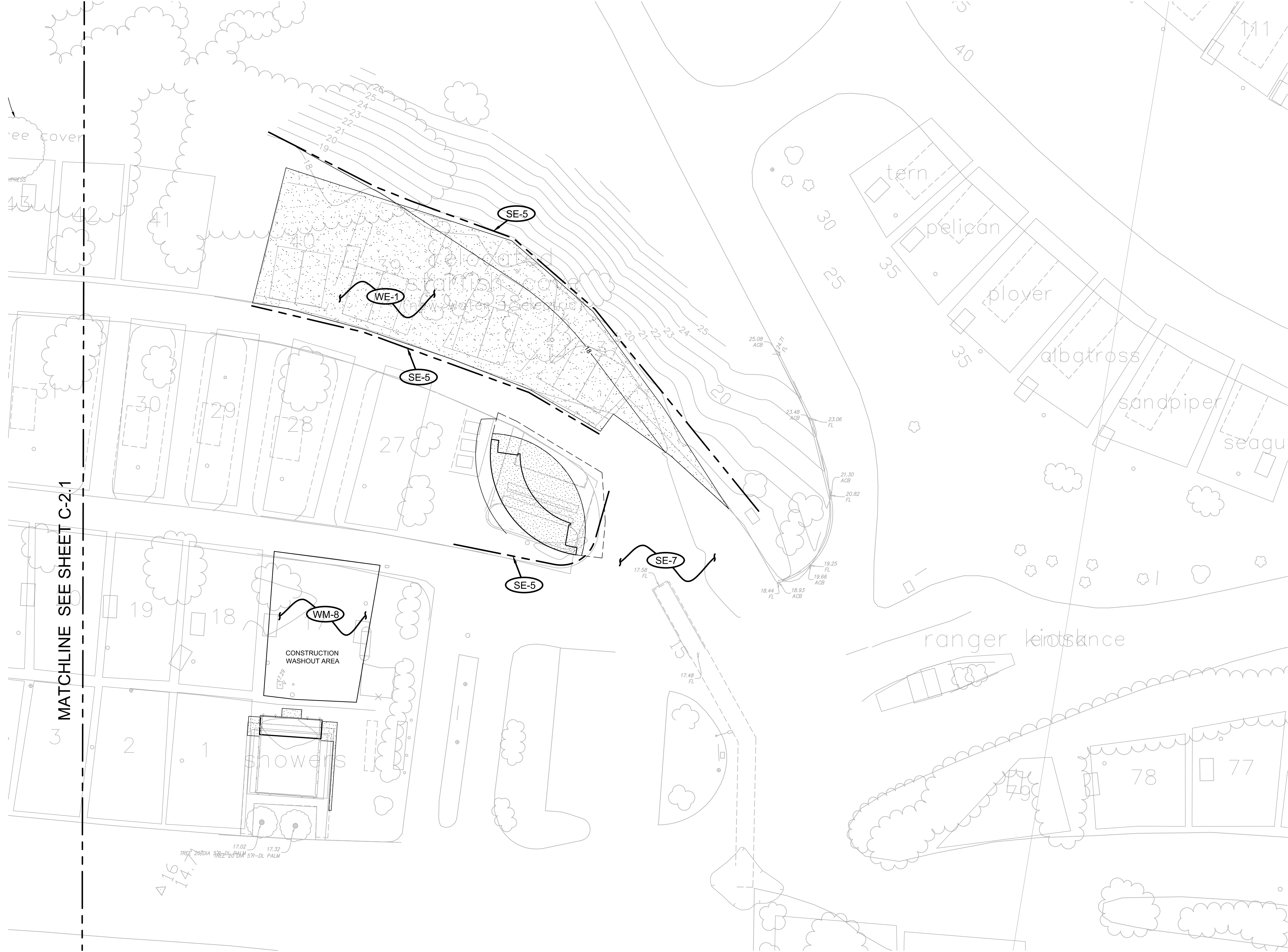


Preliminary Erosion
Control Plan

C-2.2

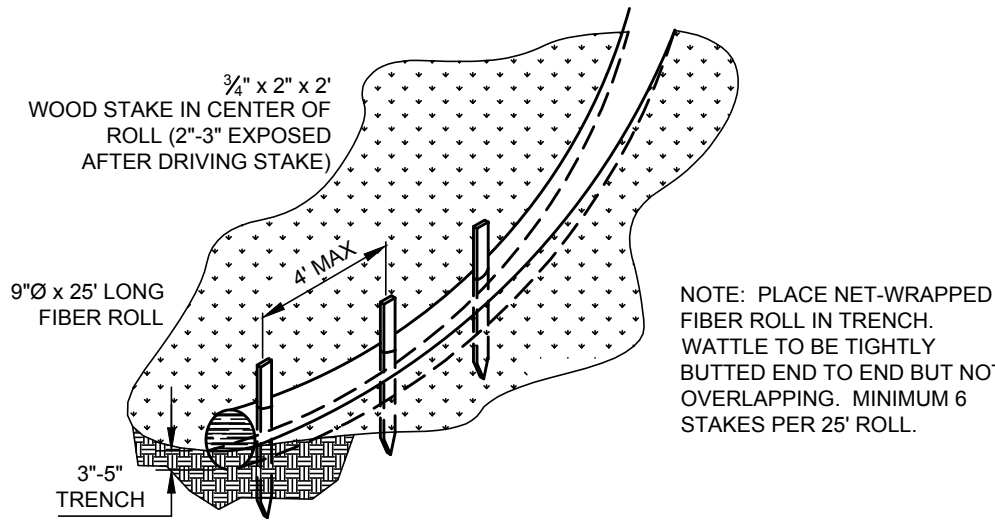
Construction
Documents

3.27.2019



- NOTES:
- FILTER FABRIC TO EXTEND 3" PAST THE DRAIN INLET RIM & TO BE HELD IN PLACE BY OVERLAYING GRAVEL BAGS.
 - REMOVE ACCUMULATED SEDIMENT WHEN ONE-THIRD OF THE BARRIER HEIGHT.
 - INSPECT BEFORE & AFTER STORM EVENTS.

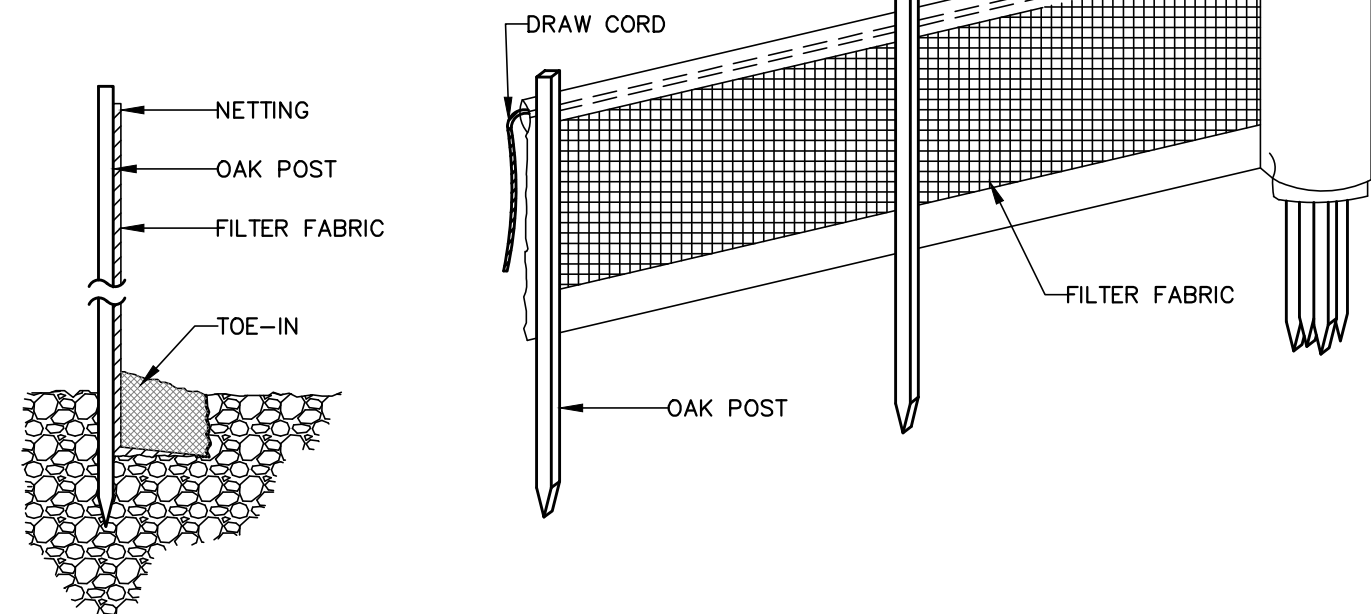
A STORM DRAIN INLET PROTECTION SCALE: NONE



B FIBER ROLLS SCALE: NONE

INSTALLATION PROCEDURES:

- * DIG A 6" x 6" TRENCH AT DESIRED FENCE LOCATION.
- * UNROLL SILT FENCE ALONG TRENCH.
- * DRIVE STAKES INTO THE DOWN HILL SIDE OF TRENCH WITH NETTING AND STAKES FACING THE DOWN HILL SIDE.
- LAY THE BOTTOM 6" OF FABRIC INTO THE TRENCH AND
- * FILL WITH TOP SOIL FOR PROPER TOE-IN.
- DRAW TENSION CORD AT TOP OF FENCE AND TIE TO END STAKES.



C PRE-ASSEMBLED SILT FENCE SCALE: NONE

Jalama Beach County Park

9999 Jalama Road
Lompoc, CA 93436

APN

083-510-001 (REC)
083-510-064 (AG-II)

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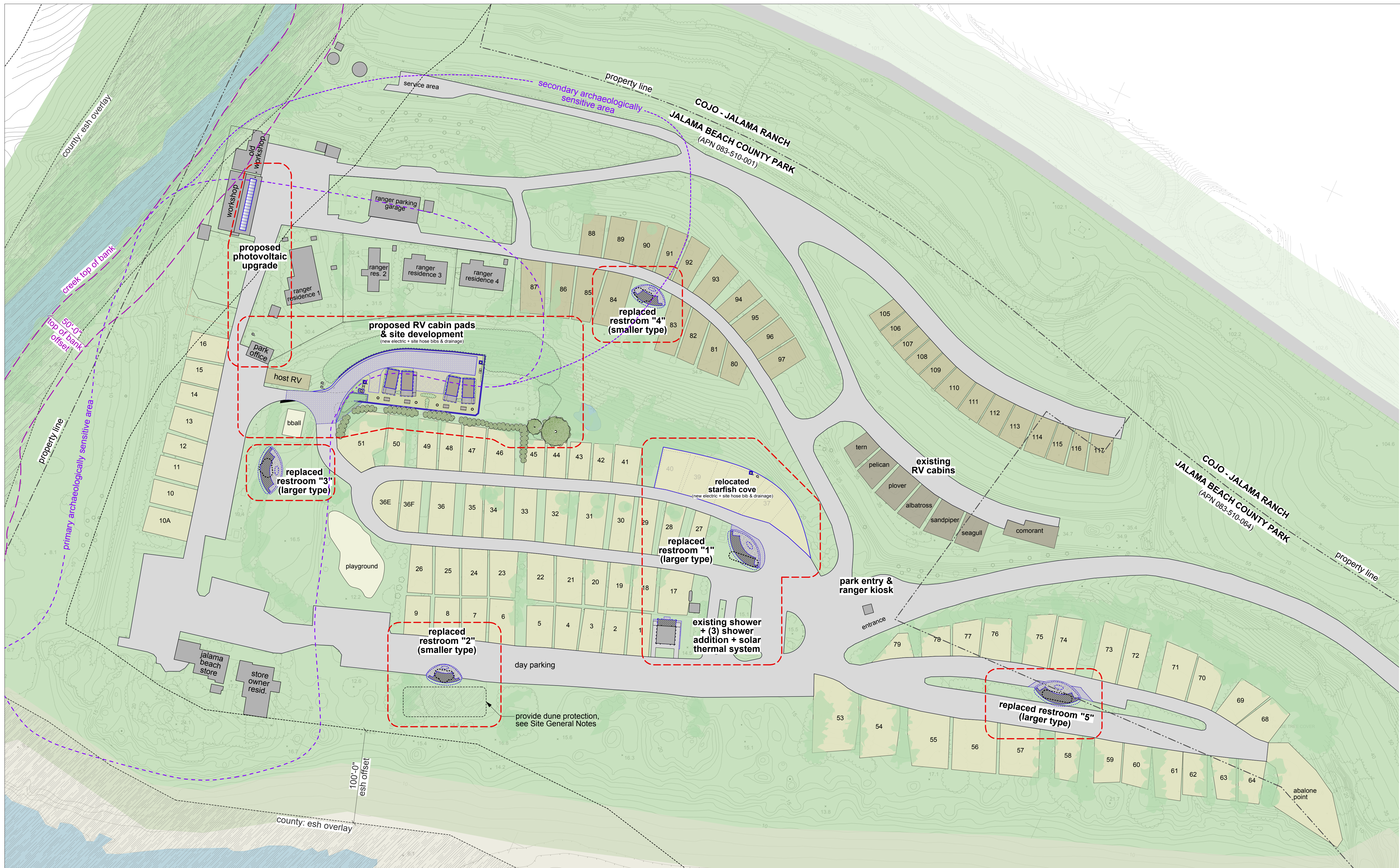
NOT FOR
CONSTRUCTION

Site Development Plan

Planning & Development
Site Development Plan

A1.0

P&D Resubmittal 05.21.19

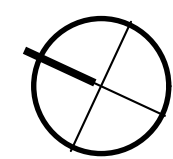


SITE PLAN LEGEND

(E) RV cabins	(N) RV cabin pad (cabin by others)	County: ESH Overlay (Environmentally Sensitive Habitat)	(E) tent sites (reduced)
(E) RV sites	(N) RV sites	property line	(N) permeable paving or pavers, TBD
(E) tent sites	(N) tent sites	proposed area of work	(N) decomposed granite base
(E) county structure	(N) county structure	primary archaeological sensitive zone	
(E) road	(N) asphalt road	secondary archaeological sensitive zone	

Site General Notes:

- See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
- See Civil plans for site grading, drainage, utility and erosion control information.
- See Electrical plans for site electrical information.
- All replaced restrooms are to reconnect to existing septic tanks.
- All previously abandoned septic tanks area to remain and be filled with compacted fill material, unless directed otherwise by Owner. See enlarged plans for further information.
- Dune protection to be provided at Replaced Restroom "2". Prior to initiation of demolition, grading, or equipment mobilization, the Contractor shall implement the following measures to protect environmentally sensitive coastal dune habitat adjacent to construction area:
 - Install highly visible 4' tall temporary safety fencing along the edge of the coastal dune habitat adjacent to the construction area to protect the natural resource.
 - Fencing installed adjacent to native vegetation communities and natural open space areas will allow for the passage of native wildlife if appropriate and desired, and does not increase risk of harm to wildlife.
 - All construction-related activities shall be confined to the designated construction areas outside of the fenced areas.
 - Fencing shall be maintained throughout the duration of the project, including fixing or replacing downed fence.
 - Fencing shall remain in place for the duration of the project until all project activities are complete and County sign-off has occurred.
 - A qualified biological monitor shall monitor the condition of the fence, to ensure avoidance of impacts to the coastal dune habitat.
- New slab for Replaced Restroom "3" is to be constructed on top of 15" of imported fill to avoid impacts to archaeological resources; see restroom plans.



Jalama Beach County Park - Site Development Plan

feet 0 25 50 100

1" = 50 ft

1

Jalama Beach County Park

9999 Jalama Road
Lompoc, CA 93436

APN

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NOT FOR
CONSTRUCTION

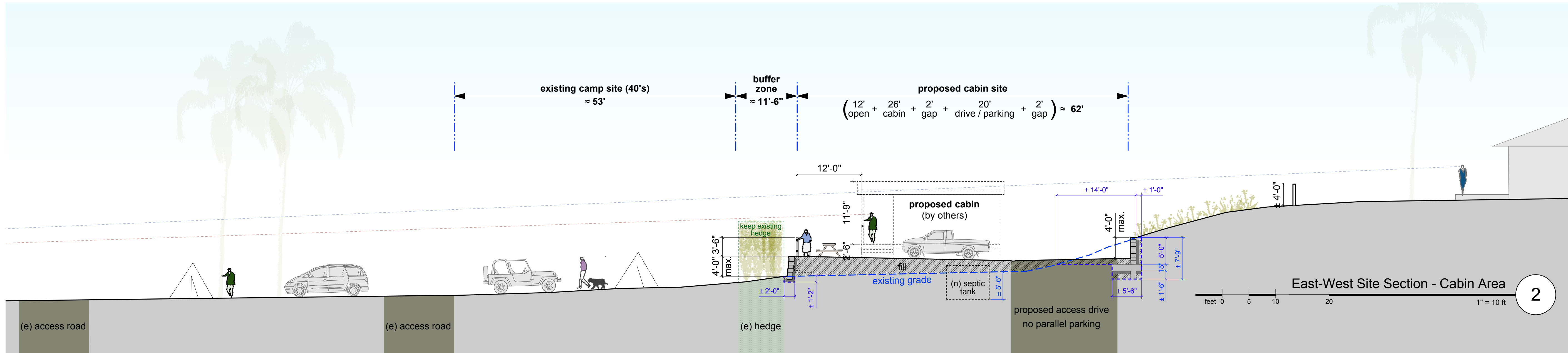
Enlarged Site Plan

Proposed RV Cabin Pad
Development Area:
Site Plan & Section

A1.1

P&D Resubmittal

05.21.19



(E) hosebib & electrical pedestal by Host RV
to be relocated and replaced

SITE PLAN LEGEND

(E) RV cabins	(N) RV cabin pad (cabin by others)	County: ESH Overlay (Environmentally Sensitive Habitat)
(E) RV sites	(N) RV sites	property line
(E) tent sites	(N) tent sites	proposed area of work
(E) county structure	(N) county structure	primary archaeological sensitive zone
(E) road	(N) asphalt road	secondary archaeological sensitive zone
		(E) tent sites (reduced)
		(N) permeable paving or pavers, TBD
		(N) decomposed granite base

(N) outdoor barbecue (2'-6" dia. pit w/ 4' min. cr.)	(P) HB (See civil drawings)
(N) outdoor picnic table (4' x 6' table & bench, w/ 3' min. cr.)	(E) P (See civil and electrical drawings)
	(E) M (See civil and electrical drawings)

(N) outdoor barbecue (2'-6" dia. pit w/ 4' min. cr.)	(P) HB (See civil drawings)
(N) outdoor picnic table (4' x 6' table & bench, w/ 3' min. cr.)	(E) P (See civil and electrical drawings)
	(E) M (See civil and electrical drawings)

Jalama Beach County Park

9999 Jalama Road
Lompoc, CA 93436

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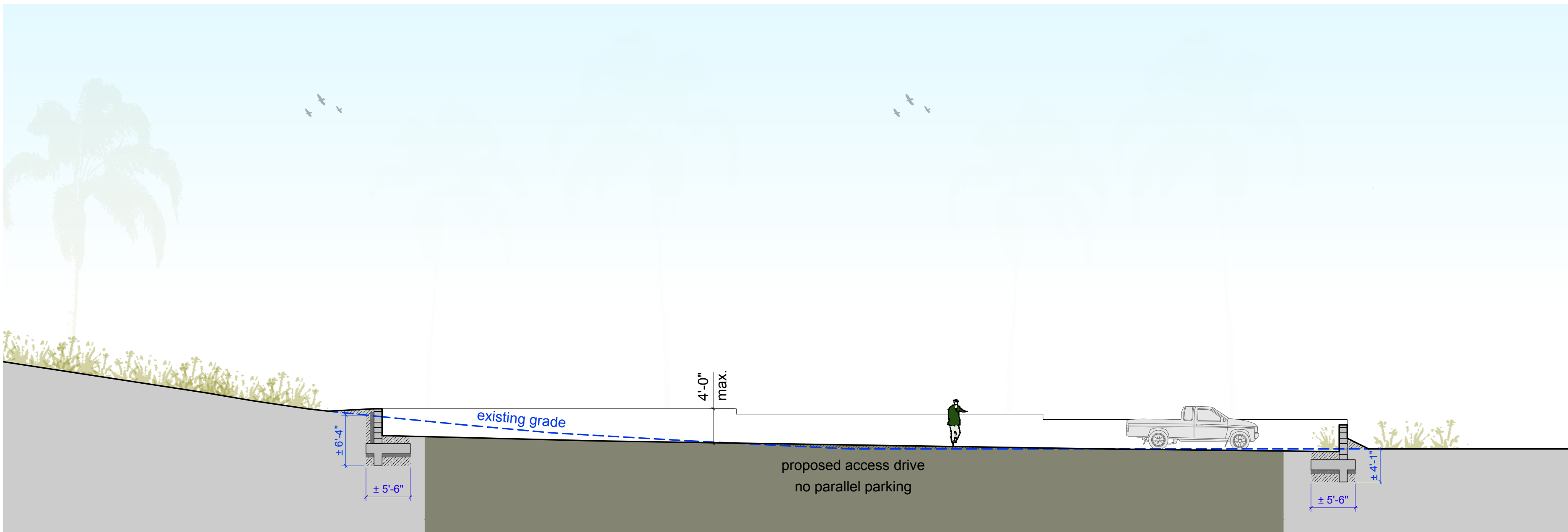
Enlarged Site Plan

Proposed RV Cabin Pad
Development Area:
Site Sections

A1.1a

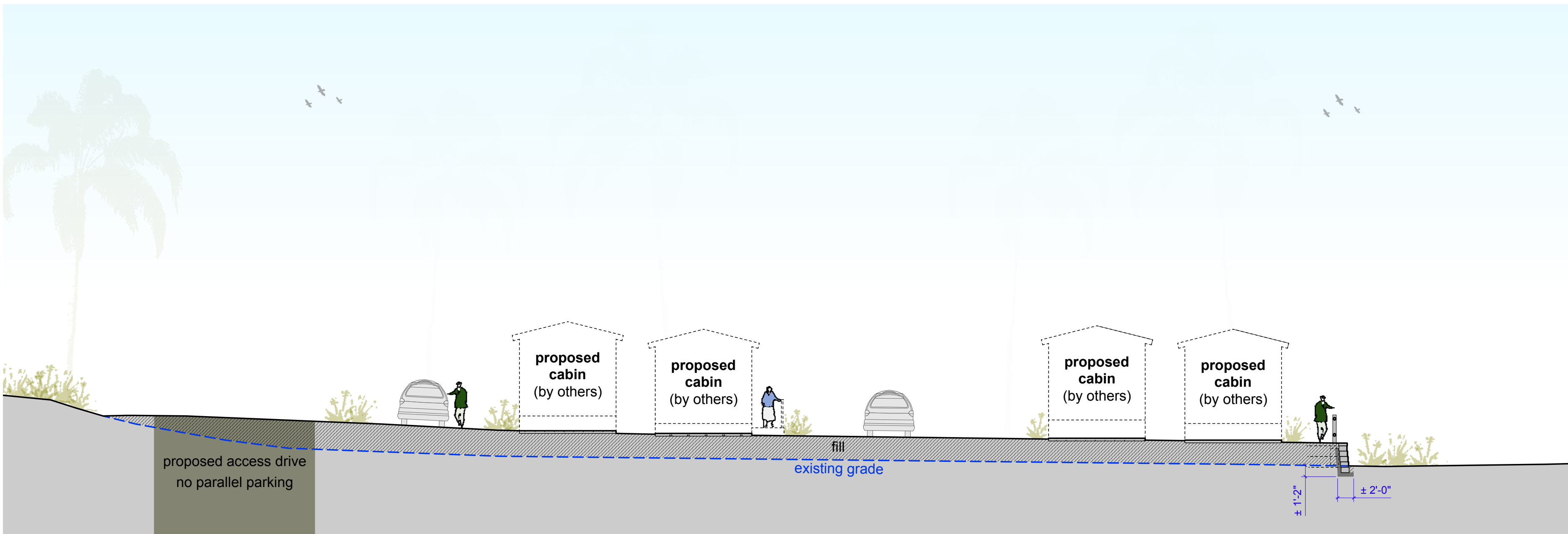
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05.21.19



North-South Site Section - Cabin Area

2



North-South Site Section - Cabin Area

1

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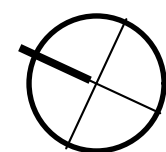
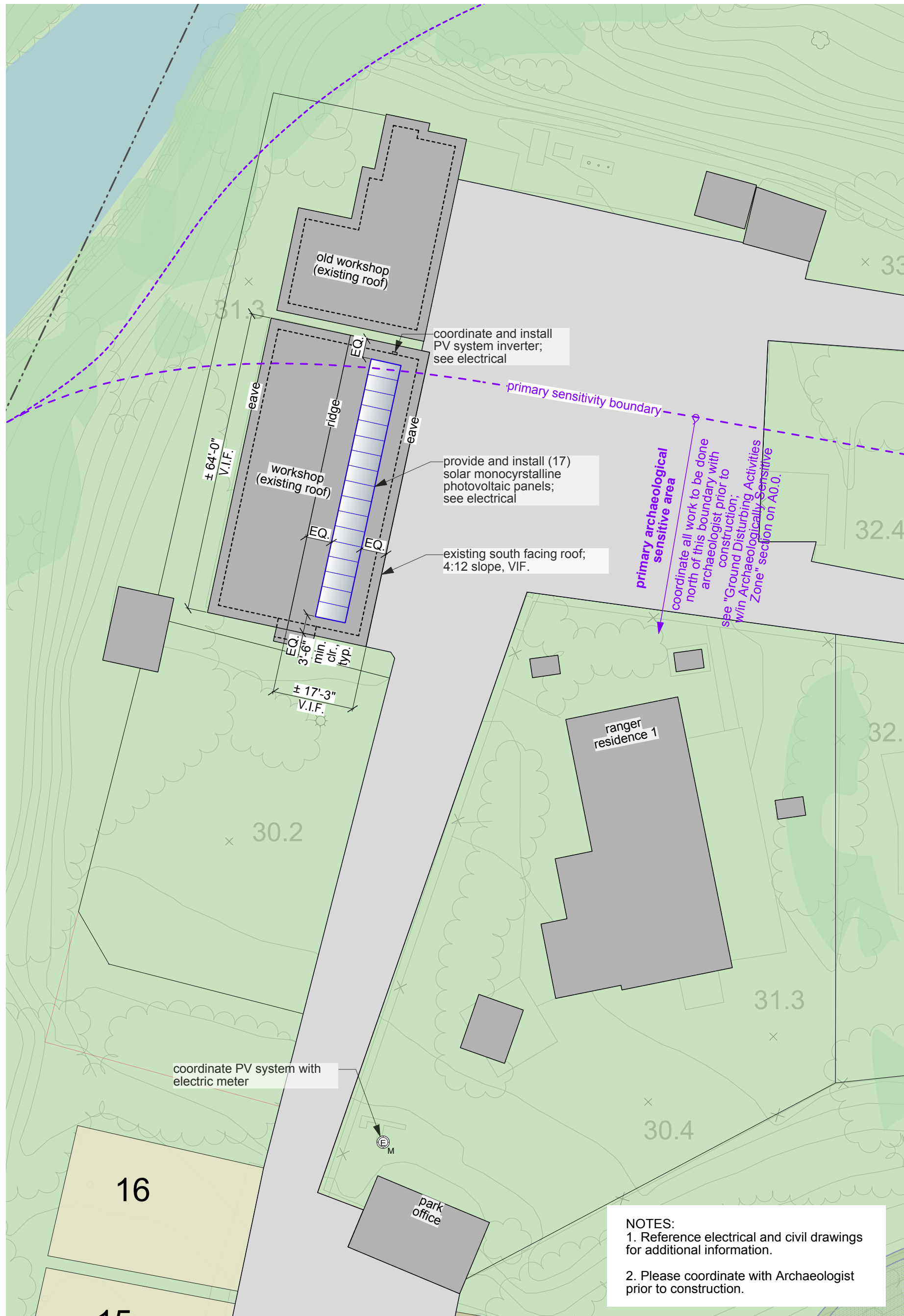
Enlarged Site Plan

Proposed Relocated
Group Camp Site &
Solar Photovoltaic Panel
System Development Areas

A1.2

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05.21.19

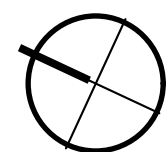


Enlarged Site Plan - Photovoltaic Upgrade

feet 0 10 20 40

1" = 20 ft

2



Enlarged Site Plan - Proposed Relocated Group Camp Site Area

feet 0 10 20 40

1" = 20 ft

1

SITE PLAN LEGEND

(E) RV cabins
(E) RV sites
(E) tent sites
(E) county structure
(E) road

(N) RV cabin pad (cabin by others)
(N) RV sites
(N) tent sites
(N) county structure
(N) asphalt road

County: ESH Overlay (Environmentally Sensitive Habitat)
property line
proposed area of work
primary archaeological sensitive zone
secondary archaeological sensitive zone

(E) tent sites (reduced)
(N) permeable paving or pavers, TBD
(N) decomposed granite base

(N) outdoor barbecue (2'-6" dia. pit w/ 4' min. cir.)
(N) outdoor picnic table (4' x 6' table & bench, w/ 3' min. cir.)

Hose bib (See civil drawings)

Electrical pedestal (See civil and electrical drawings)

Electric meter (See civil and electrical drawings)



inside (e) shower facility



inside (e) shower facility



inside (e) shower facility



(e) screen over door at east and west ends



(e) typical screen over shower stall



(e) east side



(e) north side



(e) shower stall #10



(e) typical shower stall



(e) west elevation



(e) south elevation



(e) east side (site of addition)



(e) propane tank to east

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Shower: Existing Photos

A2.1
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Shower: Floor Plan

Demolition & Proposed
Floor Plans

A2.2a

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KEYNOTES: SHOWER - FLOOR PLAN

- (E) hardscape to be removed.
- (E) door, screen (above), and light fixture (above) to be removed.
- (E) shower fitting to be removed and replaced with fixed fitting. See plumbing drawings.
- (E) accessible wall-mounted folding bench to be removed.
- (E) CMU wall to be removed.
- (E) water heater to be removed and replaced. See plumbing drawings.
- (E) coin meter to be removed and replaced. See Plumbing drawings.
- (E) utility connection to be removed and relocated per new floor plan. See consultant drawings. Coordinate with civil drawings.
- (E) shower facility sand trap to be replaced. Coordinate with Owner.
- (E) abandoned septic tank to remain, and be filled and compacted, unless directed otherwise by Owner. See civil drawings.
- (E) manhole to remain and be abandoned.
- (E) trench drain to remain.
- (E) trench drain to removed. Salvage for re-installation.
- Provide and coordinate concrete pad; finish to match existing
- N/A
- Provide wall mounted accessible folding seat.
- Provide 6" concrete curb. See details.
- Provide new semi-recessed coin meter at existing shower stalls. Contractor to coordinate and enlarge existing recess in CMU wall to accommodate new larger coin meter. Reconnect to existing/replaced plumbing and electrical utilities. See Plumbing and Electrical drawings.
- Provide new semi-recessed coin meters at new shower stalls. Connect to plumbing and electrical utilities. See Plumbing and Electrical drawings.
- Contractor to coordinate and provide indirect waste drain for new water heater equipment. Coordinate location of saw cut into existing slab per water heater SPEC. See Plumbing drawings.
- Provide floor drain with sand trap in new shower stalls. Center floor drain in stall. Provide 1/4" per foot slope to drain. See Plumbing drawings.
- Provide new shower head in new shower stalls. See Plumbing drawings.
- Coordinate relocated utility point of connection. See consultant drawings.
- Coordinate with utility provider to relocate existing propane tank along existing concrete pad to provide 25' clear from face of shower addition; per NFPA 58, Table 6.4.1.2. Provide extension of concrete pad if necessary.
- Reinstall salvaged and/or provide new trench drain and reconnect to (E) waste drainage system.
- Provide new 36" wide x 24" deep x 72" tall chemical storage cabinet, coordinate with Owner.

GENERAL NOTES: FLOOR PLAN

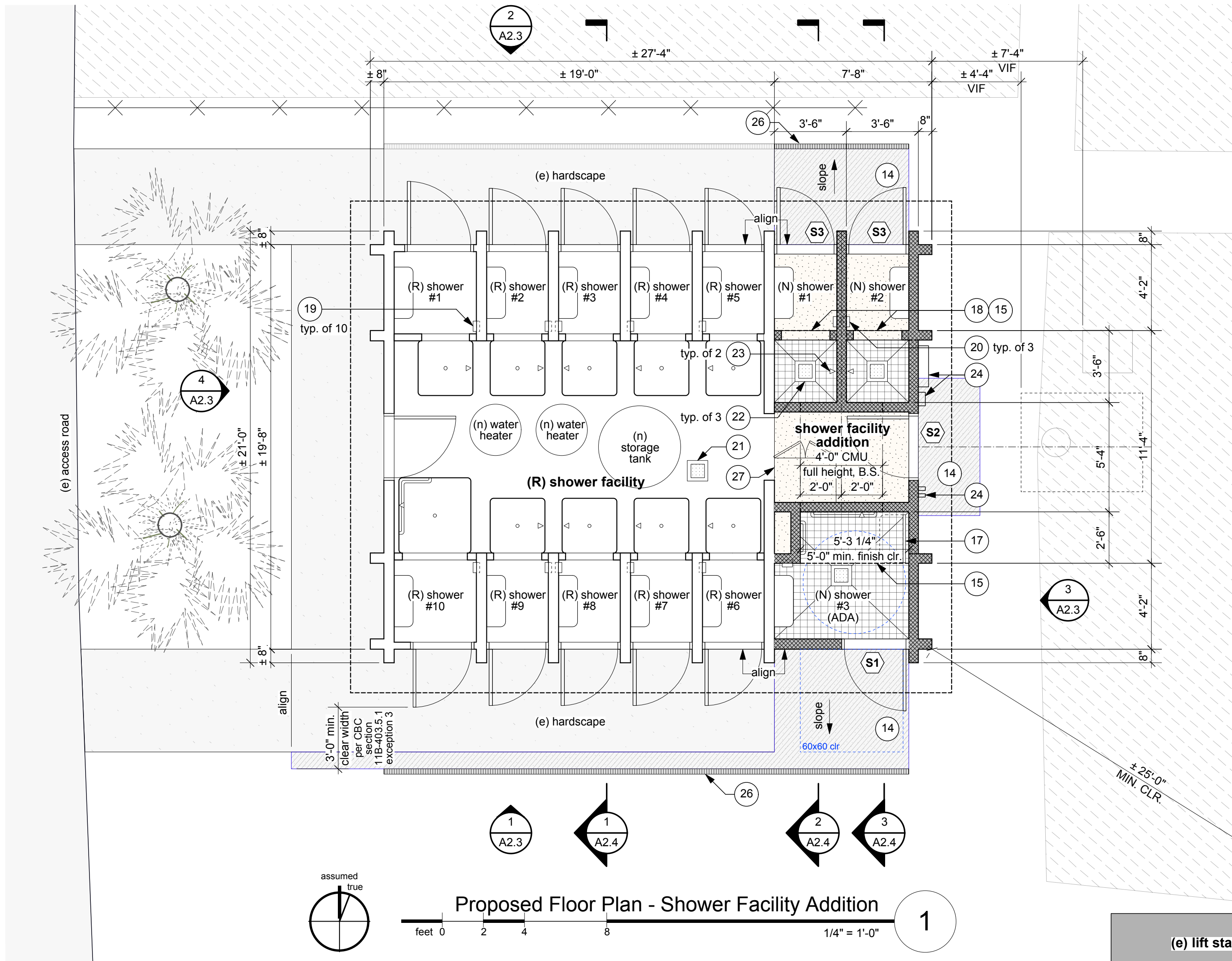
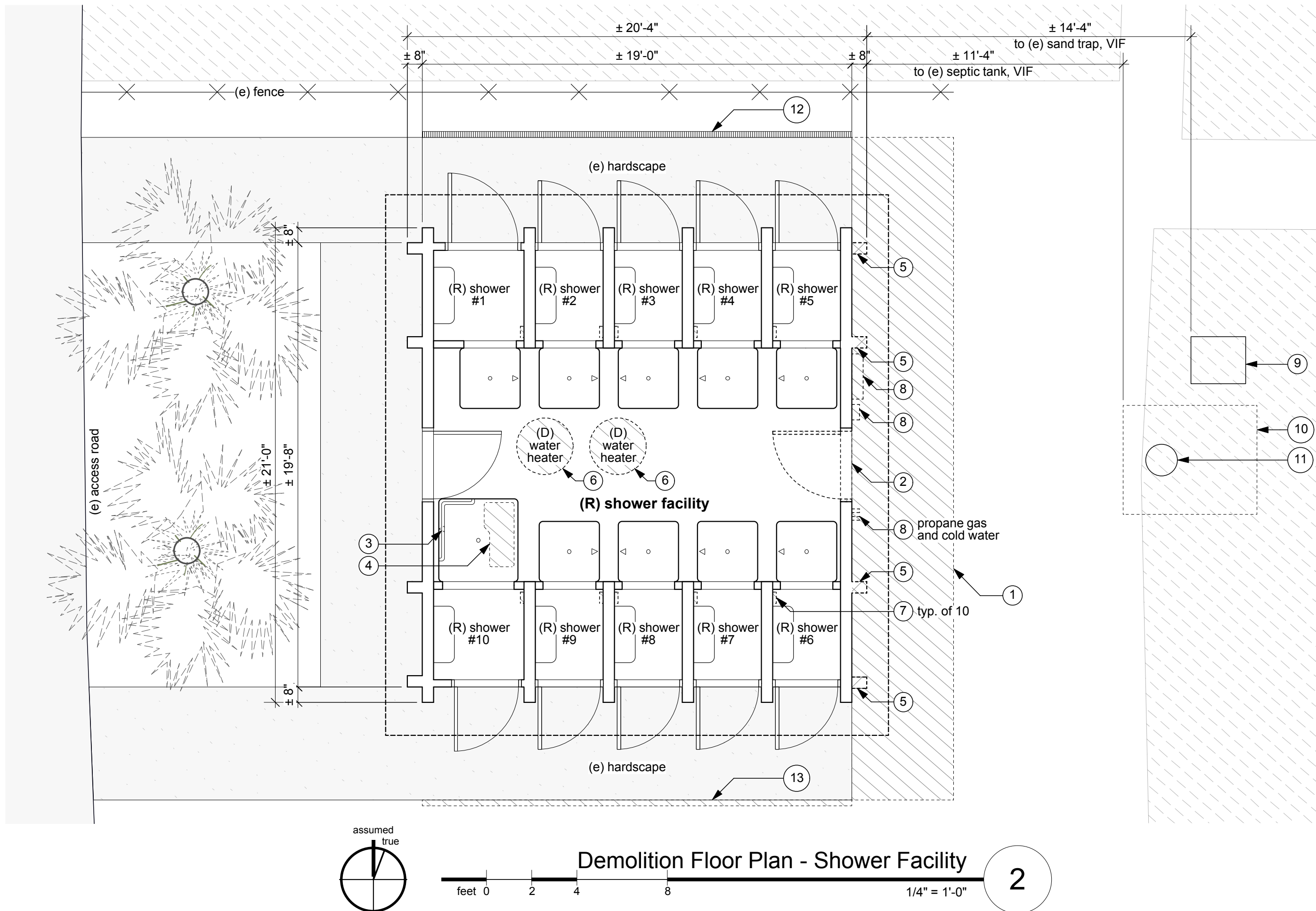
- The Contractor shall verify all dimensions, elevations, and any existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
- See Civil plans for site demolition, grading, drainage, erosion control, tree protection, retaining walls, and site utilities.
- Refer to Structural drawings for applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for applicable notes.
- Coordinate with Owner for direction regarding adjacent landscape materials and features.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- All demolished areas shall be completed to "broomed and vacuumed" finish, including all exposed cavities in adjacent walls and ceilings.
- If asbestos is encountered, stop work and contact owner.
- Refer to Elevations on A2.3 for exterior finishes.
- Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A, County Ordinance requirements (Moderate Fire Hazard).
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- Install moisture resistant G.W.B. on all walls in showers, and rooms subject to wet conditions, U.N.O.
- Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.O.
2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- Electrical recepticals, switches/controls, and outlets:
1) Refer to Electrical drawings.
2) Switches shall be placed centered at 36" AFF and 4" from door jamb or corner, U.N.O.
3) Convenience recepticals shall be placed centered at 12" AFF or 6" above countertop, U.N.O.
- F.F. (finish floor) refers to top-of-finish-floor, U.N.O.
- Coordinate and replace all existing shower fittings at existing shower facility with the County's recommended single temperature metered shower push button faucet with coin operated timer/meter.
- Coordinate and replace existing mixing valve assembly at existing shower facility, and provide a single mixing valve.
- Patch and repair existing walls, doors, rafters, finishes and features as needed to match adjacent conditions. Finishes shall be prepped for paint at all locations.

LEGEND: SHOWER - FLOOR PLAN

- feature below
- feature above
- (e) built-in benches, (n) to match
- (e) feature to be demolished
- (n) exterior hardscape, finish to match (e)
- (n) exposed interior concrete slab
- (n) porcelain floor tile, over depressed concrete slab, slope to drain
- (e) adjacent tent site
- (D) door/window feature to be removed
- (E) existing
- (R) renovate; remove existing features as indicated in drawings; patch and repair finishes as necessary
- (D) demolish; remove existing feature as indicated in drawings
- (N) new, to match existing

WALL TYPE LEGEND: SHOWER - FLOOR PLAN

- existing wall
- wall to be demolished
- new 6" CMU wall
(see sections and structural drawings for height)



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NOT FOR
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Shower: Roof Plan

Demolition & Proposed
Roof Plans

A2.2b

P&D Resubmittal 04.10.19

KEYNOTES: SHOWER - ROOF PLAN

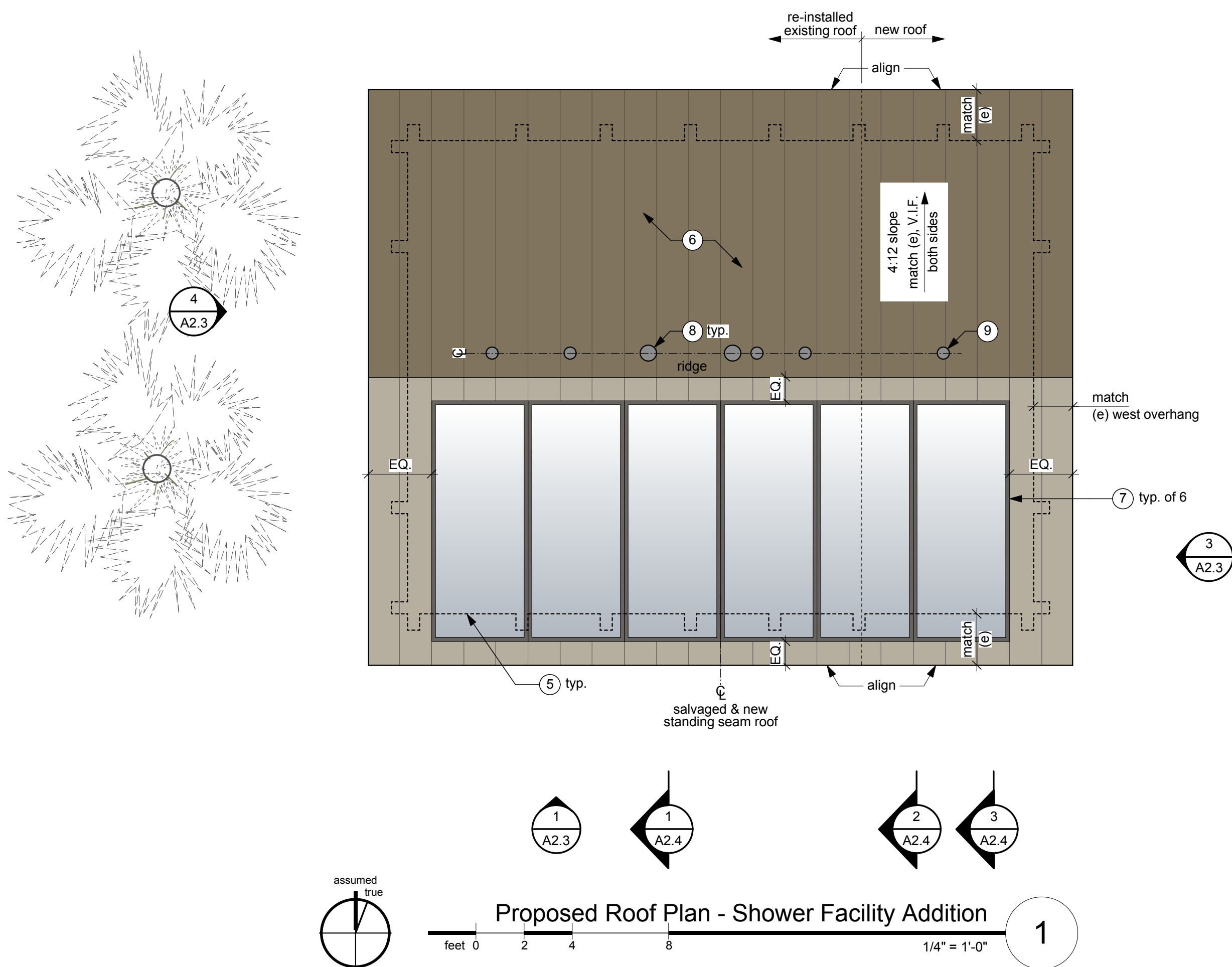
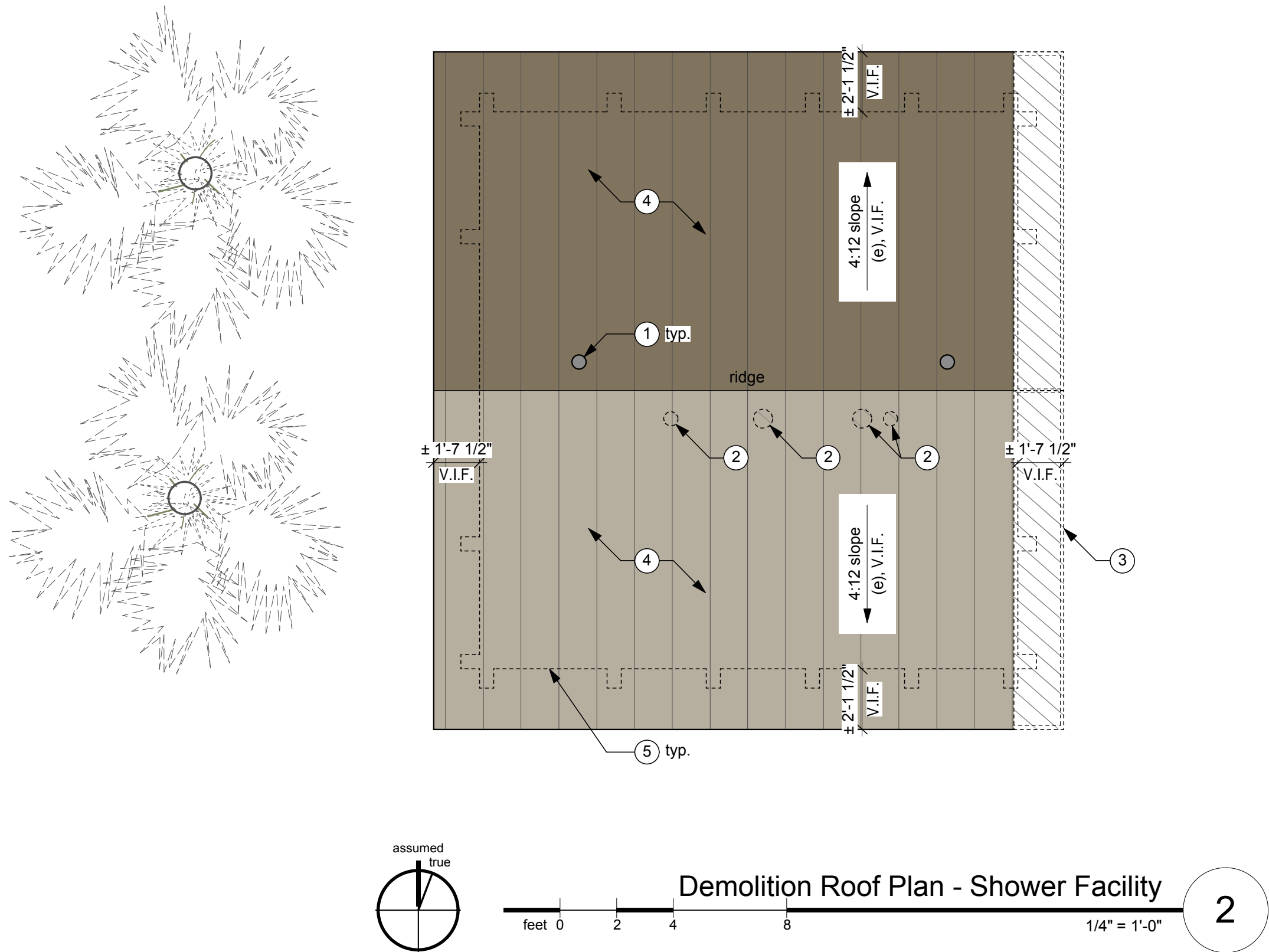
- (E) roof vents or penetrations, verify location in field.
- (E) roof vents/penetrations to be removed and relocated to north side of roof ridge. Repair or replace all damaged T&G decking members below.
- (E) T&G deck members, fascia board and ridge board to be trimmed off @ roof rafter per Structural drawings, and removed.
- (E) standing seam metal roof to be removed to allow for new plywood sheathing installation over (e) T&G deck, per Structural. Salvage (e) standing seam roof panels for re-installation. See details for finished construction assembly.
- Exterior face of structure, below roof.
- Salvaged and new standing seam metal roof. Finish, gauge, panel size, rib height, fastening system and specifications of new panels to match (e) salvaged panels. Re-center spacing of panels. Contractor to coordinate.
- Solar thermal flat plate collector (4' x 10' panels); reference Structural, Mechanical and Plumbing sheets for additional information; typ.
- Relocated (e) roof vent/penetrations to north side of roof ridge. Align with (e) roof vents.
- Provide and coordinate new stack vent for new shower stalls; align with existing roof vents.

GENERAL NOTES: ROOF PLAN

- The Contractor shall verify all dimensions, elevations, and any existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- Refer to Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- All demolished areas shall be completed to "broomed and vacuumed" finish, including all exposed cavities in adjacent walls and ceilings.
- If asbestos is encountered, stop work and contact owner.
- Refer to Elevations on A2.3 for exterior finishes.
- Dimensioning:
 - all dimensions are to face of stud, concrete or CMU, U.N.O.
 - all T.O. Roof elevations are to top of finish, U.N.O.
 - refer to Sections for Top Plate and Beam heights.
- Roof covering, valleys, and gutters per 2016 CBC Section 705A (Moderate Fire Hazard - Chapter 7A)
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Roof pitch for roof covering per 2016 CBC Chapter 15.
- Provide minimum slope of 1/4" per 1'-0" for all roof crickets.
- F.F. (finish floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O.
- Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A & S.B. County Ordinance requirements (Moderate Fire Hazard).
- Paint all roof penetrations to match roof.
- Patch and repair existing rafters, T&G, finishes and features as needed to match adjacent conditions.

LEGEND: SHOWER - ROOF PLAN

- feature below
- (e) feature to be demolished
- standing seam metal roof (Class A assembly)
- solar thermal flat plate collector (see Mechanical and Plumbing)
- duct termination/vent, see Mechanical and Plumbing



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Shower: Ext. Elevation

Elevations

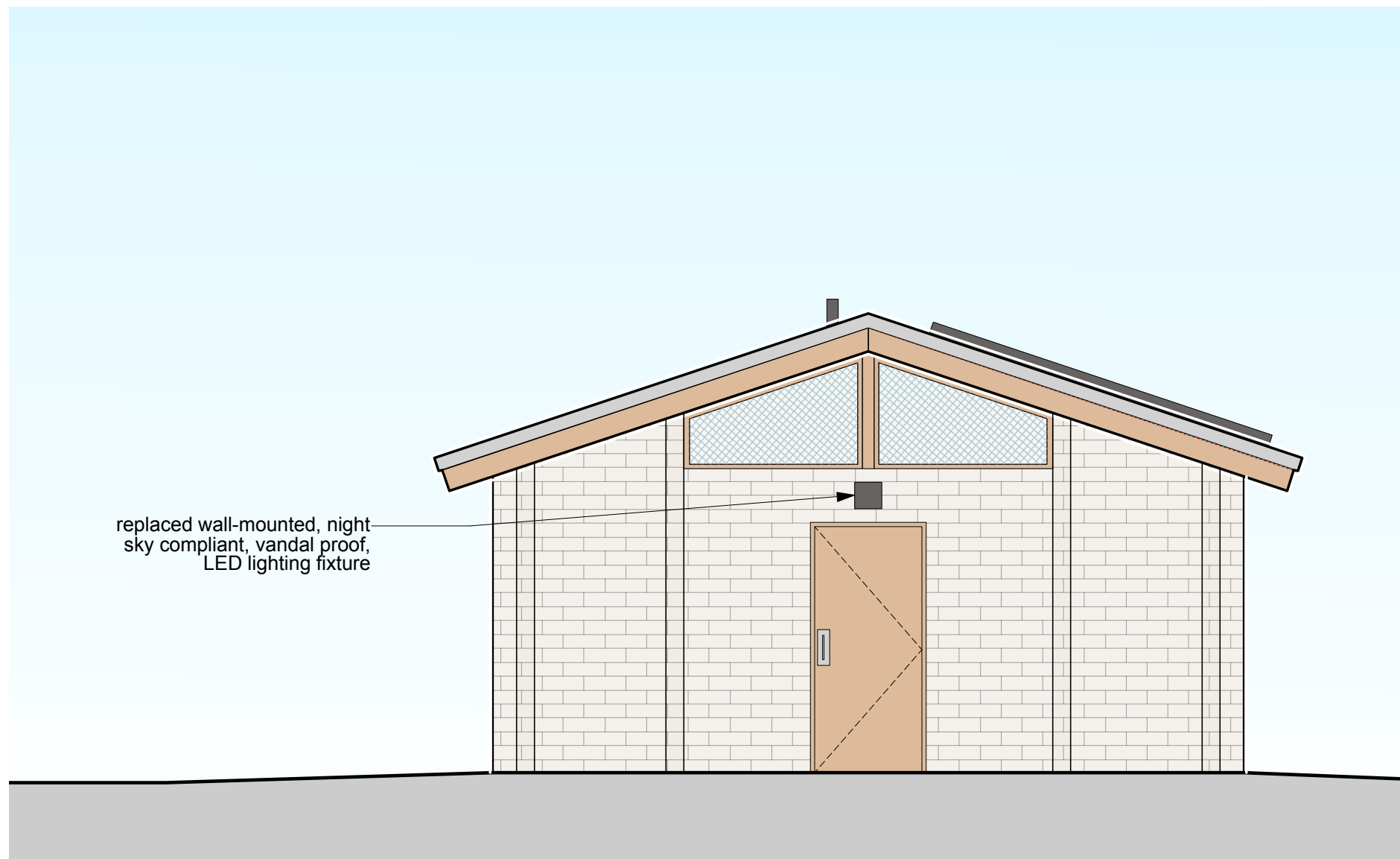
A2.3

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04.10.19

GENERAL NOTES: ELEVATIONS

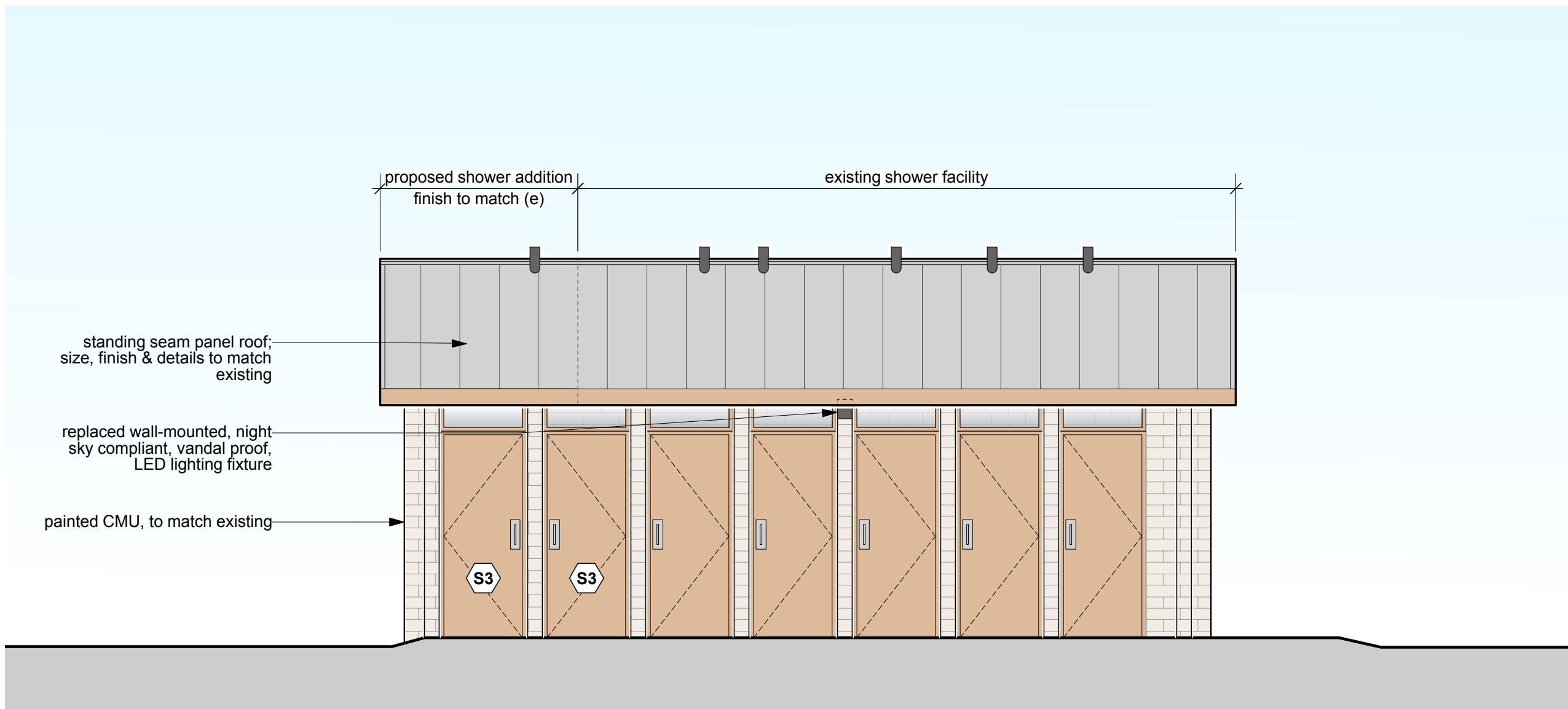
- The Contractor shall verify all dimensions, elevations, and any existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
- Refer to plans and Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- All demolished areas shall be completed to "broomed and vacuumed" finish, including all exposed cavities in adjacent walls and ceilings.
- Refer to Electrical drawings for night sky compliant fixtures.
- If asbestos is encountered, stop work and contact owner.
- Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A, County Ordinance requirements (Moderate Fire Hazard).
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- Dimensioning:
1) all dimensions are to face of stud, concrete wall or CMU U.N.O.
2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- F.F. (finish floor) refers to top-of-finish-floor, U.N.O.
- All exterior lighting fixtures to be night sky compliant. Connect exterior lighting into existing photocell controlled lighting circuit.
- Patch and repair existing walls, doors, rafters, finishes and features as needed to match adjacent conditions. Finishes shall be prepped for paint at all locations.



Proposed West Elevation

feet 0 2 4 8 1/4" = 1'-0"

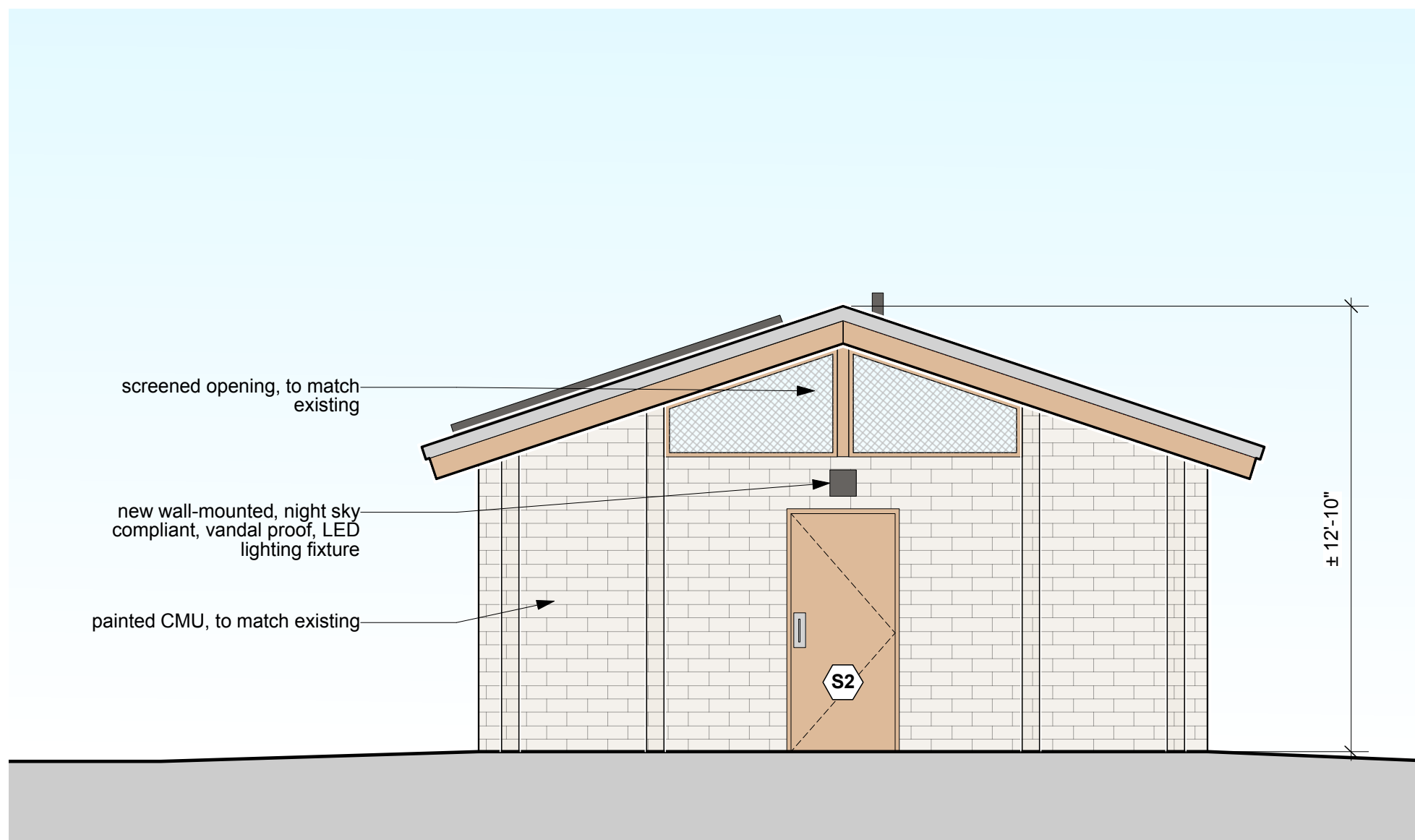
4



Proposed North Elevation

feet 0 2 4 8 1/4" = 1'-0"

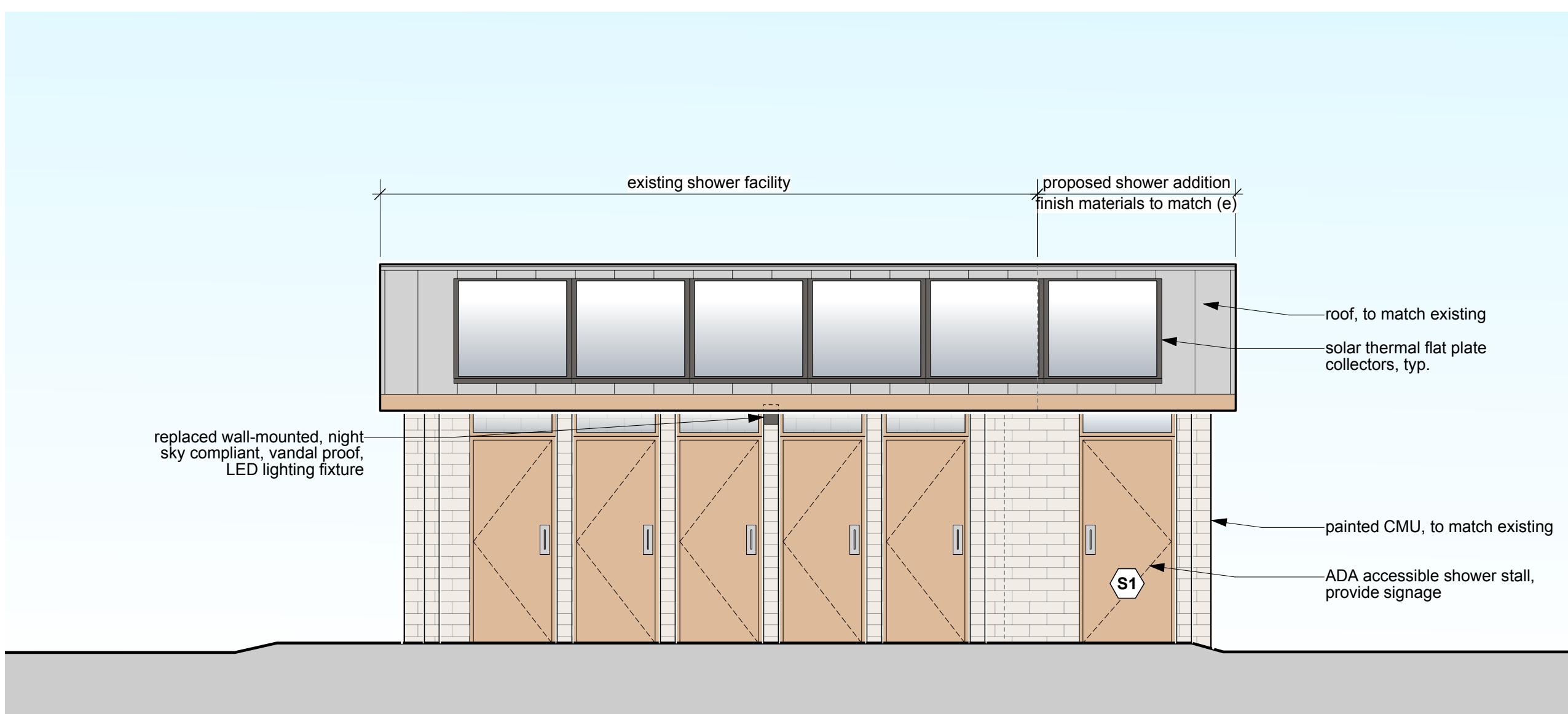
2



Proposed East Elevation

feet 0 2 4 8 1/4" = 1'-0"

3



Proposed South Elevation

feet 0 2 4 8 1/4" = 1'-0"

1

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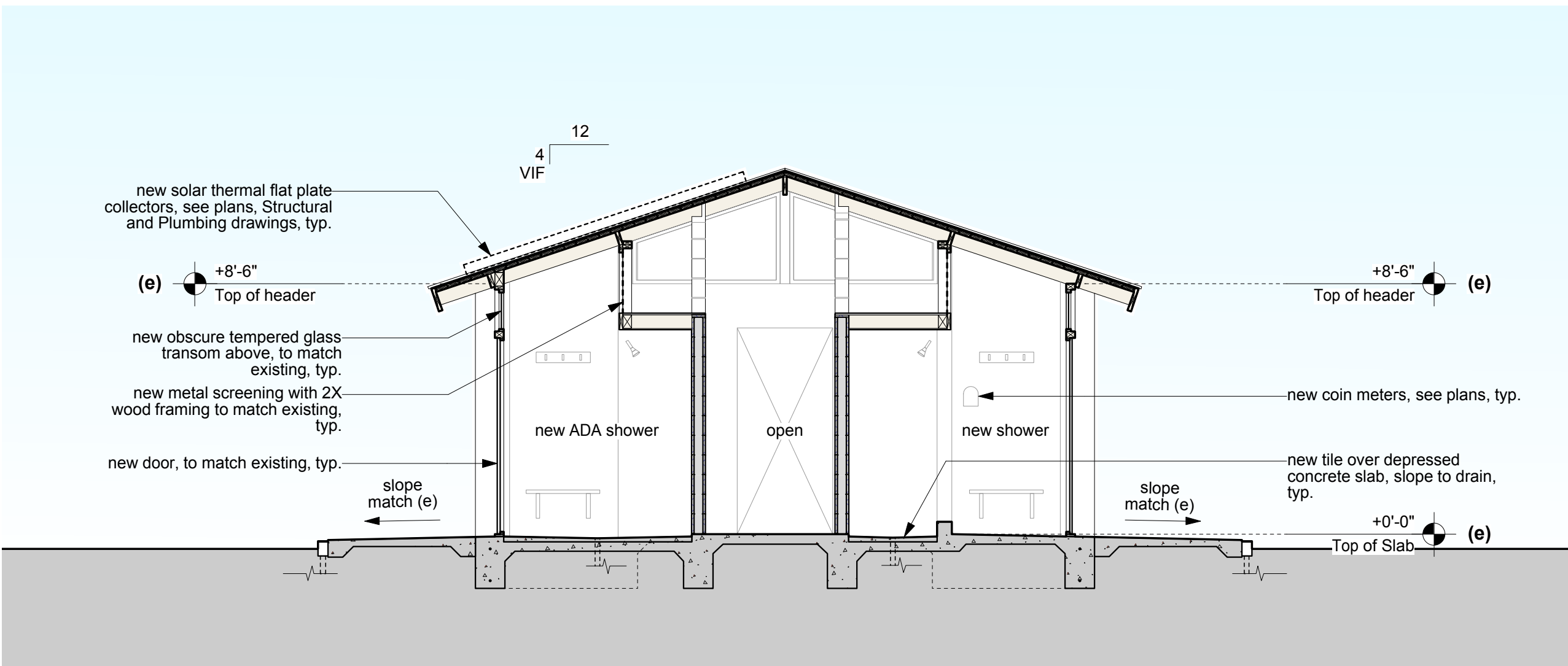
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Shower: Sections

A2.4

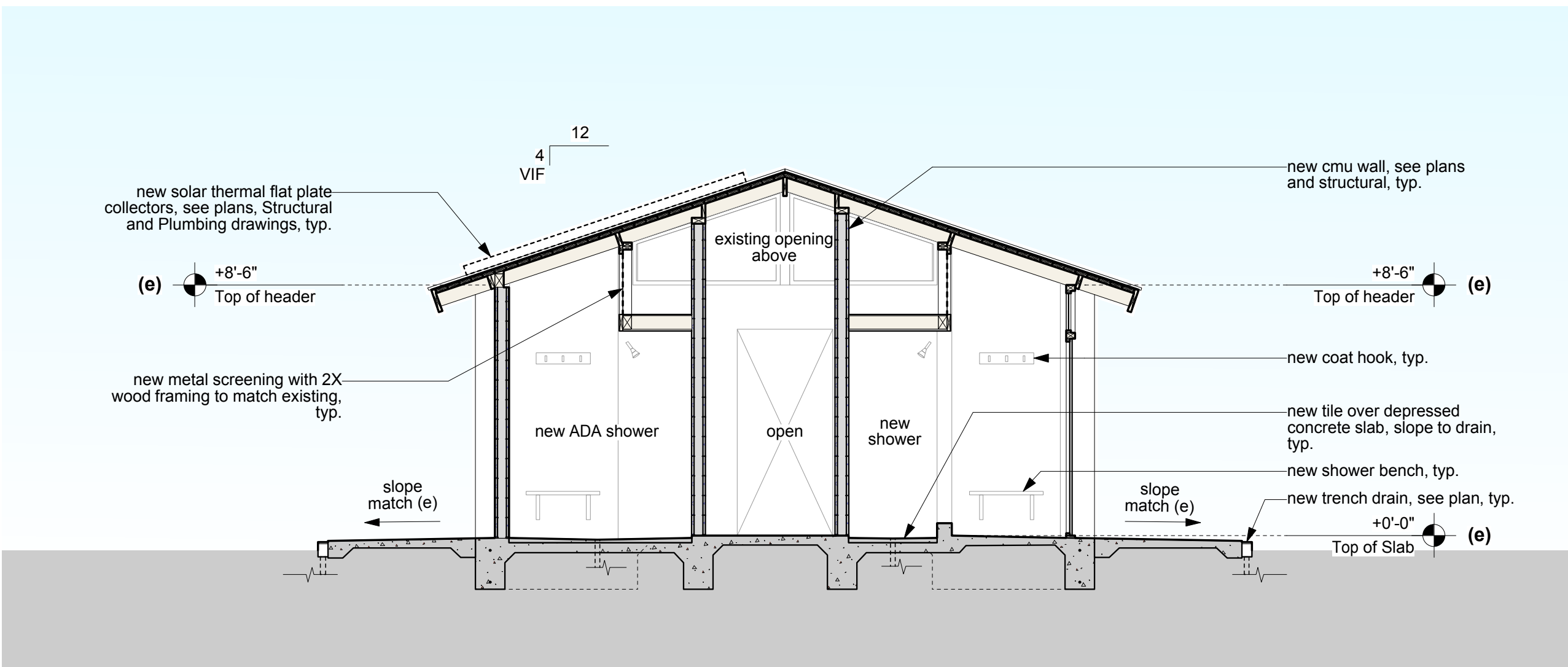
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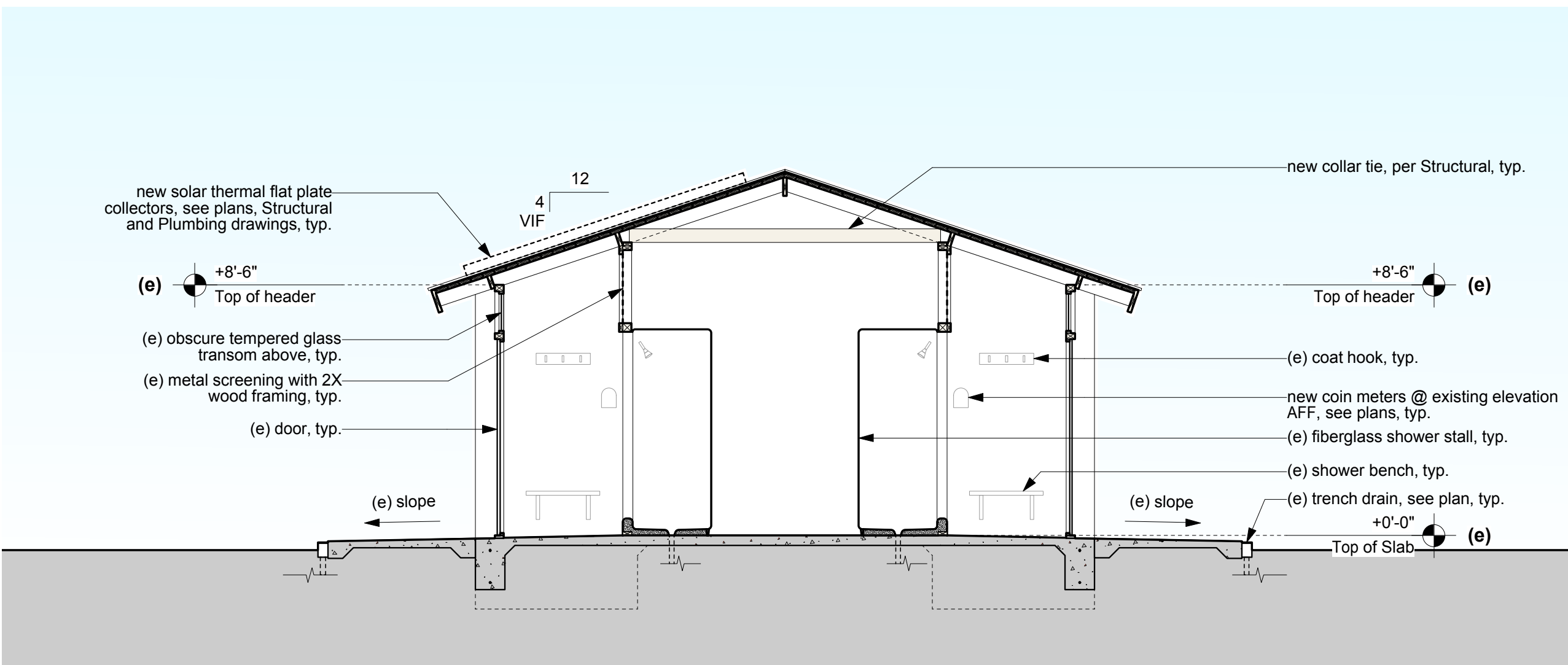
North-South Section - Addition

3



North-South Section - Addition

2



North-South Section - Existing showers

1

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Restrooms: Floor Plan

Small Restroom - Floor Plan
Large Restroom - Floor Plan

A3.2a

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KEYNOTES: RESTROOM - FLOOR PLAN

1. Cast-in-place concrete bench with cast-in surfboard top; approx. 6'-0" x 1'-9" ellipse
2. Board-form concrete bench, see details and structural
3. High and low shower fixture, see Plumbing
4. Pre-fabricated wall-mounted stainless steel sink with drainage board; 4' wide x 2' deep; see Plumbing
5. Porcelain toilet fixture, see Plumbing
6. Porcelain urinal fixture, see Plumbing
7. Porcelain sink fixture, see Plumbing
8. ADA toilet grab bars
9. Skylight feature above, see roof plan
10. Ellipsed shaped skylight above, see roof plan
11. Roof overhang above, see roof plan
12. Wall above access panel opening, see clerestory plan
13. Curved CMU wall with commercial-grade through-body color porcelain tile; see elevations, details and finish schedule
14. Integral color elastomeric plaster over sealed CMU wall; see clerestory plan, elevations, details and finish schedule

GENERAL NOTES: FLOOR PLAN

- A. The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- B. See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
- C. See A1.0 Site Development Plan for indication of restroom replacement module.
- D. Provide 15" of imported fill material on top of work area at Replaced Restroom #3 per Civil Drawings.
- E. See Civil plans for site demolition, grading, drainage, erosion control, tree protection, retaining walls, and site utilities.
- F. Refer to Structural drawings for applicable notes.
- G. Refer to Plumbing, Mechanical and Electrical drawings for applicable notes.
- H. Coordinate with Owner for direction regarding adjacent landscape materials and features.
- I. Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- J. If asbestos is encountered, stop work and contact owner.
- K. Refer to Elevations on A3.3 for exterior finishes.
- L. Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A, County Ordinance requirements (Moderate Fire Hazard).
- M. Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- N. Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- O. Dimensioning:
 - 1) all dimensions are to face of concrete wall or CMU, U.N.O.
 - 2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- P. Electrical recepticals, switches/controls, and outlets:
 - 1) Refer to Electrical drawings.
 - 2) Switches shall be placed centered at 36" AFF and 4" from door jamb or corner, U.N.O.
 - 3) Convenience recepticals shall be placed centered at 12" AFF or 6" above countertop, U.N.O.
- Q. See Electrical drawings for night sky compliant lighting fixtures.
- R. F.F. (finish floor) refers to top of slab, U.N.O.
- S. Contractor to coordinate and reconnect waste lines of new restrooms to existing adjacent septic tank.
- T. Refer to restroom slab plan on A3.2 for additional notes.

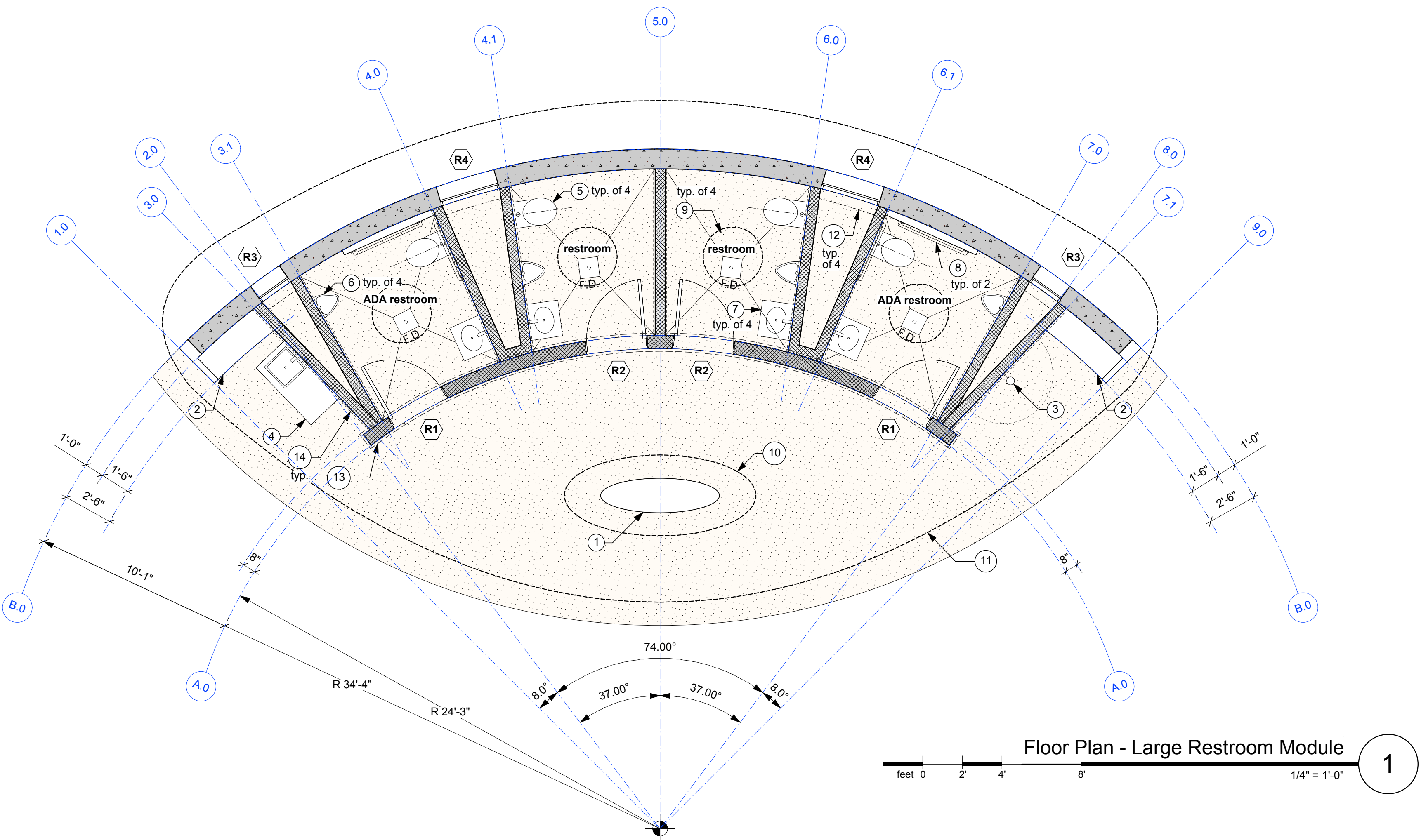
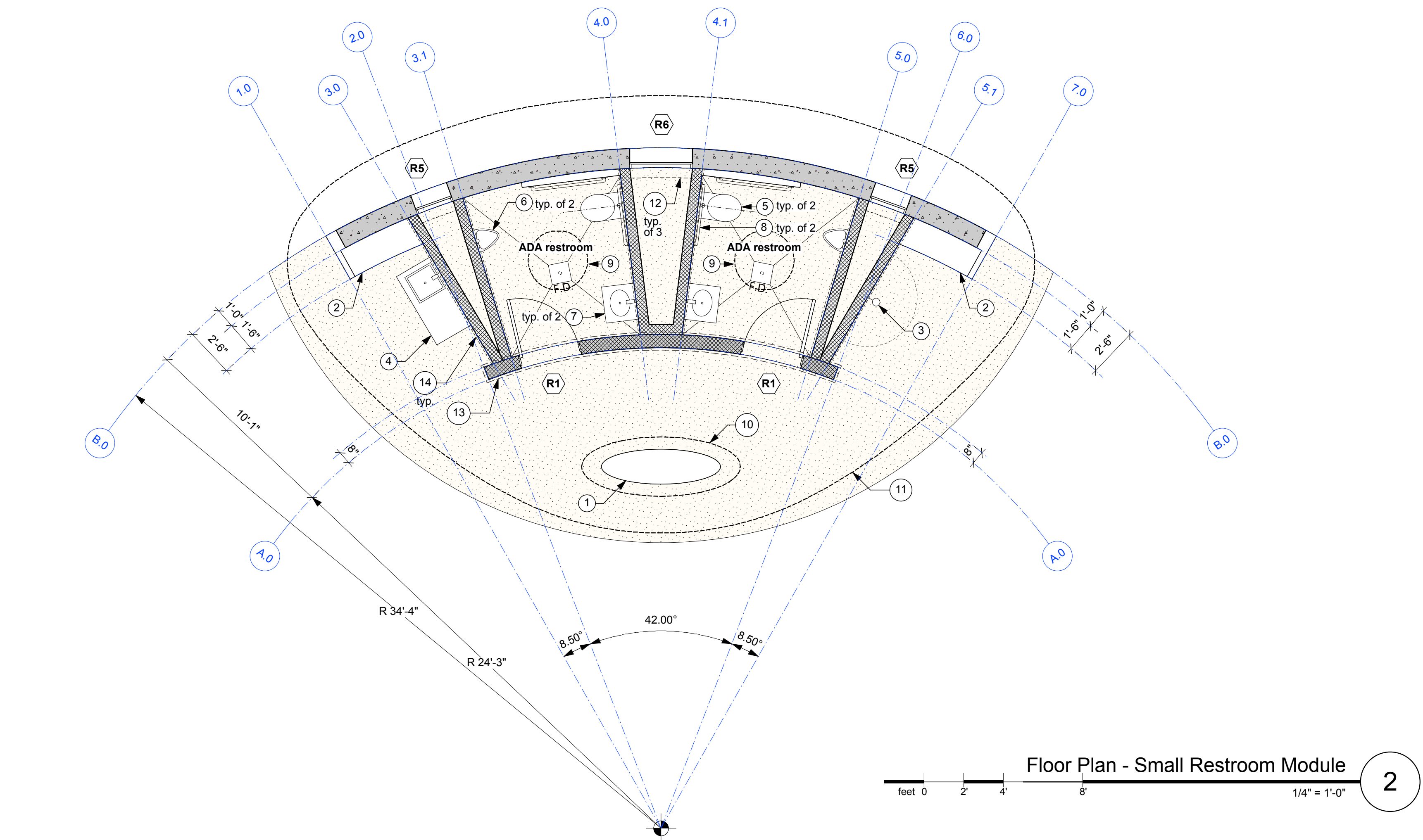
LEGEND: RESTROOM - FLOOR PLAN

- feature below
- feature above
- interior and site concrete slab per STRUCT., see Finish Schedule and Details for treatment / finish floor assembly
- F.D. recessed floor drain with sand trap (see Plumbing), coordinate with structural slab, 1% slope to drain

WALL TYPE LEGEND: RESTROOM - FLOOR PLAN

- board-form concrete wall / feature
- 6" CMU wall
- 8" CMU wall
- low height wall or feature

*Reference sections, details and structural drawings for additional information.



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Restrooms: Roof Plan

Small Restroom - Roof Plan
Large Restroom - Roof Plan

A3.2c

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04.10.19

GENERAL NOTES: ROOF PLAN

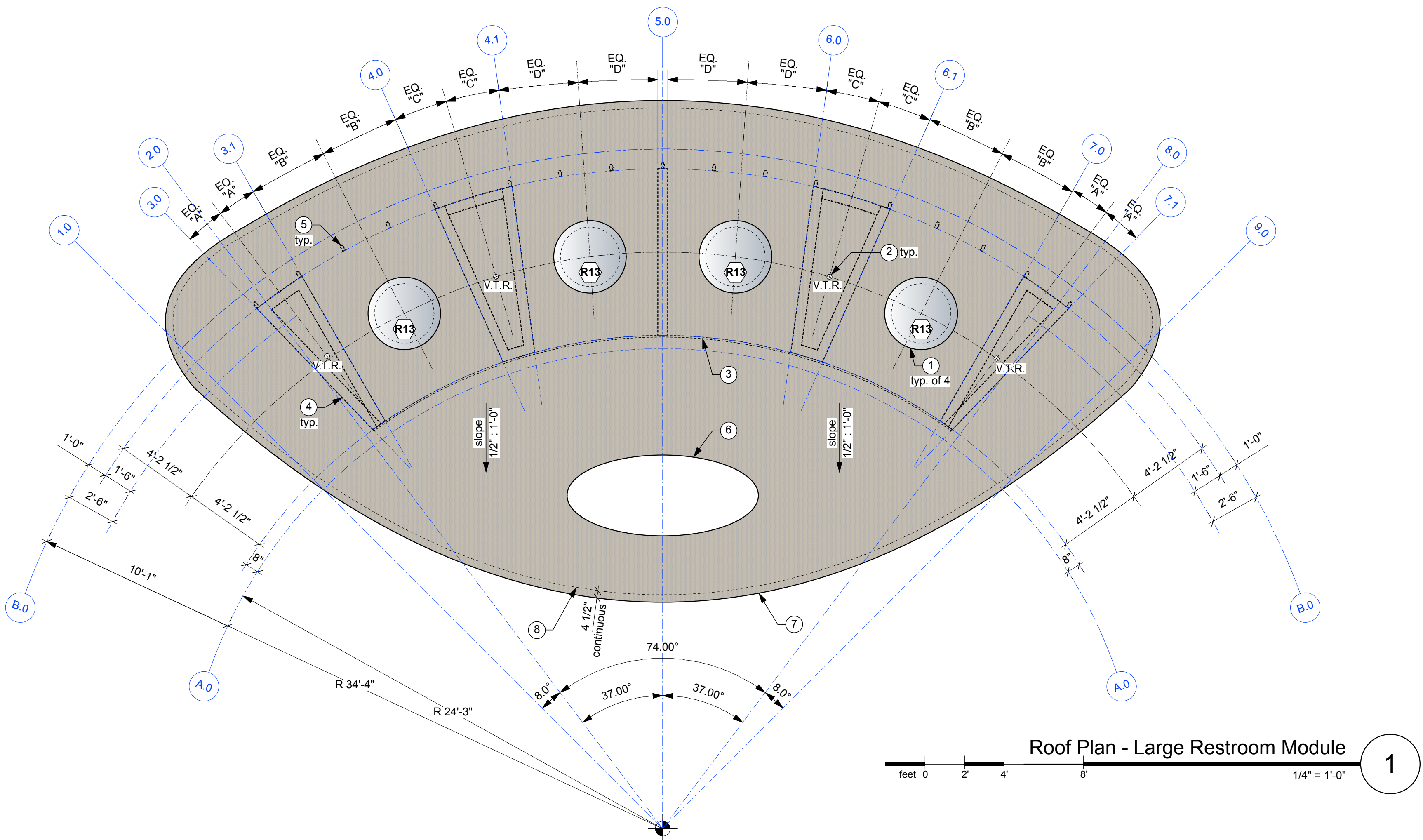
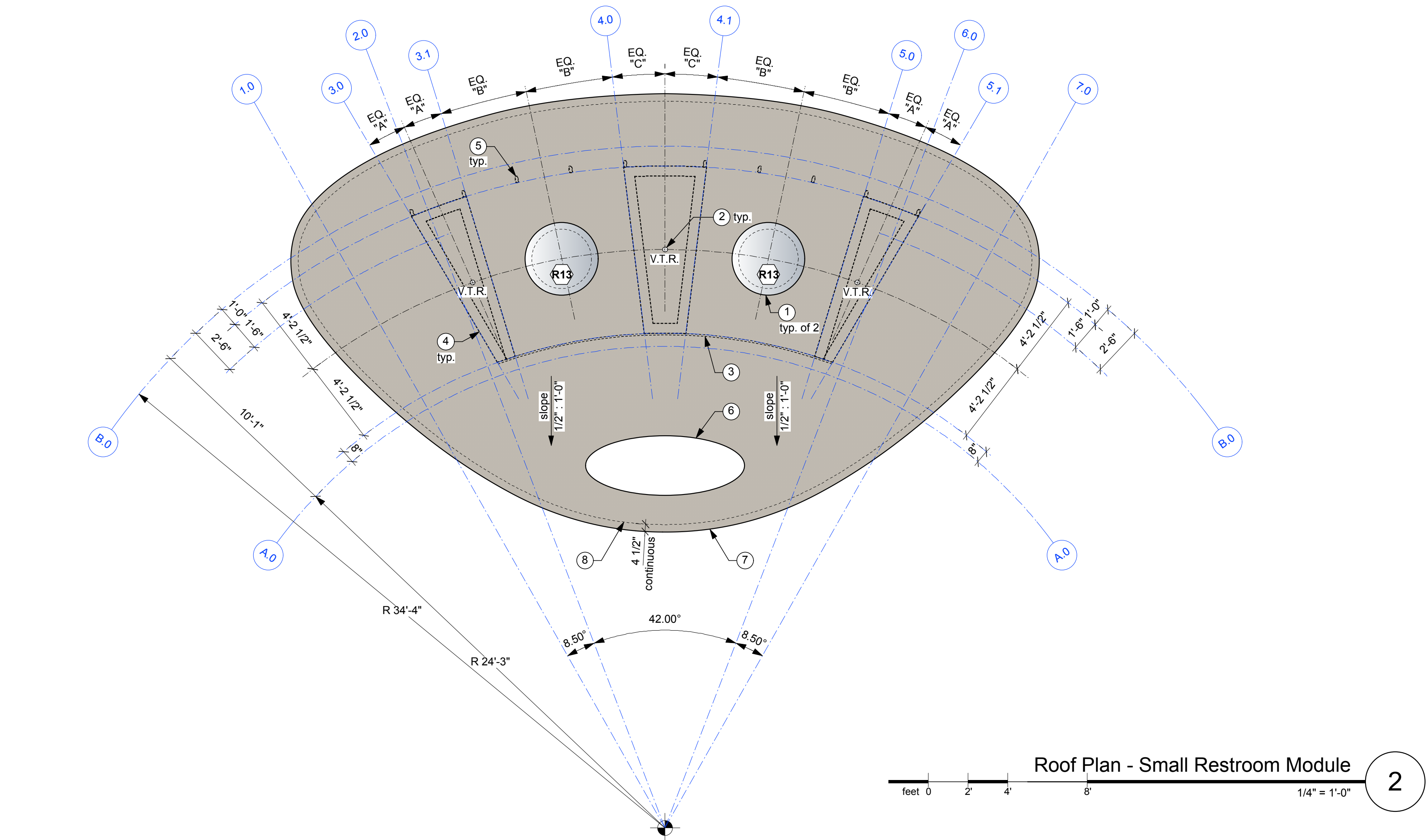
- The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- See A1.0 Site Development Plan for indication of restroom replacement module.
- Refer to Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- Refer to Elevations on A3.3 for exterior finishes.
- Dimensioning:
 - all dimensions are to face concrete or CMU, U.N.O.
 - all T.O. Roof elevations are to top of finish, U.N.O.
 - refer to Sections for Top Plate and Beam heights.
- Roof covering, valleys, and gutters per 2016 CBC Section 705A (Moderate Fire Hazard - Chapter 7A)
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Roof pitch for roof covering per 2016 CBC Chapter 15.
- Provide minimum slope of 1/4" per 1'-0" for all roof crickets.
- F.F. (finish floor) refers to top-of-slab U.N.O.
- Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A & S.B. County Ordinance requirements (Moderate Fire Hazard).
- Paint all roof penetrations to match roof.

KEYNOTES: RESTROOM - ROOF PLAN

- 3' diameter skylight; frameless; "wet glazed" onto curb on roof; see details and schedule
- Plumbing vent through roof; contractor to coordinate combined vent stack; install per current applicable codes
- Continuous polycarbonate panels below, see plans
- CMU wall below, see plans
- Exposed steel structure below, see plans
- Ellipse shaped sky hole in roof, see details
- Roof edge, see detail
- Face of fascia below, inset from roof edge; see details

LEGEND: RESTROOM - ROOF PLAN

- feature below
- liquid applied roof membrane with cast-in gravel continuously applied around roof edge to face of fascia (Class A assembly)
- frameless skylight "wet glazed" onto roof
- vent through roof, see Mechanical and Plumbing



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Restrooms: Ext. Elev.

Perspective Views

A3.3

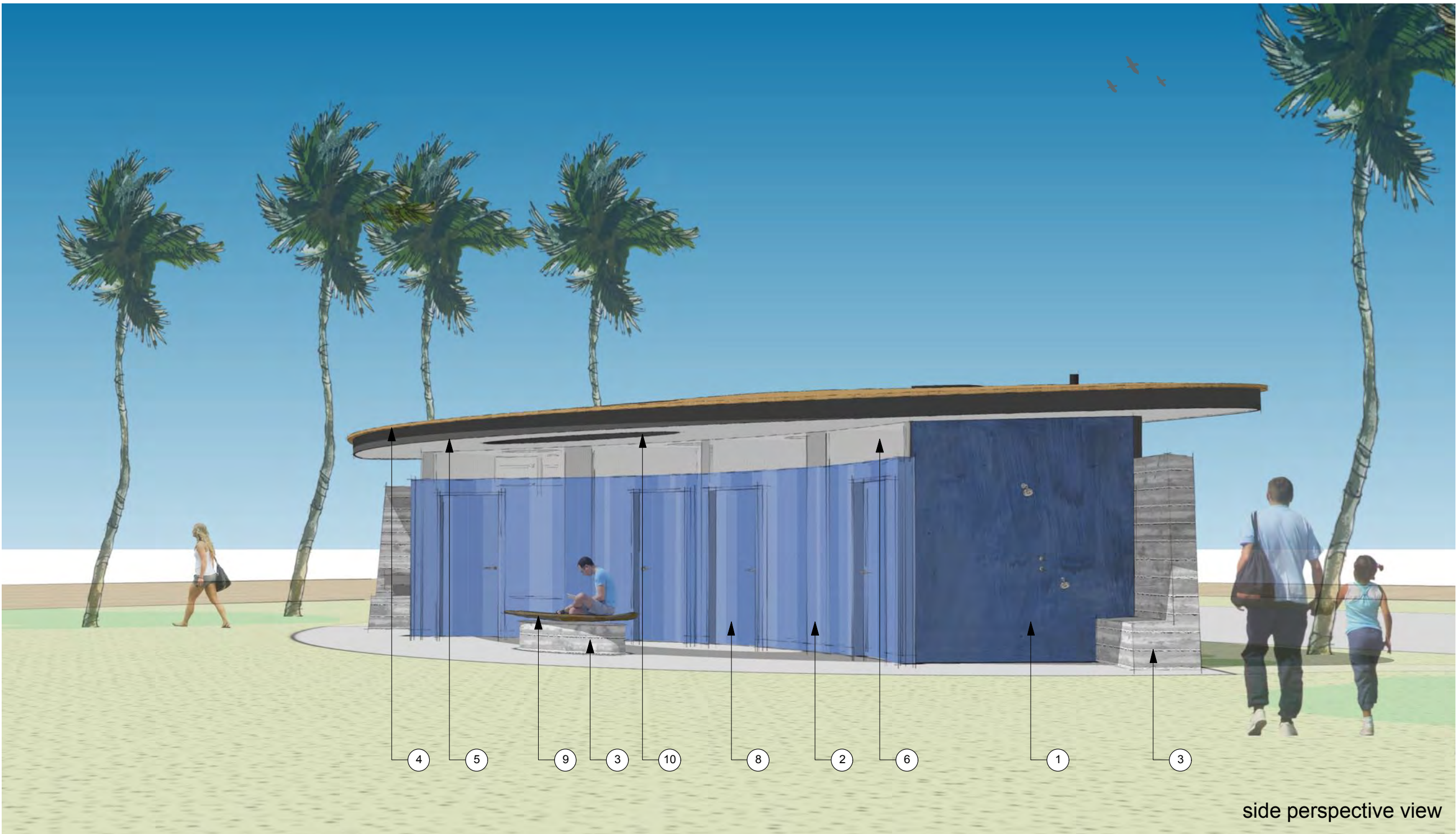
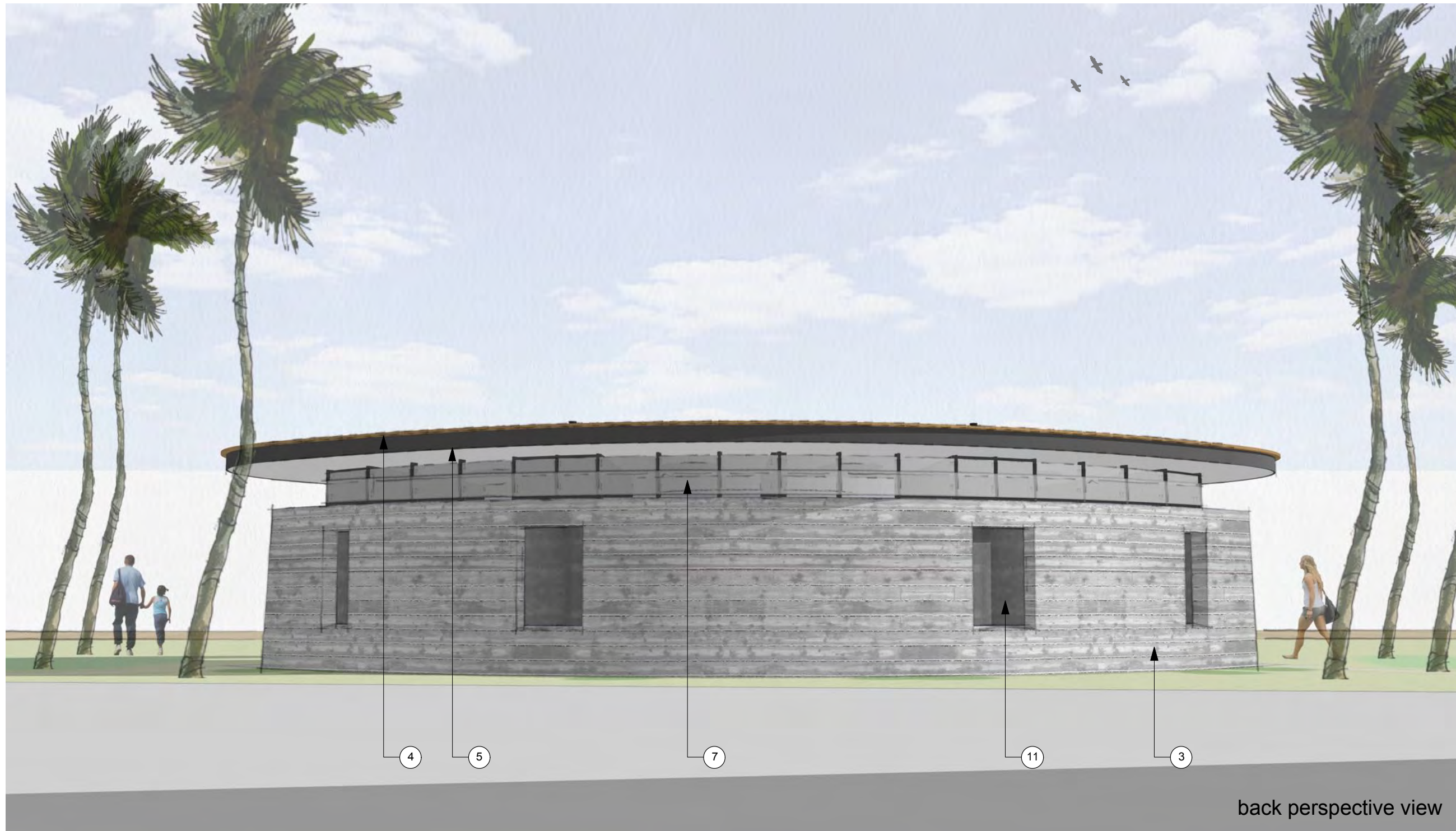
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04.10.19

EXTERIOR FINISH SCHEDULE

- | | |
|---|---|
| ① Elastomeric Plaster Wall
modeled plaster, integral color
color: light navy blue | ⑦ Polycarbonate Panels @ Back
continuous horizontal panels, anchored to steel frame
color: TBD |
| ② Porcelain Tile
commercial-grade, through-body color, 6" to 12" wide
porcelain tiles; butt-jointed; vertical stripes; 3 colors
of varying shades of blue | ⑧ Fiberglass Reinforced Polymer Door & Frame
epoxy painted vertical stripes to match porcelain tile
color: (3) colors, TBD |
| ③ Board-form Concrete
curved wall with 8x boards, sealed
color: light sandy gray | ⑨ Cast-In Surfboard Bench
custom surfboard shaped fiberglass reinforced
polymer bench
color: TBD |
| ④ Roofing
liquid applied roof membrane with cast-in gravel
(Class A ignition resistand),
gravel color: light sandy brown | ⑩ Fascia @ Ellipsed Shape Skyhole
composite board, epoxy coated
color: TBD |
| ⑤ Fascia
composite board, epoxy coated
color: TBD | ⑪ Phenolic Access Panel
epoxy coated, bolted to frame
color: TBD |
| ⑥ Polycarbonate Panels @ Front
continuous translucent panels, tapered with
concealed frames
color: TBD | |

Note:
Perspectives shown are of large restroom
module. Small restroom module is similar,
reference plans.



Jalama Beach County Park

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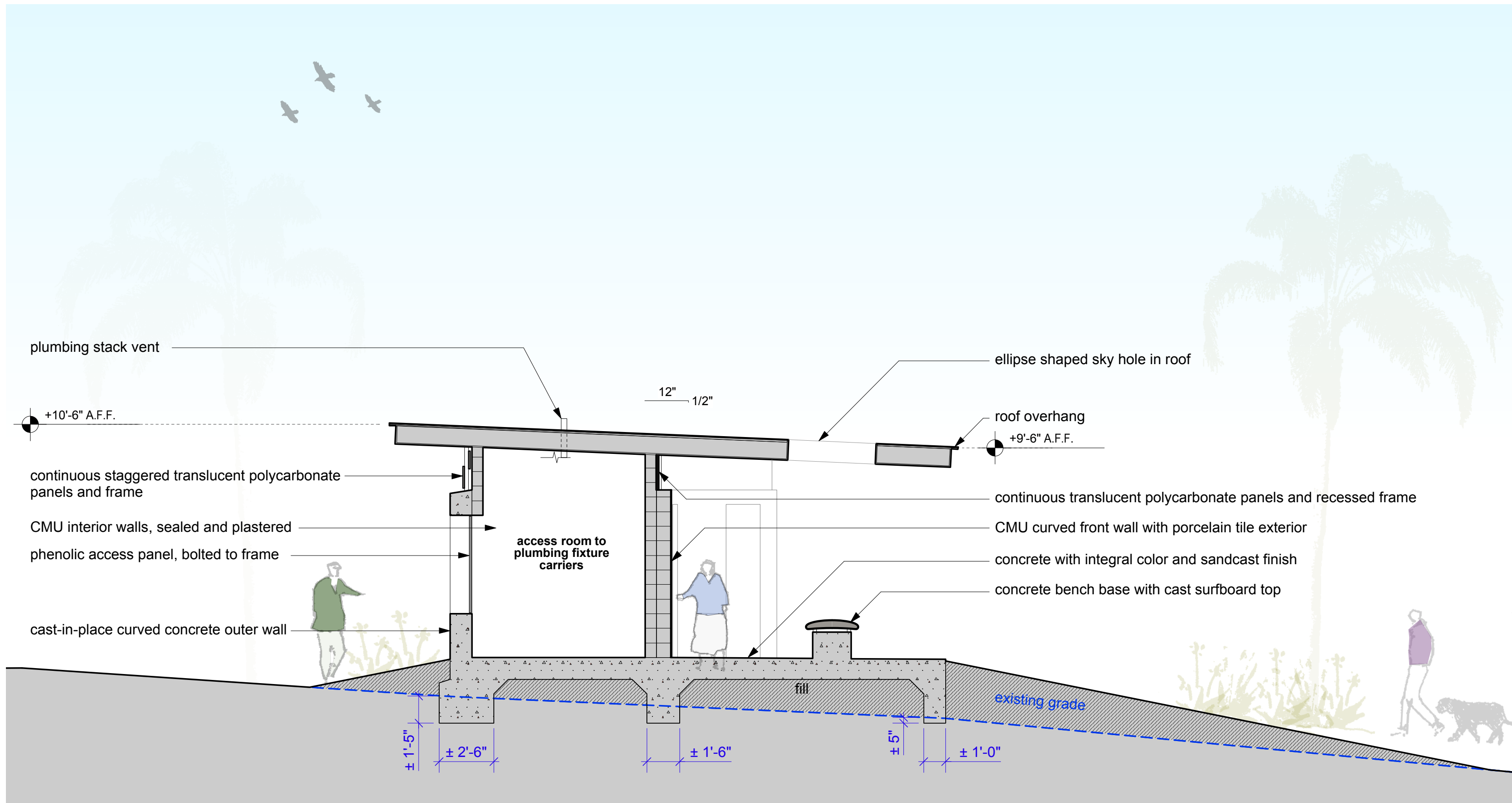
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CONSTRUCTION

Restrooms: Sections

A3.4

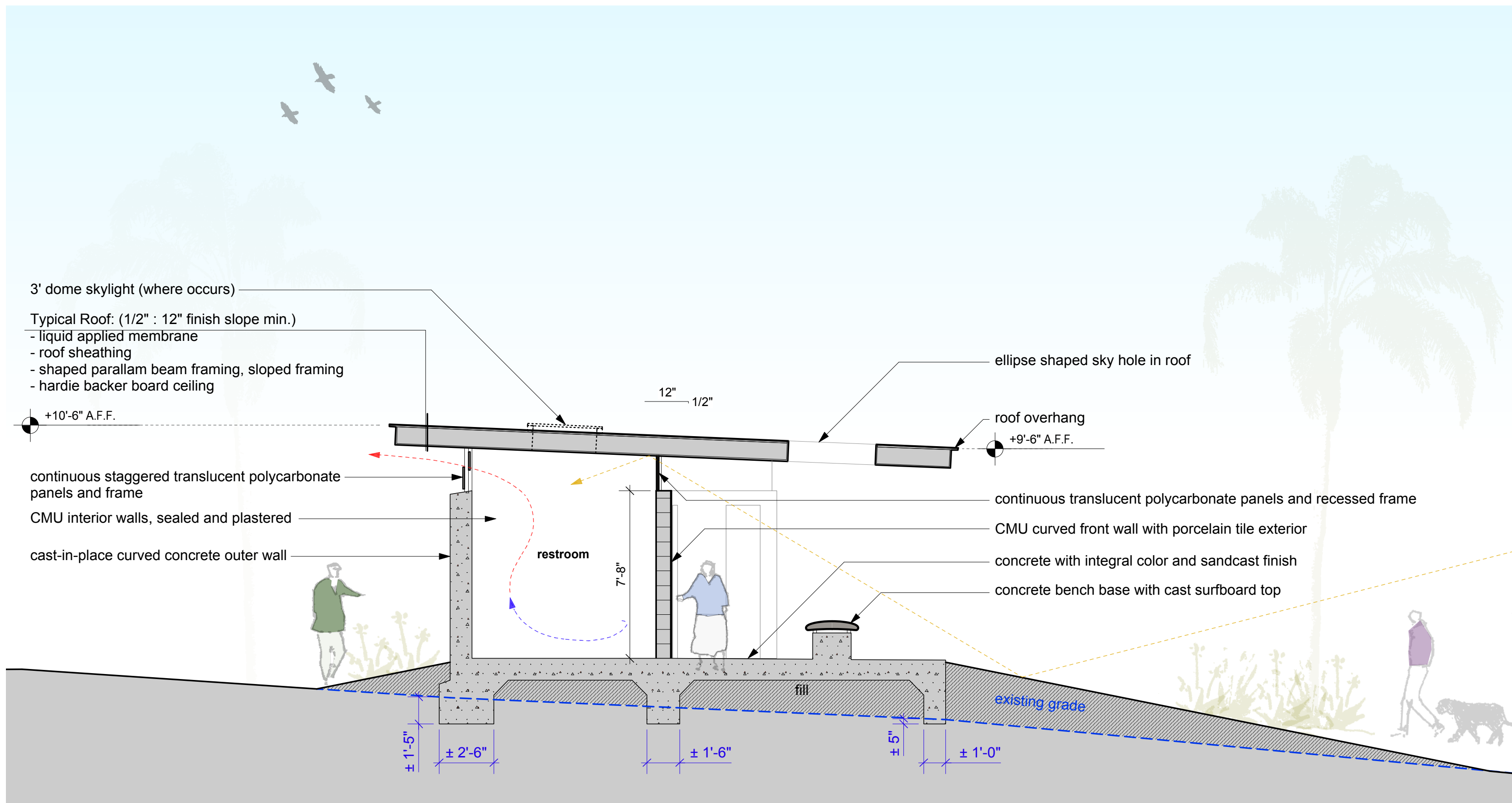
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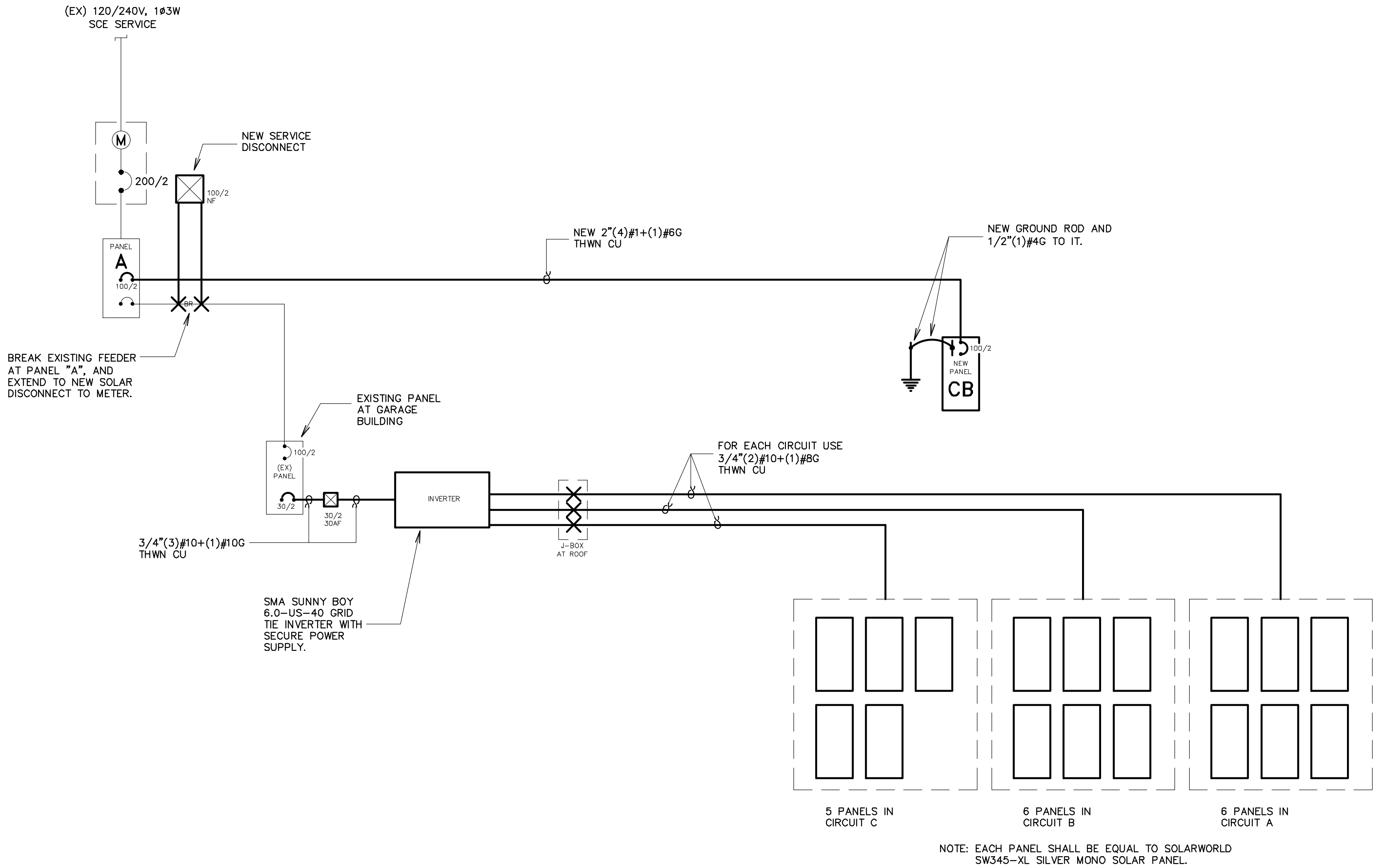
Section - North Restroom "3"

2



Section - North Restroom "3"

1



ONE LINE DIAGRAM



ANE
Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com
Electrical Engineering Lighting Design
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Blackbird Architects Inc.

235 Palm Ave.
Santa Barbara CA
93101 USA
t 805.957.1315
f 805.957.1317
www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Architects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good
Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal
ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

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Lompoc, CA 93436

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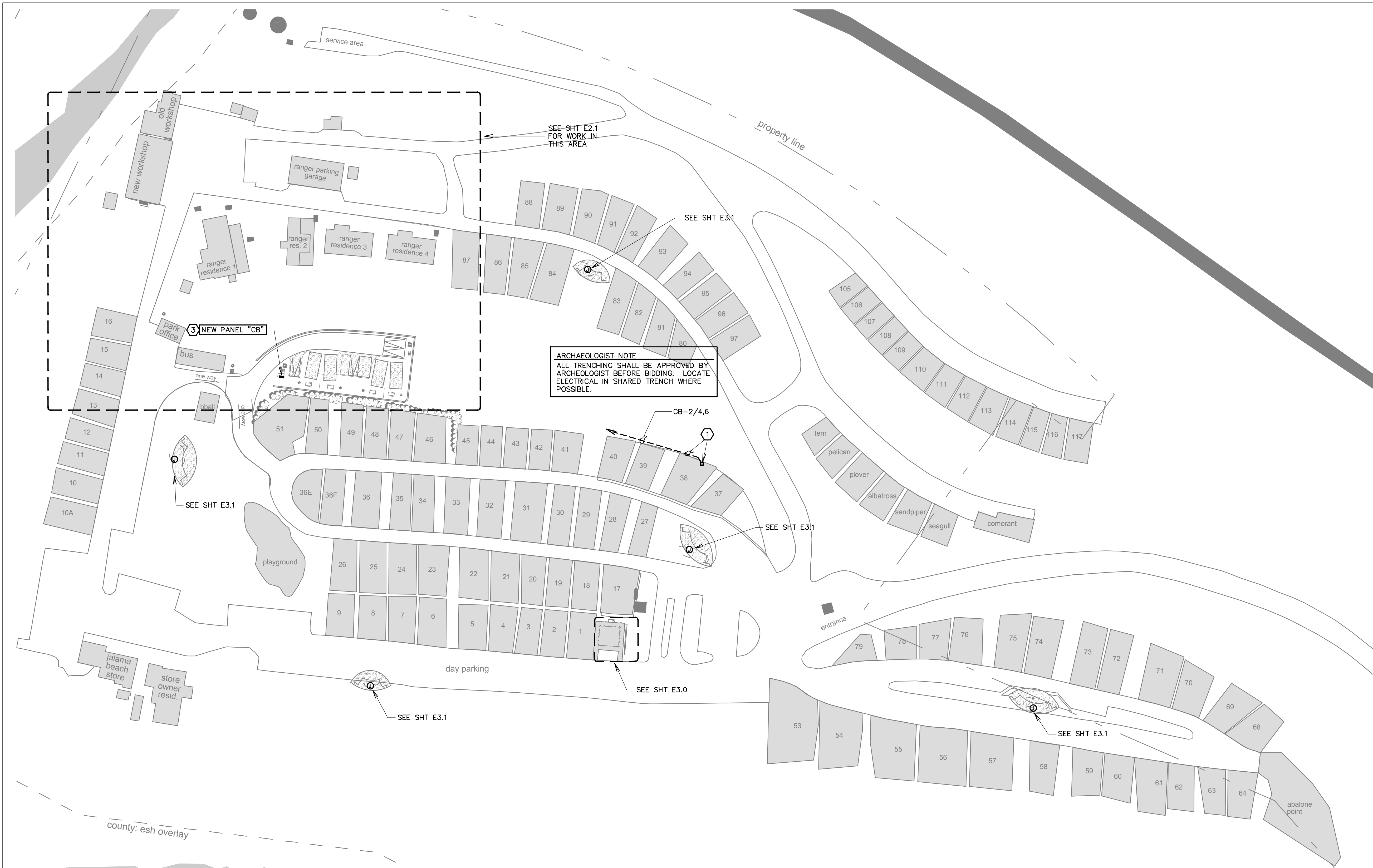
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Electrical

One Line

E1.1

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ELECTRICAL SITE PLAN
SCALE: 1"=50'-0"
SEE SHT E2.1 FOR NOTES LEGEND

Blackbird Architects Inc.

235 Palm Ave.
Santa Barbara CA
93101 USA
t 805.957.1315
f 805.957.1317
www.bbirc.com

architect:
Kenneth G. Radtkey
Blackbird Architects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:
Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
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Tom Hughes, Founder/Principal
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1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:
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MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:
Alan Noelle, Principal
ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
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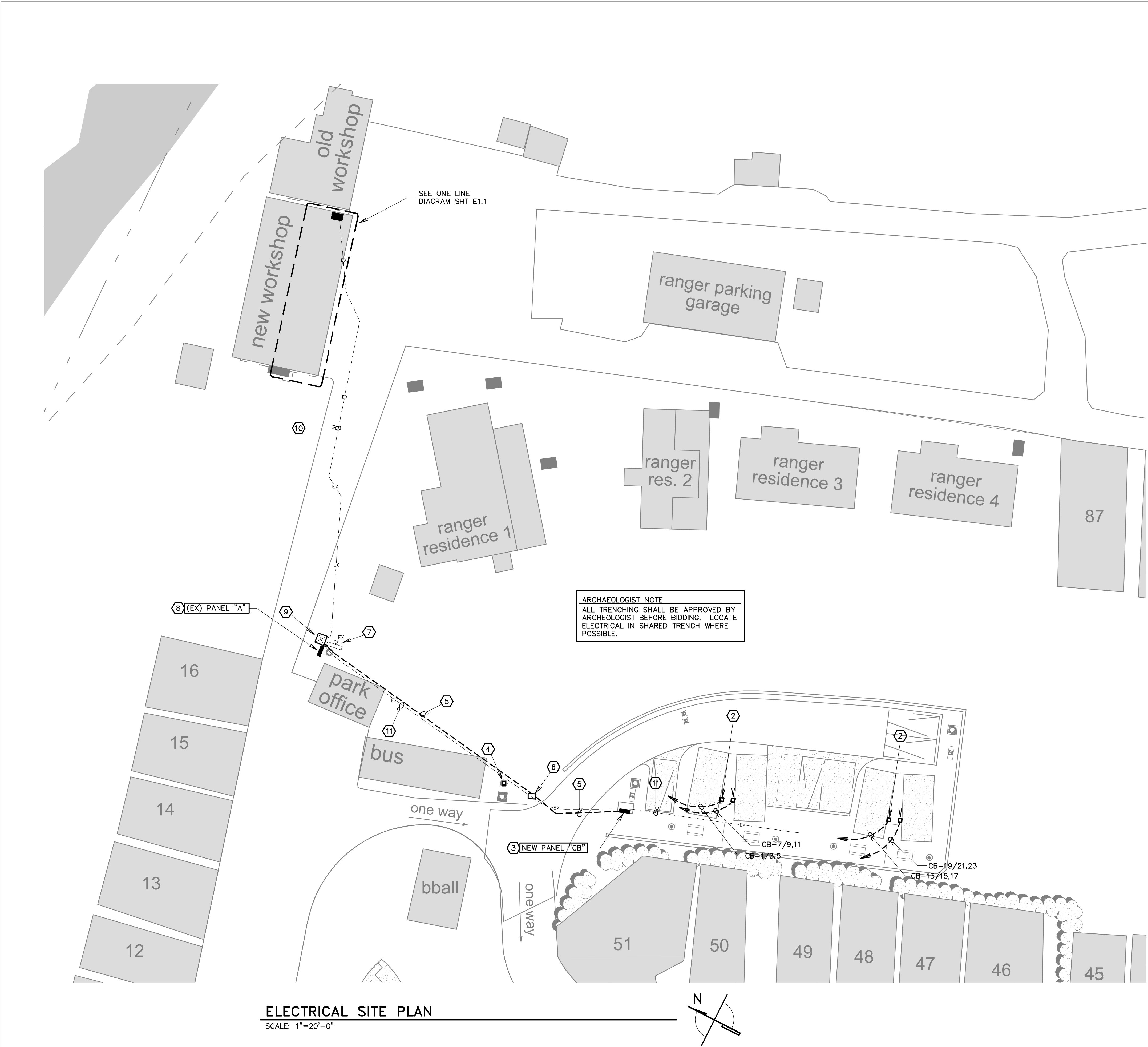
ANE
Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com
Electrical Engineering Lighting Design
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Electrical

Site

E2.0

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ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

NOTES LEGEND

- 1 PROVIDE A NEW RV HOOKUP PEDESTAL, COMPLETE WITH CONCRETE BASE. COORDINATE EXACT LOCATION WITH OWNER. UNIT SHALL BE EQUAL TO SQUARE D, EATON, MURRAY, OR EQUAL. PEDESTAL SHALL HAVE A NEMA 14-30R 30A/2p4w RECEPTACLE AND A NEMA 5-20R TYPE DUPLEX RECEPTACLE AS WELL AS A 30/2 BREAKER AND A 20/1 GFI TYPE BREAKER IN IT IN A STANDARD CONFIGURATION. COORDINATE WITH OWNER IF THEY HAVE A PREFERRED VENDOR. FEEDER SHALL BE 1(5)#8+(1)#10G, BURIED A MINIMUM OF 24" BELOW GRADE.
- 2 PROVIDE AN RV OUTLET, SIMILAR TO NOTE 1, ABOVE. COORDINATE EXACT PLACEMENT WITH OWNER AT EACH LOT. THE FEEDER FOR THESE UNITS SHALL BE 1(5)#10+(1)#10G, BURIED A MINIMUM OF 24" BELOW GRADE.
- 3 MOUNT NEW PANEL IN SHED, AS REQUIRED.
- 4 REPLACE EXISTING rv FEED ON POST WITH NEW RV PEDESTAL. SEE NOTE 1 ABOVE. RECONNECT TO EXISTING FEEDER, AS REQUIRED.
- 5 PROVIDE NEW PANEL CB FEEDER. SEE ONE LINE DIAGRAM, ON SHEET E1.1 FOR SIZING. BURY CONDUIT A MINIMUM OF 24" BELOW GRADE, AND PLACE A METALLIC WARNING TAPE 12" ABOVE CONDUIT. RUN IN PARALLEL WITH EXISTING ELECTRICAL UTILITY LINE, AND USE SAME TRENCH.
- 6 PROVIDE A 12"x24" CONCRETE OR COMPOSITE PULL BOX IN PLANTING. PROVIDE WITH A BOLT-DOWN TRAFFIC RATED LID LABELLED 'ELEC'. PLACE BOX ON A MINIMUM OF 6" OF CRUSHED GRAVEL.
- 7 EXISTING METER MAIN FEEDING EXISTING PANEL 'A'. PROVIDE NEW WARNING LABEL REGARDING SOLAR FEED NEXT TO IT.
- 8 EXISTING NEMA 3R PANEL A. USE EXISTING SPACE TO PLACE A NEW 100A/2P BREAKER TO FEED PANEL CB. UPDATE PANEL DIRECTORY ACCORDINGLY. SEE ONE LINE DIAGRAM. INTERCEPT EXISTING PANEL FEEDER FROM GARAGE PANEL AT THIS LOCATION, AND EXTEND NEW SCE REQUIRED SOLAR DISCONNECT.
- 9 MOUNT A NEW, NON-FUSED, DISCONNECT NEXT TO METER/MAIN AND PROVIDE WITH PROPER SOLAR DISCONNECT LABEL, AS WELL AS REQUIRED WARNING LABELS.
- 10 EXISTING GARAGE FEEDER TO TIE INTO SOLAR. SOLAR POWER SYSTEM, AND INVERTERS ARE TO BE MOUNTED ON THE GARAGE ROOF AND SIDE OF BUILDING, AS REQUIRED.
- 11 EXISTING ELECTRICAL UTILITY LINE, PER PC LOCATOR SURVEY.

ARCHAEOLOGIST NOTE
ALL TRENCHING SHALL BE APPROVED BY ARCHEOLOGIST BEFORE BIDDING. LOCATE ELECTRICAL IN SHARED TRENCH WHERE POSSIBLE.

Blackbird Architects Inc.

235 Palm Ave.
Santa Barbara CA
93101 USA

t 805.957.1315
f 805.957.1317
www.bbbird.com

architect:

Kenneth G. Radtkey
Blackbird Architects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good
Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal
ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

9999 Jalama Road
Lompoc, CA 93436

APN

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ANE
Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com

Electrical Engineering Lighting Design
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Electrical

Site

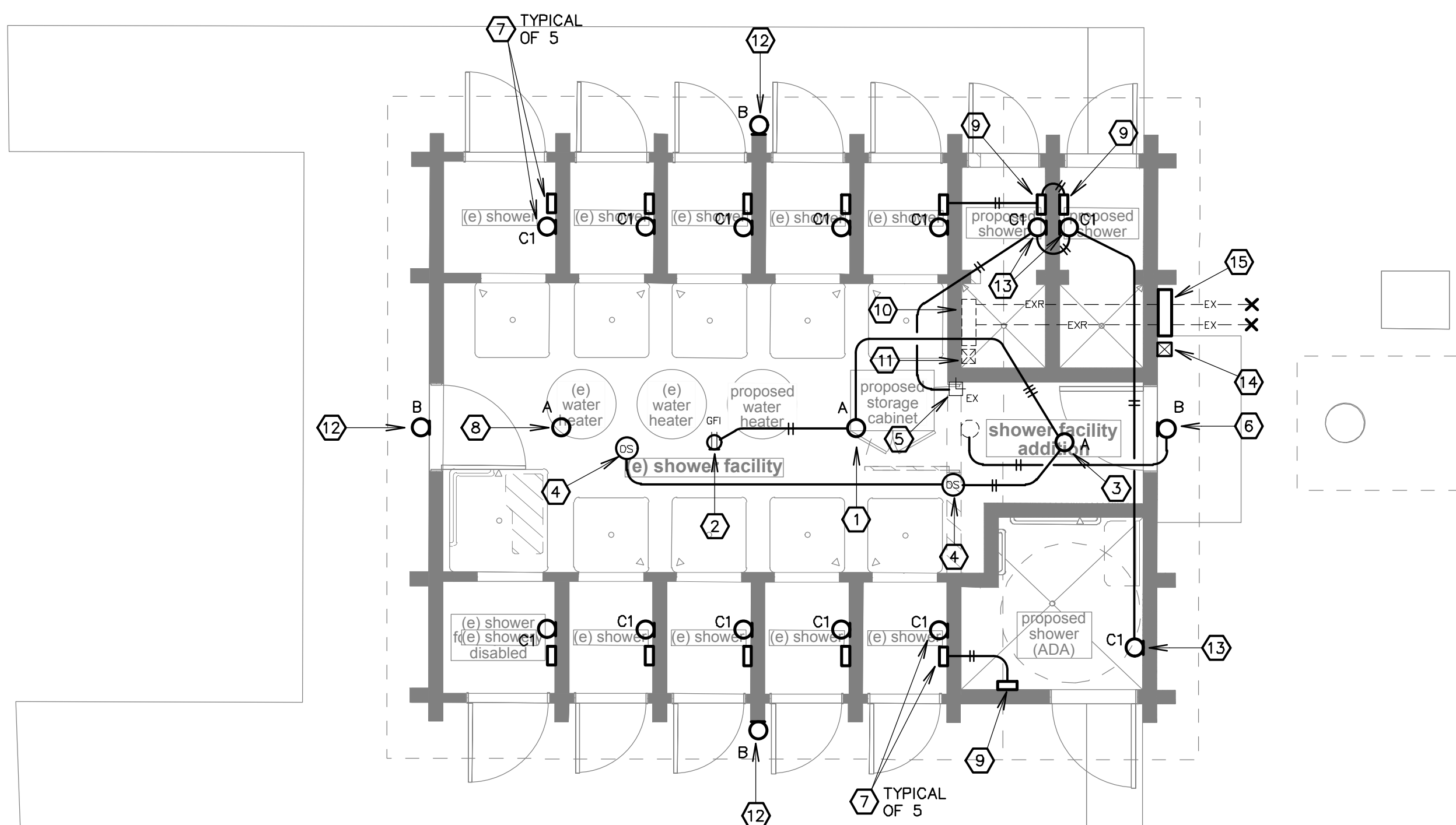
E2.1

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4.3.19

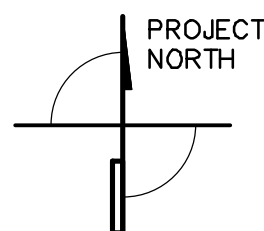
- ① EXISTING WORK LIGHT LOCATION IN EXISTING SHOWER BUILDING. INTERCEPT LIGHTING CIRCUIT HERE TO EXTEND (SEE NOTE 3), AND REPLACE EXISTING FIXTURE WITH NEW LED FIXTURE, AS SHOWN.
- ② INTERCEPT EXISTING HOT CIRCUIT AT LIGHT, AND EXTEND DOWN TO NEW GFI DUPLEX FOR WATER HEATER CIRC PUMP. COORDINATE WITH MECHANICAL.
- ③ NEW WORK SPACE LIGHT TO BE TIED INTO EXISTING CIRCUIT. SEE NOTE 1, ABOVE.
- ④ PROVIDE A NEW, DUAL TECH OCCUPANCY SENSOR, WITH CAT5E CABLE CONNECTIONS BETWEEN UNITS, AND TIE INTO WORK SPACE LIGHTING. UNITS SHALL BE EQUAL TO SENSOR SWITCH DUAL TECH.
- ⑤ RELOCATE AND RECONNECT EXISTING SHOWER LIGHTING AND CONTROLS TIME CLOCK SYSTEM, AS REQUIRED.
- ⑥ RELOCATE EXISTING EXTERIOR LIGHTING CIRCUIT TO OVER NEW EXTERIOR DOOR AND RECONNECT TO NEW LIGHT OVER DOOR, AS REQUIRED.
- ⑦ FOR EACH OF THE EXISTING SHOWERS, REPLACE EXISTING LIGHT WITH NEW LED LIGHT (INCLUDING INTEGRAL PHOTOCELL). RUN LIGHT THROUGH EXISTING TIME CLOCK CIRCUIT. IN ADDITION, RECONNECT REPLACEMENT COIN OPERATION MACHINE IN EACH UNIT, AS REQUIRED.
- ⑧ EXISTING WORK SPACE LIGHT. REPLACE WITH NEW LED LIGHT AND RECONNECT TO EXISTING CIRCUIT.
- ⑨ PROVIDE ALL CONNECTIONS FOR NEW COIN OPERATION MACHINE, AS REQUIRED. PULL POWER FROM EXISTING COIN MACHINE CIRCUIT.
- ⑩ EXISTING PUMP STATION SHUT OFF AND CONTROLLER. COORDINATE WITH OWNER AND RELOCATE AS SHOWN, AND RECONNECT TO EXISTING FEEDERS.
- ⑪ EXISTING BUILDING POWER DISCONNECT. RELOCATE TO THE NEW EXTERIOR OF THE BUILDING, AS SHOWN.
- ⑫ REPLACE EXISTING EXTERIOR LIGHT WITH NEW LED LIGHT. RECONNECT INTO EXISTING PHOTOCELL CONTROLLED LIGHTING CIRCUIT.
- ⑬ PROVIDE A NEW WALL MOUNTED LIGHT, WITH INTEGRAL PHOTOCELL. NEW UNITS SHALL MATCH EXISTING. RUN THROUGH THE EXISTING TIME CLOCK CONTROL LIKE THE EXISTING. SAME CIRCUIT MAY BE REUSED.
- ⑭ NEW LOCATION FOR BUILDING FUSED DISCONNECT. PROVIDE APPROPRIATE LABEL.
- ⑮ NEW LOCATION FOR EXISTING PUMP CONTROLLER. NOTE THAT ALL CONDUITS FOR THIS UNIT COME FROM UNDERGROUND IN THE SAME DIRECTION, SO THEY JUST NEED TO BE INTERCEPTED BELOW GRADE, AND BROUGHT UP TO PANEL IN NEW LOCATION. WIRING WILL NEED TO BE REMOVED AND REPULLED, AS REQUIRED. NOTE THAT THESE CONDUITS HAVE SEAL-OFFS IN THEM, THAT MUST BE DUPLICATED IN THE NEW LOCATION.



(e) lift station

(e) propane tank

SCALE: 1/4"=1'-0"

PROJECT
NORTH

ANE

Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101

phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com

Electrical Engineering Lighting Design

B1702E30.dwg

10.18.18

Blackbird Architects Inc.

235 Palm Ave.
Santa Barbara CA
93101 USA

t 805.957.1315
f 805.957.1317

www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Architects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
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San Luis Obispo, CA 93401
t 805.540.5115

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Taylor & Syfan
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San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal
ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

Jalama Beach County Park

9999 Jalama Road
Lompoc, CA 93436

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ANE
Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com
Electrical Engineering Lighting Design
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Electrical

Restroom Plans

E3.1

P&D Resubmittal 4.3.19

SHEET NOTES LEGEND

- 1 INTERCEPT EXISTING CIRCUIT ENTERING BATHROOM BUILDING, AND EXTEND TO NEW BUILDING DISCONNECT, AS REQUIRED.
- 2 PROVIDE A WALL MOUNTED, DUAL-TECHNOLOGY OCCUPANCY SENSOR, EQUAL TO SENSOR SWITCH. UNIT SHALL BE PROGRAMMED FOR MANUAL ON AND AUTOMATIC OFF, UNLESS THE OWNER WOULD LIKE AUTOMATIC ON AND AUTOMATIC OFF.
- 3 MOUNT NEW DOWNLIGHT IN SOFFIT. COORDINATE EXACT LOCATION WITH ROOF FRAMING. TIE INTO NEW PHOTOCELL CIRCUIT.
- 4 NEW BUILDING DISCONNECT, AS REQUIRED. IF BUILDING IS FED WITH A SINGLE CIRCUIT (AS THESE PLANS ASSUME), A STANDARD 20A SNAP SWITCH MAY BE USED. PROVIDE PROPER LABEL.
- 5 PROVIDE A NEW PHOTOCELL HIGH ON WALL, EQUAL TO TORK #2101 SERIES. AIM TO AVOID FALSE TRIGGERING AND CONNECT TO NEW EXTERIOR LIGHTS.
- 6 PROVIDE A NEW GFI TYPE DUPLEX MAINTENANCE OUTLET. PROVIDE WITH LOCKABLE HEAVY-DUTY COVER.

SMALL RESTROOM ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

LARGE RESTROOM ELECTRICAL PLAN
SCALE: 1/4"=1'-0"