Jalama Beach County Park

Planning and Development Resubmittal

Scope of Work

The project consists of grading and utility development at two locations, demolition of five (5) existing restrooms, replacement construction of three (3) "larger type" restroom facilites and two (2) "smaller type" restroom facilities, a three-shower addition to the existing shower facility, a solar thermal flat plate collection system at the existing shower facility, and a photovoltaic panel system at the existing workshop facility.

9999 Jalama Road; Lompoc, CA 93436

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" & "Ground Disturbing Activities within Archaeologically Sensitive Zone" sections).

Vicinity Map

see site plan for proposed improvements -





Project Description

The County of Santa Barbara proposes to develop four (4) new prefabricated recreational vehicle like (RV) cabin structures and associated support facilities within the existing Jalama Beach County

The four new RV-like cabins would be located in an area that is currently the Starfish Cove Group Camp Area (approx. 10,500 sq. ft.), located at the northernmost portion of the County Park adjacent to an existing basketball court and camp tent sites no.'s 45 to 51. Construction in this area would consist of a new 20-foot wide two-way access drive; a 4-foot high reinforced allan block retaining wall and 4-foot high concrete masonry unit (CMU) retaining wall; site cut; placement of compacted fill and pavement; new 4' x 6' site utility shed and 8' in height; new 1,500 gallon septic tank; new utility lines for site electricity, water and sewer drainage; installation of (4) modular RV cabin building pads with an electrical pedestal, water and sewer connections to each cabin. Each cabin would be 12' x 26' in size and 14' in height, and would have an outdoor barbeque and picnic table. Fabrication of the RV cabins would occur offsite and would require trucking to the site, placement on the modular building pads, and electric, water and sewer utility connections

Four tent sites (no.'s 37 to 40) located southwest of the RV cabins and near the park entry and ranger kiosk would be converted into the new Star Fish Cove Group Camp Area (approx. 7,000 sq. ft.), resulting in an overall reduction of four existing tent sites within the County Park. Construction of the relocated Starfish Cove Group Camp Area would require placement of small amounts of compacted fill and new/relocated utility lines for electric, water and sewer drainage.

Five (5) existing restroom facilities would be demolished and replaced throughout the County Park with three "larger type" restroom facilities (383 sq. ft. and 13 ft. in height) and two "smaller type" restroom facilities (221 sq. ft. and 13 ft. in height). The replaced restroom facilities would be constructed onsite, and would require concrete and block work, utility connections, erection of structural systems, and final finishes. The north restroom facility ("replaced restroom #3") would be constructed on top of 15 inches of imported fill to avoid impacts to archaeological resources. Any new utility lines in each restroom project area would be located within the same footprint of the existing utility lines, with no additional trenching required. Some restrooms will require minor grading / repaving

Additionally, three new showers would be added onto the eastern end of the existing shower structure. The shower addition (140 sq. ft.) will inhabit the western area of existing camp site 17, which is currently an abandoned campsite unavailable for reservations.

No changes to the existing septic system are required to accommodate the upgraded and/or replaced restroom or shower facilities.

In order to achieve the California New Zero Energy policy for the proposed construction, a (17)-panel photovoltaic system and (6)-panel solar thermal flat plate collection system would be provided. The PV system is proposed to be installed on the rooftop of the existing Workshop Building (located at the northeast side of the County Park). and is to connect into the existing electric grid of the park. Any new utility lines are to be co-located within existing utility trenches to avoid disturbing the archaeologically sensistive area. The solar thermal system is proposed to be installed on the rooftop of the existing/addition Shower Facility, and is intended to reduce the amount of propane gas used for providing hot water to the showers. Structural review & upgrade (if necessary) of existing roof structures would also be provided for the installation of both systems.

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" & "Ground Disturbing Activities within Archaeologically Sensitive Zone" sections).

Ground Disturbing Activities within Archaeologically **Sensitive Zone**

Cabin Area - Site Walls

Site walls in this area consist of a new 4-foot high site-cut concrete masonry unit (CMU) retaining wall along the northern and eastern perimeter, and a new 4-foot high site-fill reinforced allan block retaining wall along the southern and western perimeter. The proposed CMU retaining walls will key \pm 7'-6" into existing grade at a width of \pm 5'-6", and the proposed allen block retaining walls will key ± 1'-2" into existing grade at a width of ± 2'-0". See site sections on A1.1 & A1.1a.

Cabin Area - Septic Tank

A new centrally-positioned 1,500 gallon concrete septic tank will be provided and located underneath the 12' wide parking turnout. This proposed location on the site allows for gravity-driven drainage from each RV-cabin, site sink and site hose bib drain without the need of a macerator pump. The size of the tank is per coordination with Water Resources Control Board, and it's location and depth of disturbance (± 5'-6") below existing grade has been approved per coordination with

The general rule of thumb is to:

A) Co-locate all new utility lines (electrical, water, sewer) serving the cábin area within existing utility trenches - as identified by Pacific Coast Locators, Inc., and indicated on the Civil drawings - and provide a 9" minimum clearance from any existing utility line within any trench, and/or

B) provide any new utility line within areas of proposed site fill.

In addition, it is highly recommended that any new water lines not be colocated within any utility trench that serves electrical or sewer lines. For these instances, a new trench is recommended with a 6'-0" minimum horizontal clearance and 6" below any other utility line.

The exceptions to the rules above will require new trenches (approx. 2' wide x 3' deep, per detail B/C-1.1) to be excavated. These instances are

1. Portion of new waste line (± 30' in length) connecting the new septic tank to the existing waste line clean out located to the southwest of the

2. Portion of new water line (± 10' in length) to relocate existing hose bib

Contractor to review field conditions against utility survey provided by Pacific Coast Locators, Inc. and confirm locations of existing utility lines prior to commencement of construction.

Detailed utility marking of existing lines are to be marked prior to construction, and all trenches will be reopened/re-excavated by hand. Backdirt is to be piled on tarps adjacent to the trench (or elsewhere, but still on tarps) and replaced after new co-located utility line is installed. If excess native sediments are generated, then this material shall be used as the site fill component for the RV cabin area.

Replaced North Restroom #3

The new slab is to be constructed over 15" of imported fill to avoid impacts to archaeologically sensitive area. Along the northern edge, the slab edge is to key into existing grade by \pm 1'-5" at a width of \pm 2'-6"; and along the southern edge, the slab edge is to key into existing grade by \pm 5" at a width of \pm 1'-0". See sections on A3.4.

The site is archaeologically sensitive and will require monitoring (see "Archaeological Monitoring" section).

Reference Civil Drawings and Civil General Notes for additional information regarding excavation and recompaction.

Sheet Index

A0.0 Cover Sheet: Project Information, Sheet Index, Vicinity Map, Plot Pl **General Notes** A0.2 A0.3 Existing Facility Plan A0.4 Site Photos: Existing Facilities A0.5 Site Photos: Proposed Areas of Work A0.6 Site Photos: Proposed Areas of Work

civil C1.1 Preliminary Grading, Drainage and Utility Plan C1.2 Preliminary Grading, Drainage and Utility Plan C2.1 Preliminary Erosion Control Plan C2.2 Preliminary Erosion Control Plan

architectural Site Development Plan Enlarged Site Plan: Proposed RV Cabin Pad Development Area A1.1a Enlarged Site Plan: Proposed RV Cabin Pad Site Sections Enlarged Site Plan: Proposed Relocated Group Camp Site & A1.2 Solar Photovoltaic Panel System Development Areas

Restroom: Roof Plan (Small & Large Module)

Shower Facility Addition: Existing Photos A2.2a Shower Facility Addition: Floor Plans Shower Facility Addition: Roof Plans A2.2b Shower Facility Addition: Exterior Elevations A2.3 Shower Facility Addition: Building Sections A2.4 A2.7 Shower Facility Addition: Schedules

A3.2 Restroom: Slab Plan (Small & Large Module) A3.2a Restroom: Floor Plan (Small & Large Module) A3.2b Restroom: Clerestory Plan (Small & Large Module)

A3.3 Restroom: Exterior Elevations A3.4 **Restroom: Building Sections** Restroom: Door and Window Schedules & Types

structural S1.0 **General Notes** Specifications

Restrooms: Foundation Plan Restrooms: Roof Framing Plan

Shower: Foundation & Framing Plan Structural Details S6.0 Structural Details S7.0 Structural Details S8.0 Structural Details

plumbing P1.1 Abbreviations, Symbols and Schedules P2.1 Shower: Plumbing demolition and floor plan P2.2 Shower: Plumbing solar thermal diagrams & details

Restroom: Plumbing Floor Plan

Title 24 - Interior Lighting

electrical E1.0

P2.3

A3.2c

Symbols, Specs, Schedules Electrical One Line Diagram E2.0 Electrical Site Plan E2.1 Electrical Site Plan: Cabin & PV Area E3.0 **Electrical Shower Plan** E3.1 Electrical Restroom Plans E4.0 Title 24 - Interior Lighting

28 sheets

Grading Quantities

Approximate cubic yards per CIVIL drawings RV Cabin Pad Area Excavation 850 cy 370 cy Import Removal & Recompaction **Relocated Group Campsite Area** Excavation Import Removal & Recompaction **Aggregate Restroom Areas** Excavation Import Removal & Recompaction *Contractor to provide 15" of compacted fill material on

top of the work area for the North Restroom Building #3.

Project Information

	Owner			Count	y of Sai	nta Bar	bara	
N	Project Address				Jalama			
lan	-	Lompoc, California 93436						
	Assessor's Parcel Num	nber		083-5	10-001			
	Zone	Recreation District (REC)						
	Occupancy Type			N/A				
	Parcel Size	23.57 Acres						
	Assessor's Parcel Num	083-5	10-064					
	Zone	Agricultural Preserve (AG-II)						
	Occupancy Type	N/A						
	Parcel Size			14.61	Acres			
	Slope of Property			_				
	Setbacks		front yard	N/A				
			side yard					
			rear yard					
	Number of Residential	Units	,	0				
	Stories			1				
	Parking		required	0				
			proposed	0				
	Demolition Area of Wor	ala			~*~~~			
	Demolition Area of vvoi	K	facility		gross			
		(3) small	restrooms		450	sq. ft.	(150 s	q. ft. ea
		` '	restrooms		550	sq. ft.	(275 s	q. ft. ea
					1,000	sq. ft.	total	
	Proposed Area		<u>facility</u>					
			restrooms			•	•	q. ft. ea
		` '	restrooms				(383 s	q. ft. ea
		snow	er addition			sq. ft.	total	
					1,701	J4. 1t.	Cotai	

Code Compliance

All construction shall comply with the latest edition of the State of California Building Code which adopts by reference portions of the Uniform Building Code and all other applicable codes, ordinances, statues, and regulations including, but not limited to, the follow:

new RV cabin pad area

relocated group camping area

7,000 sq. ft.

2016 California Building Code (CBC) 2016 California Mechanical Code 2016 California Plumbing Code 2016 California Electrical Code 2016 California Fire Protection Code 2016 California Green Building Standards Code 2016 California Energy Code (CEnC) Santa Barbara County Code Amendments Santa Barbara County Ordinances

Moderate Fire Hazard Zone

Exterior building materials, systems and/or assemblies shall meet 2016 CBC Chapter 7A, and Santa Barbara County Ordinance requirements (Moderate Fire Hazard Zone).

Archaeological Monitoring

Per Planning and Development (P&D) mitigation measures:

CULRES-1: All trenching and grading activity shall be monitored by a P&D qualified archaeologist and Native American Tribal Representative approved by the Santa Ynez Band of Mission Indian Elders Council. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a P&D qualified archaeologist and Native American representative evaluate the significance of the find pursuant to Phase 2 investigations of the County Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with County Archaeological Guidelines and funded by the

Plan Requirements/Timing: Prior to issuance of land use clearances for the proposed project, a contract or Letter of Commitment between the applicant and the archaeologist, consisting of a project description and scope of work, shall be prepared. The contract must be executed and submitted to P&D for review and approval.

CULRES-2: If human bone or bone likely to be human is encountered during the project, work in the discovery vicinity must halt immediately and the landowner must protect the area from all further disturbance from construction, vandalism, or damage until the remains have been treated pursuant to state law, including Section 7050.5 of the California Health and Safety Code and Sections 5097.74 and 5097.98 of the Public Resources Code. Upon encountering human or potentially human bone, the archaeological monitor will ensure immediate notification of the onsite Native American monitor, the construction supervisor, the County, and the Project Archaeologist. The Project Archaeologist will promptly notify the County Coroner, who will examine the remains. If the coroner agrees that the remains are those of an ancient Native American, the coroner is required to contact the California Native American Heritage Commission within 24 hours.

Once notified by the coroner, the Native American Heritage Commission is responsible for immediately notifying the person it believes is the Most Likely Descendant of the deceased Native American. The Most Likely Descendant will inspect the remains and consult with the County and the on-site Native American construction monitor to determine final disposition of the remains. The law provides the Most Likely Descendant a period of 48 hours following inspection to make recommendations for the treatment or disposition of the remains and associated grave goods. If an agreement for treatment of the remains cannot be resolved satisfactorily, the landowner or the Most Likely Descendant may request mediation by the Native American Heritage

No ground-disturbing project activities may be resumed at the discovery location until treatment has been concluded and the County provides notice that work may proceed.

t 805.957.1315 f 805.957.1317

235 Palm Ave. Santa Barbara CA 93101 USA

www.bbird.com

architect:

Kenneth G. Radtkey Blackbird Archtiects Inc. 235 Palm Avenue Santa Barbara, California 93101

blackbird architects

civil engineer:

t 805.957.1315

Scott Stokes Above Grade Engineering, Inc. 1304 Broad Street San Luis Obispo, CA 93401 t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

plumbing engineer:

Linda Altomare, Principal **MEC, Mechanical Engineering Consultants** 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

electrical engineer:

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

Jalama Beach County Park

9999 Jalama Road Lompoc. CA 93436

083-510-001 (REC)

083-510-064 (AG-IÍ)

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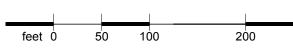
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Cover Sheet

Project Information, Sheet Index, Vicinity Map.















(31) Chlorine Mixing Tank



(29) General Water Storage (left)(30) Chlorine Storage Shed (right)

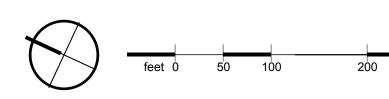


(25) Restroom Storage Shed (left)(26) Water Booster Pump (right)



(24) Old Workshop Building











(23) Workshop Building



(22) Employee Break Room



(21) Park Ranger Residence #4 Storage Shed 1



(20) Park Ranger Residence #4



(19) Park Ranger Residence #3



(17) Park Ranger Resid. #2 (right) (18) Storage Shed 1 (left)



(16) Park Ranger Residence #1 Storage Shed 3



(15) Park Ranger Residence #1 Storage Shed 2



(14) Park Ranger Residence #1 Storage Shed 1



(13) Park Ranger Residence # 1



(12) Private Shed



(11) Park Office



(10) Small Restroom - North



(9) Jalama Beach Store Storage Shed



(7) Store Owner Residence (left)(8) Jalama Beach Store (right)



(6) Small Restroom - Northwest



(5) Shower Facility



(4) Lift Station



(3) Large Restroom - Park Entry



(2) Large Restroom - Southwest



(1) Entry Kiosk



235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

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235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good
Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

plumbing engineer:

Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.563.5444

Jalama Beach **County Park**

9999 Jalama Road Lompoc, CA 93436

APN

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Site Photos

Existing Facilities





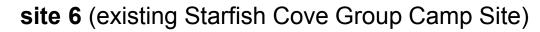
site 8 (existing camp sites)





site 7 (existing small restroom)







site 5 (existing small restroom)



site 4 (existing small restroom)









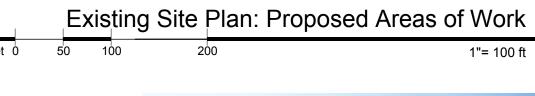






site 2 (existing shower facility)







site 3 (existing large restroom)



electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.563.5444

blackbird architects

235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

Jalama Beach County Park

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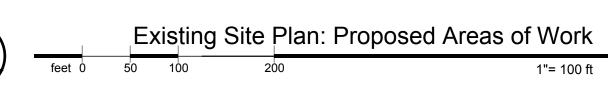
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Site Photos

Proposed Areas of Work









235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
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San Luis Obispo, CA 93401
t 805.540.5115

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San Luis Obispo, CA 93401
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mechanical engineer:

Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

plumbing engineer:

Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.563.5444

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Site Photos

Proposed Areas of Work













site 10 (existing park office & electric meter connection)







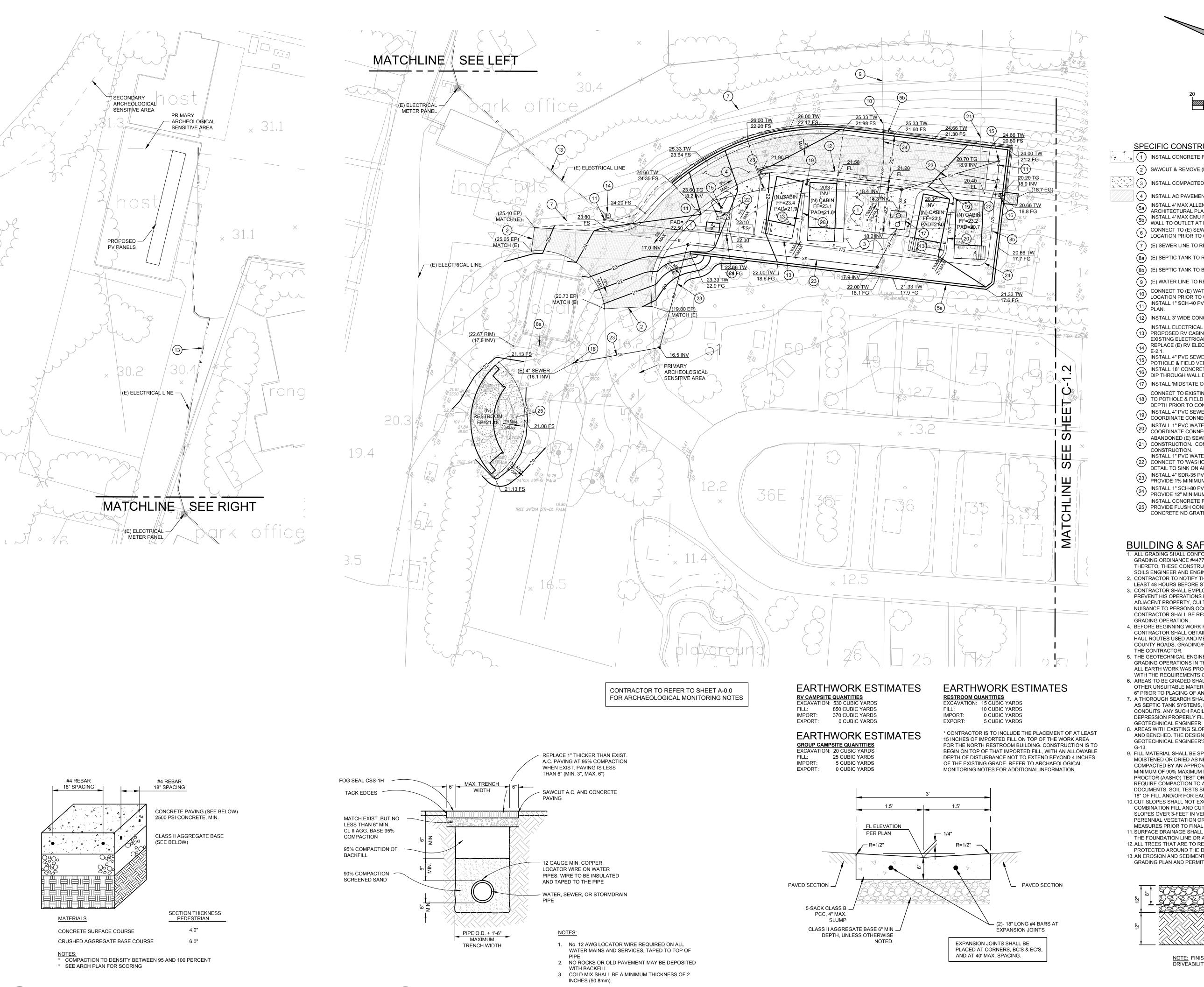








site 9 (existing workshop building & electric circuit breaker)

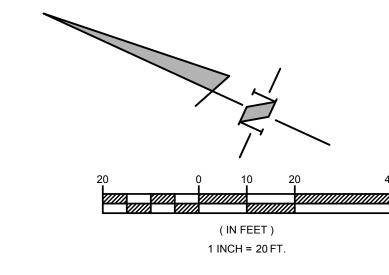


YPICAL UTILITY TRENCHING DETAIL

SCALE: NONE

YPICAL CONCRETE FLATWORK SECTION

SCALE: NONE



SPECIFIC CONSTRUCTION NOTES:

install concrete flatwork, see detail 'a' on sheet c-1.2.

(2) SAWCUT & REMOVE (E) AC PAVEMENT AND MATCH (E) GRADES.

(3) INSTALL COMPACTED FILL MATERIAL, SEE DETAIL 'D' ON SHEET C-1.1.

(4) INSTALL AC PAVEMENT.

(5a) INSTALL 4' MAX ALLEN BLOCK GRAVITY WALL WITH HANDRAILS PER ARCHITECTURAL PLAN.

INSTALL 4' MAX CMU RETAINING WALL. PROVIDE 1' WIDE DRAINAGE SWALE BEHIND WALL TO OUTLET AT ROCK SPILLWAY. 6 CONNECT TO (E) SEWER LINE. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.

(7) (E) SEWER LINE TO REMAIN.

(8a) (E) SEPTIC TANK TO REMAIN. PROTECT IN PLACE.

(8b) (E) SEPTIC TANK TO BE FILLED IN & ABANDONED IN PLACE.

(9) (E) WATER LINE TO REMAIN.

CONNECT TO (E) WATER SERVICE. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.

INSTALL 1" SCH-40 PVC WATER SERVICE WITH HOSE BIB PER ARCHITECTURAL PLAN.

(12) INSTALL 3' WIDE CONCRETE VALLEY GUTTER, SEE DETAIL 'C' ON SHEET C-1.1.

INSTALL ELECTRICAL CONDUITS FROM EXISTING ELECTRICAL PANEL TO (13) PROPOSED RV CABINS AND NEW PV PANELS. INSTALL NEW CONDUIT(S) ALONG

EXISTING ELECTRICAL LINES. COORDINATE WITH ELECTRICAL PLAN E-2.1. REPLACE (E) RV ELECTRICAL PEDESTAL. COORDINATE WITH ELECTRICAL PLAN E-2.1. INSTALL 4" PVC SEWER LINE WITH 3" DRAIN INLET WITH 'P-TRAP'. CONTRACTOR TO POTHOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION.

INSTALL 18" CONCRETE CATCH BASIN WITH TRAFFIC RATED GRATE. PROVIDE 6" DIP THROUGH WALL DRAIN OUTLET PIPE TO ROCK SPILLWAY. (17) INSTALL 'MIDSTATE CONCRETE' 1500 GALLON SEPTIC TANK, OR APPROVED EQUAL.

CONNECT TO EXISTING 4" PVC SEWER LINE BEFORE LEACH FIELD. CONTRACTOR 18) TO POTHOLE & FIELD VERIFY EXISTING SEWER LINE CONNECTION LOCATION & DEPTH PRIOR TO CONSTRUCTION.

19 INSTALL 4" PVC SEWER LATERAL FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.

INSTALL 1" PVC WATER SERVICE FOR CONNECTION TO CABIN. CONTRACTOR TO COORDINATE CONNECTION DETAIL WITH CABIN MANUFACTURER'S PLAN.

ABANDONED (E) SEWER LINE TO BE CAP & REMOVED IF FOUND DURING (21) CONSTRUCTION. CONTRACTOR TO POTHOLE & FIELD VERIFY LOCATION PRIOR TO

INSTALL 1" PVC WATER SERVICE ALONG WITH A 4" PVC SEWER LATERAL AND (22) CONNECT TO 'WASHOUT SINK'. CONTRACTOR TO COORDINATE CONNECTION DETAIL TO SINK ON ARCHITECTURAL PLANS.

install 4" SDR-35 PVC SEWER LATERAL PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 1% MINIMUM SLOPE IN PIPE.

INSTALL 1" SCH-80 PVC WATER SERVICE PER TRENCH DETAIL ON SHEET C-1.1. PROVIDE 12" MINIMUM COVER OVER PIPE.

INSTALL CONCRETE FLATWORK AROUND PROPOSED RESTROOM BUILDING. (25) PROVIDE FLUSH CONNECTION TO EXISTING GRADES. RE-GRADE SLOPES AROUND CONCRETE NO GRATER THAN 5%.

BUILDING & SAFETY DIVISION GRADING NOTES

GRADING ORDINANCE #4477 AND STANDARDS AND REQUIREMENTS PERTAINING THERETO, THESE CONSTRUCTION DRAWINGS AND THE RECOMMENDATIONS OF THE

SOILS ENGINEER AND ENGINEERING GEOLOGIST. 2. CONTRACTOR TO NOTIFY THE COUNTY GRADING INSPECTOR AND SOILS LABORATORY AT LEAST 48 HOURS BEFORE START OF GRADING WORK OR PRE-CONSTRUCTION MEETING. 3. CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE.

CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM HIS GRADING OPERATION. 4. BEFORE BEGINNING WORK REQUIRING EXPORTING OR IMPORTING OF MATERIALS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC WORKS ROAD DIVISION FOR HAUL ROUTES USED AND METHODS PROVIDED TO MINIMIZE THE DEPOSIT OF SOILS ON COUNTY ROADS. GRADING/ROAD INSPECTORS SHALL MONITOR THIS REQUIREMENT WITH

5. THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING DURING GRADING OPERATIONS IN THE FIELD AND SHALL SUBMIT A FINAL REPORT STATING THAT ALL EARTH WORK WAS PROPERLY COMPLETED AND IS IN SUBSTANTIAL CONFORMANCE WITH THE REQUIREMENTS OF THE GRADING ORDINANCE.

6. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION INCLUDING ROOTS AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL, THEN SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING OF ANY FILL. CALL GRADING INSPECTOR FOR INITIAL INSPECTION. 7. A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, FUEL OR WATER STORAGE TANKS, AND PIPELINES OR CONDUITS. ANY SUCH FACILITIES ENCOUNTERED SHALL BE REMOVED AND THE DEPRESSION PROPERLY FILLED AND COMPACTED UNDER OBSERVATION OF THE

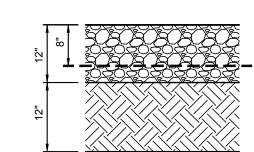
8. AREAS WITH EXISTING SLOPES WHICH ARE TO RECEIVE FILL MATERIAL SHALL BE KEYED AND BENCHED. THE DESIGN AND INSTALLATION OF THE KEYWAY SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OR PER COUNTY STANDARD DETAIL NO.

9. FILL MATERIAL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED BY AN APPROVED METHOD. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AS DETERMINED BY 1957 ASTM D - 1557 - 91 MODIFIED PROCTOR (AASHO) TEST OR SIMILAR APPROVED METHODS. SOME FILL AREAS MAY REQUIRE COMPACTION TO A GREATER DENSITY IF CALLED FOR IN THE CONSTRUCTION DOCUMENTS. SOIL TESTS SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND/OR FOR EACH 500 CUBIC YARDS OF FILL PLACED.

10.CUT SLOPES SHALL NOT EXCEED A GRADE OF 11/2-HORIZONTAL TO 1-VERTICAL. FILL AND COMBINATION FILL AND CUT SLOPES SHALL NOT EXCEED 2-HORIZONTAL TO 1-VERTICAL. SLOPES OVER 3-FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED PERENNIAL VEGETATION OR TREATED WITH EQUALLY APPROVED EROSION CONTROL MEASURES PRIOR TO FINAL INSPECTION. 11. SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM

THE FOUNDATION LINE OR ANY STRUCTURE. 12. ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND

PROTECTED AROUND THE DRIP LINE DURING GRADING OPERATION. 13. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS.



SUITABLE FILL MATERIAL OR CLASS II BASE, COMPACTED TO A MINIMUM OF 95% TENSAR TRIAX TX190L OR EQ, INSTALLED PER MFG INSTRUCTIONS

SUBGRADE TO BE SCARIFIED TO A DEPTH OF 12", MOISTURE CONDITIONED, AND RECOMPACTED TO A MINIMUM OF 95% PER GEOTECHNICAL INVESTIGATION REPORT FOR THIS PROJECT.

 $\underline{\text{NOTE:}}$ FINISH SURFACE REQUIRES MAINTENANCE BY OWNER FOR DRIVEABILITY AND DRAINAGE PURPOSES.

CONCRETE VALLEY GUTTER DETAIL

TYPICAL COMPACTED FILL SECTION

SCALE: NONE

E Jalama Beach County Park

=Blackbird

235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

consultants:

civil engineer:

Scott Stokes, PE

245 Higuera Street

_ t 805.540.5115

Above Grade Engineering

San Luis Obispo, CA 93401

Architects Inc.

999 Jalama Road, Lompoc, CA 93436

APN	

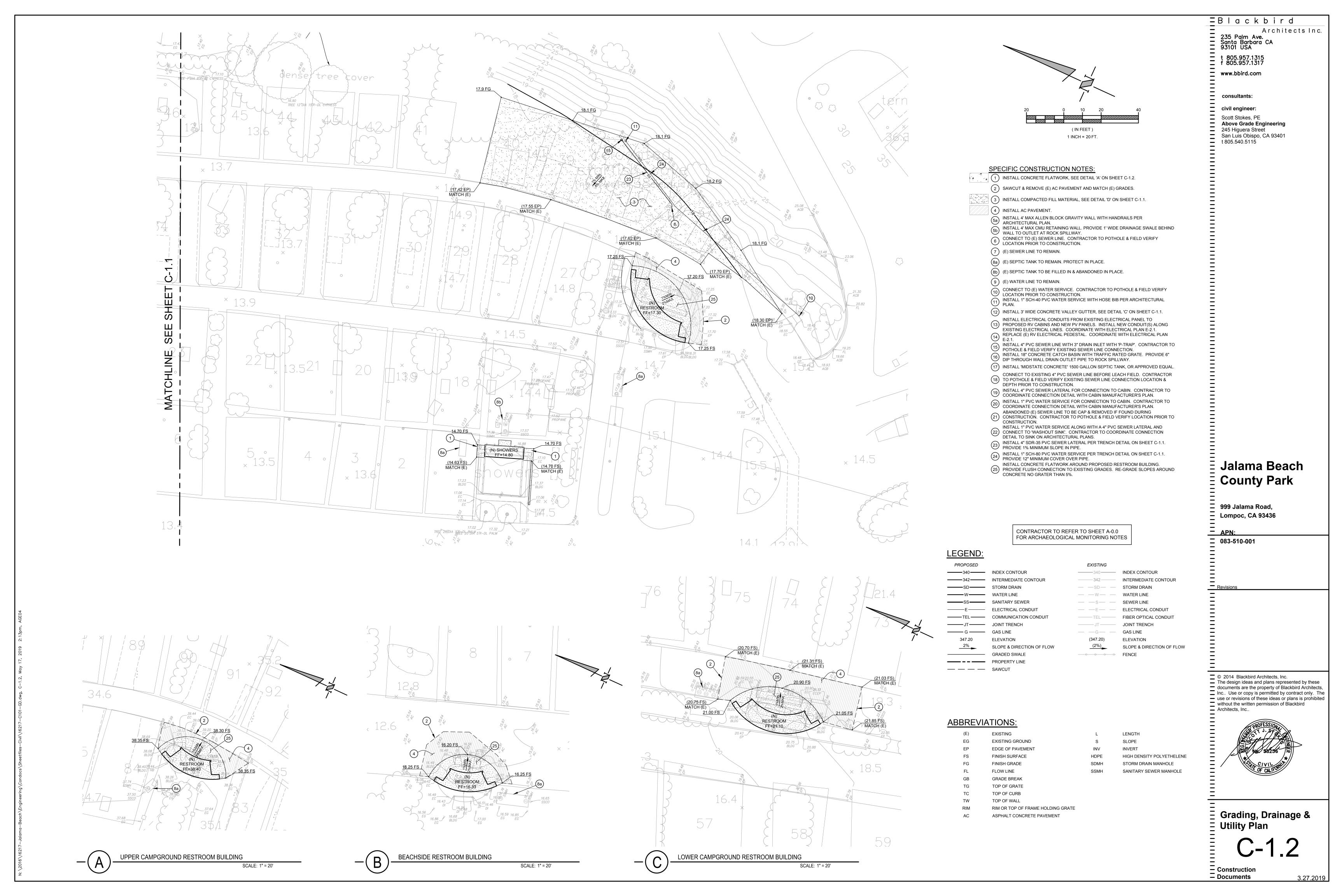
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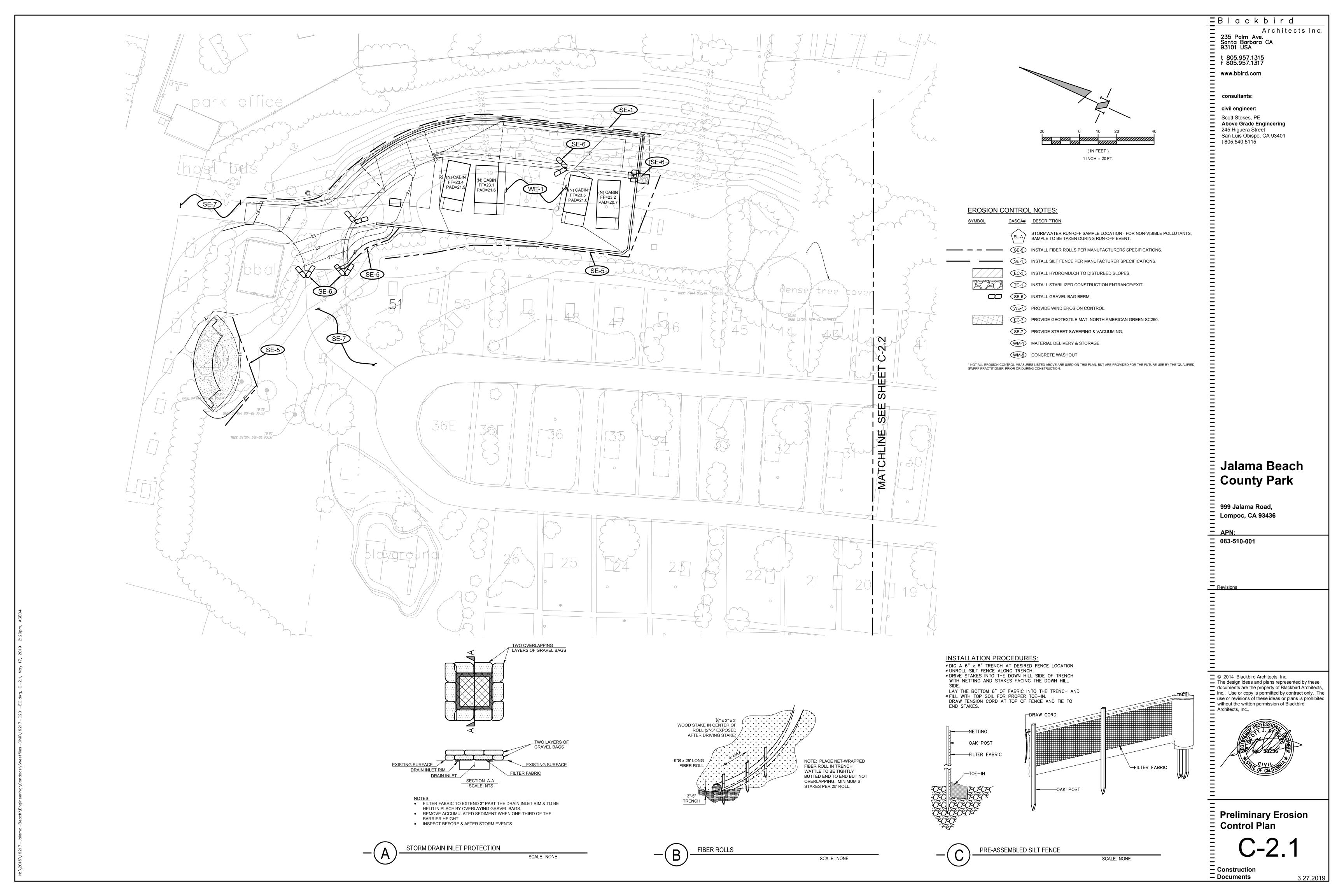
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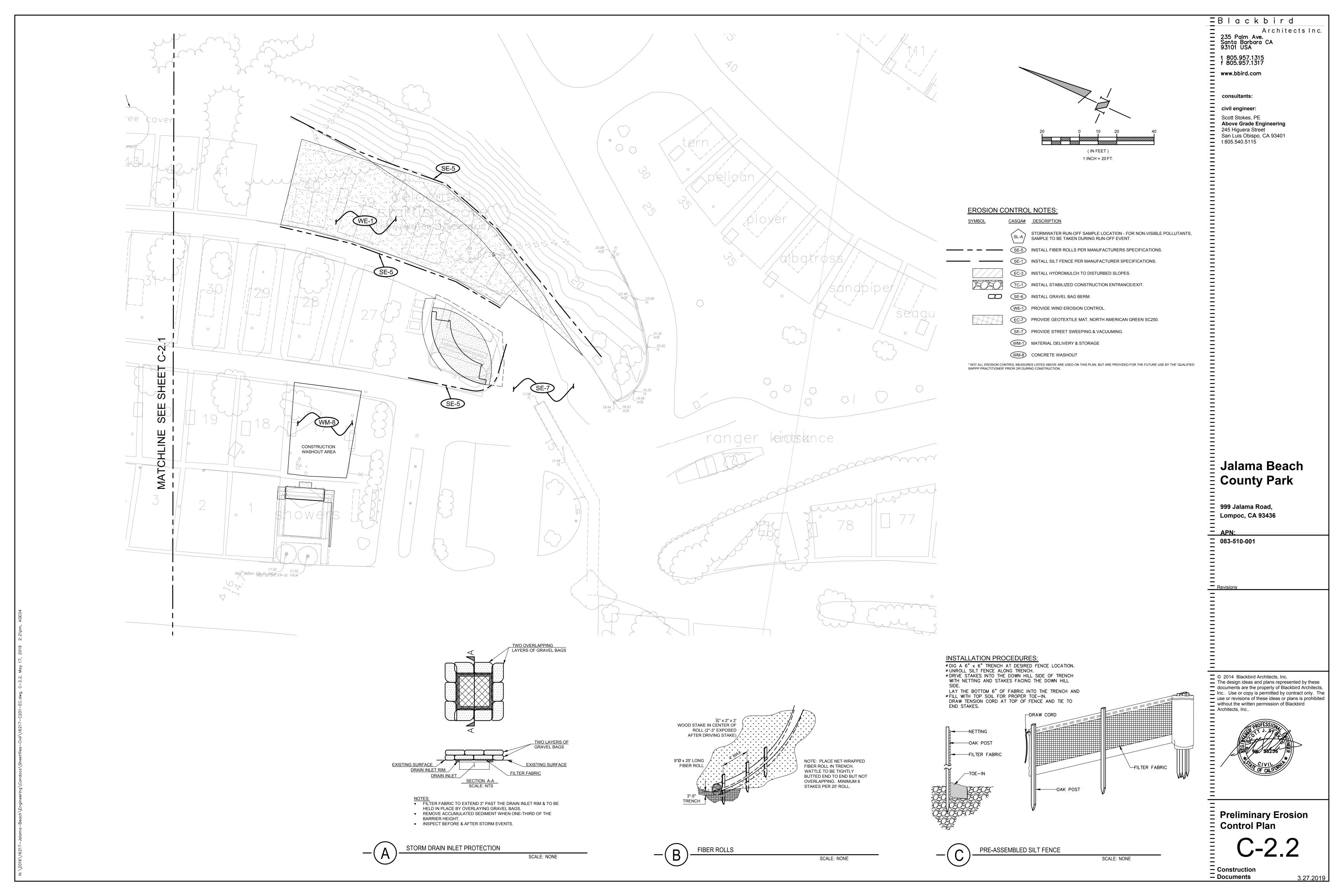


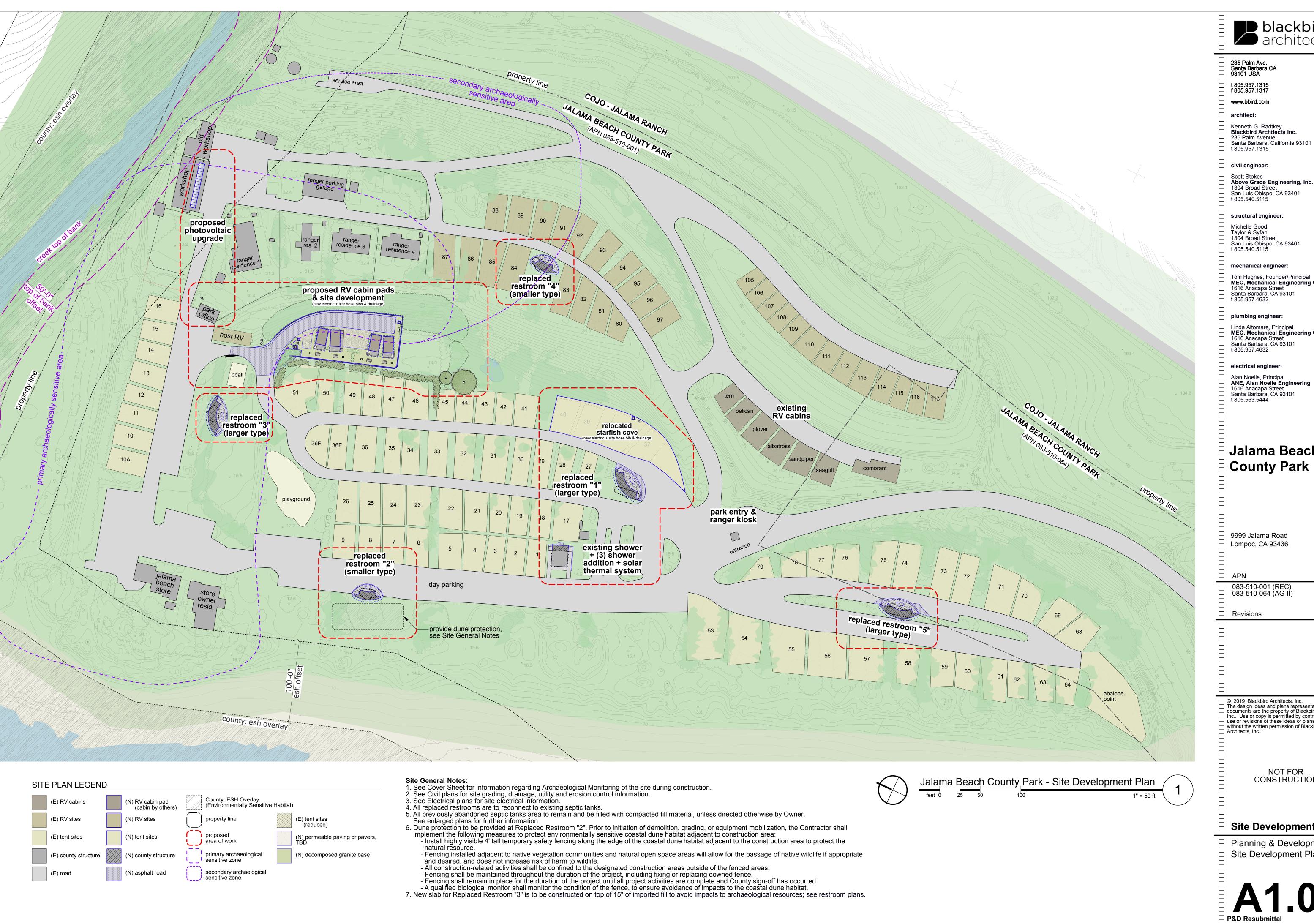
Grading, Drainage & Utility Plan

Construction Documents









blackbird architects

235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

architect:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants
1616 Anacapa Street
Santana, CA 93101 t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

Jalama Beach **County Park**

9999 Jalama Road Lompoc, CA 93436

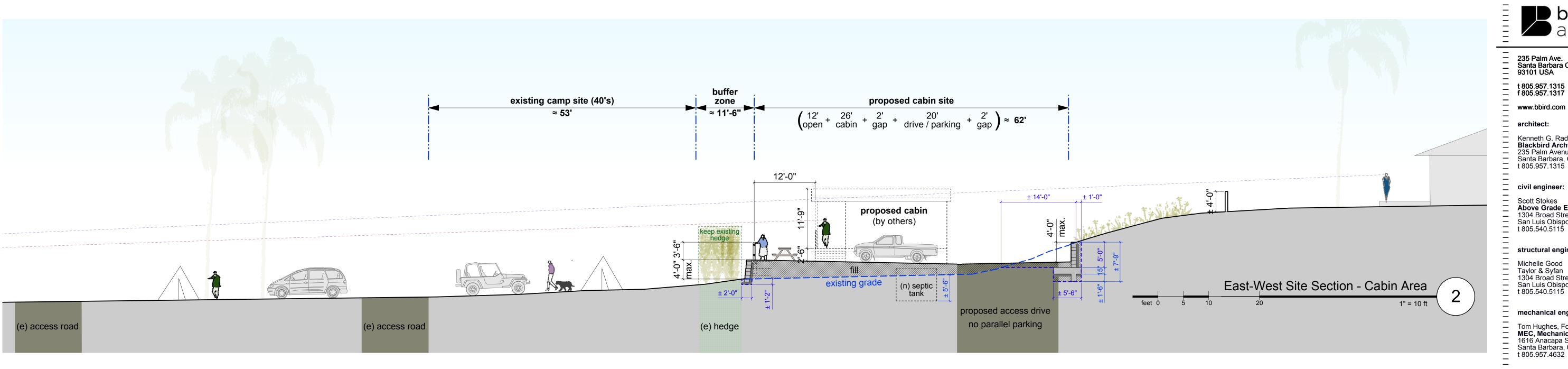
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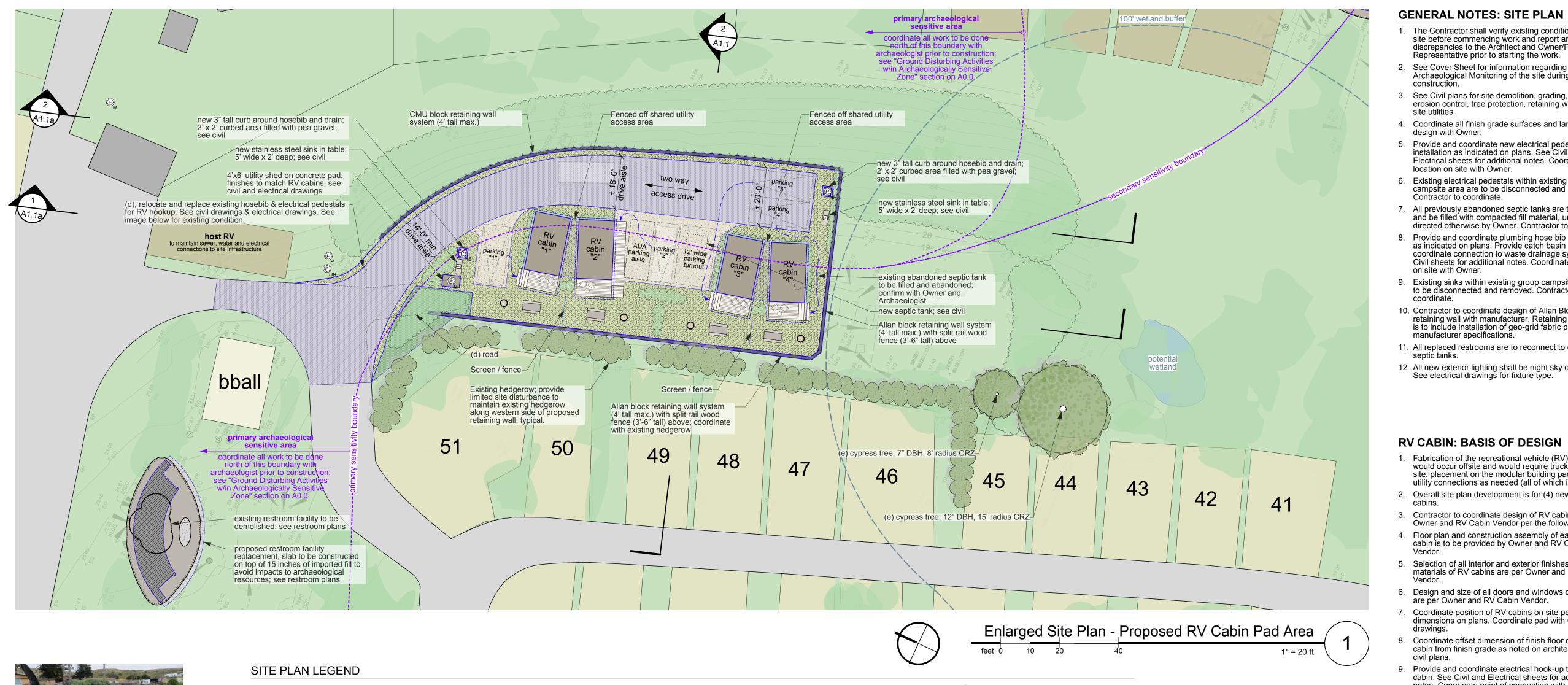
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Site Development Plan

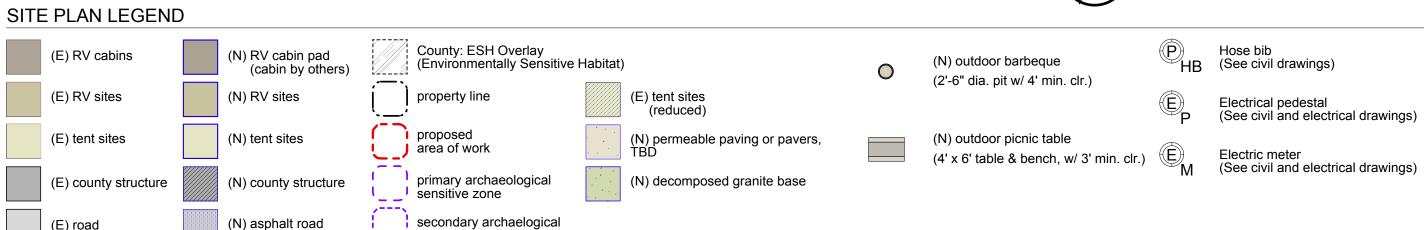
Planning & Development Site Development Plan







(E) hosebib & electrial pedestal by Host RV to be relocated and replaced



sensitive zone

GENERAL NOTES: SITE PLAN

- 1. The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner/Parks Representative prior to starting the work.
- Archaeological Monitoring of the site during 3. See Civil plans for site demolition, grading, drainage, erosion control, tree protection, retaining walls, and
- 4. Coordinate all finish grade surfaces and landscape design with Owner.
- 5. Provide and coordinate new electrical pedestal installation as indicated on plans. See Civil and Electrical sheets for additional notes. Coordinate location on site with Owner.
- 6. Existing electrical pedestals within existing group campsite area are to be disconnected and removed. Contractor to coordinate.
- 7. All previously abandoned septic tanks are to remain and be filled with compacted fill material, unless directed otherwise by Owner. Contractor to coordinate.
- 8 Provide and coordinate plumbing hose bib installation as indicated on plans. Provide catch basin and coordinate connection to waste drainage system. See Civil sheets for additional notes. Coordinate location on site with Owner.
- 9. Existing sinks within existing group campsite area are to be disconnected and removed. Contractor to
- 10. Contractor to coordinate design of Allan Block retaining wall with manufacturer. Retaining wall design is to include installation of geo-grid fabric per manufacturer specifications.
- 11. All replaced restrooms are to reconnect to existing septic tanks.
- All new exterior lighting shall be night sky compliant. See electrical drawings for fixture type.

RV CABIN: BASIS OF DESIGN

- 1. Fabrication of the recreational vehicle (RV) cabins would occur offsite and would require trucking to the site, placement on the modular building pads, and utility connections as needed (all of which is OFOI).
- 2. Overall site plan development is for (4) new RV
- 3. Contractor to coordinate design of RV cabin with Owner and RV Cabin Vendor per the following notes. 4. Floor plan and construction assembly of each RV cabin is to be provided by Owner and RV Cabin
- 5. Selection of all interior and exterior finishes and materials of RV cabins are per Owner and RV Cabin
- 6. Design and size of all doors and windows of RV cabins are per Owner and RV Cabin Vendor. 7. Coordinate position of RV cabins on site per noted
- dimensions on plans. Coordinate pad with Civil drawings. 8. Coordinate offset dimension of finish floor of each RV
- cabin from finish grade as noted on architectural and civil plans. 9. Provide and coordinate electrical hook-up to each RV
- cabin. See Civil and Electrical sheets for additional notes. Coordinate point of connection with RV Cabin 10. Each RV cabin is to be equipped with an electric
- baseboard heating system. Overall size and design of heating system is per Owner and RV Cabin Vendor. 11. RV cabin stairs, skirts, etc. are to be constructed in field. Materials and finishes per Owner and RV Cabin
- 12. Provide and coordinate water and sewer connections to each RV cabin. See Civil for additional notes. Coordinate point of connection with RV Cabin Vendor.



235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com architect:

Kenneth G. Radtkev Blackbird Archtiects Inc. 235 Palm Avenue Santa Barbara, California 93101

civil engineer:

Scott Stokes

Above Grade Engineering, Inc. 1304 Broad Street
 San Luis Obispo, CA 93401
 t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street - San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

plumbing engineer:

Linda Altomare, Principal MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101

electrical engineer:

t 805.957.4632

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

Jalama Beach County Park

9999 Jalama Road Lompoc, CA 93436

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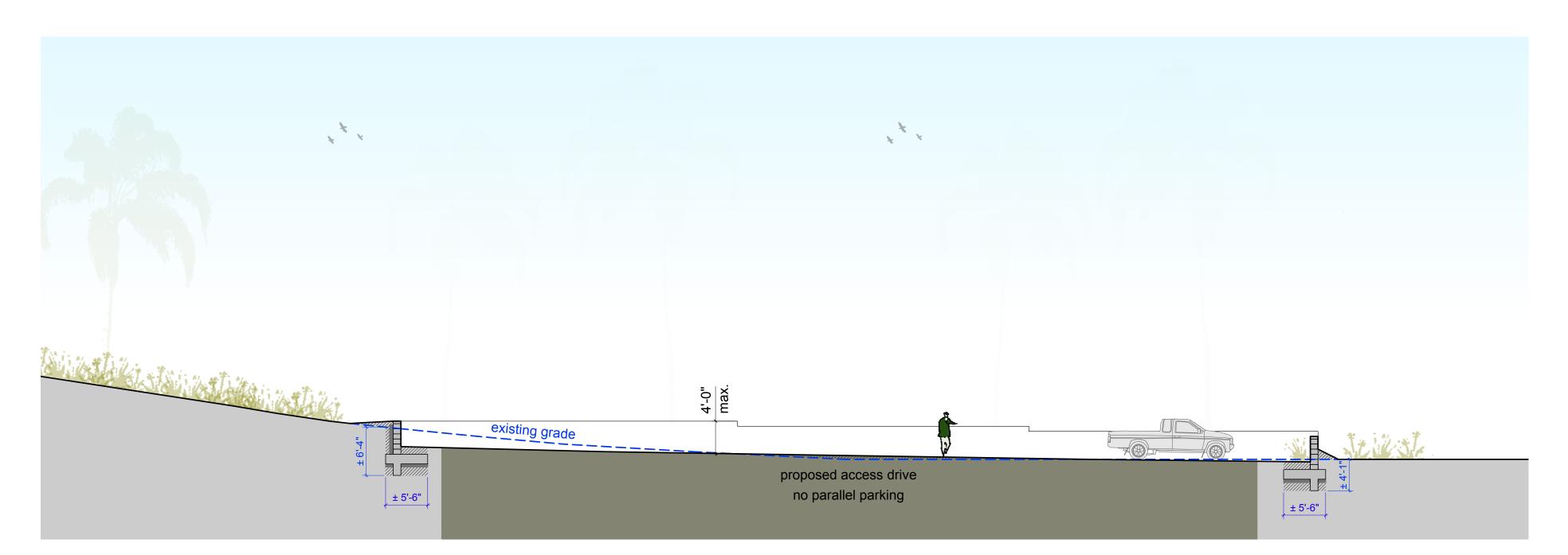
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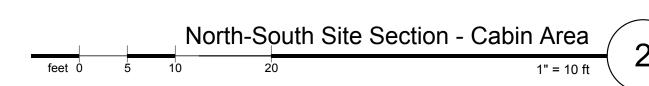
Enlarged Site Plan

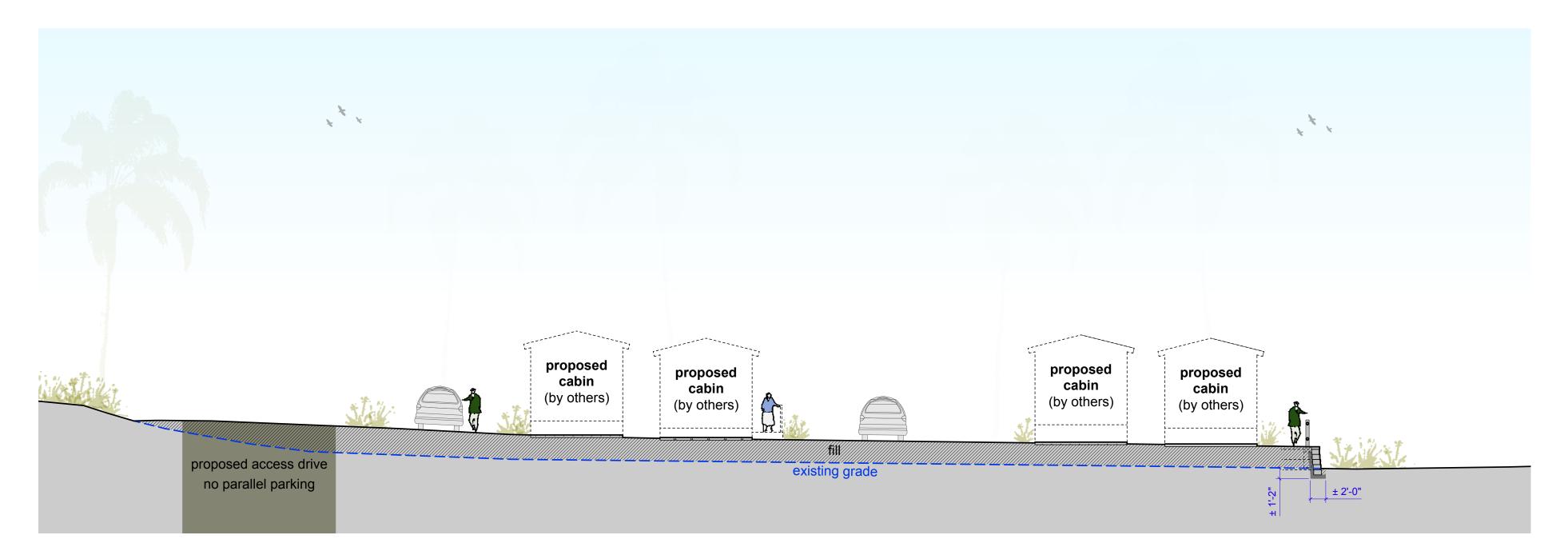
Proposed RV Cabin Pad Development Area: Site Plan & Section



05.21.19











235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

235 Palm Avenue

architect: Kenneth G. Radtkey Blackbird Archtiects Inc.

Santa Barbara, California 93101

civil engineer:

t 805.957.1315

Scott Stokes
Above Grade Engineering, Inc.

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street - San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

plumbing engineer: Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

electrical engineer:

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

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RV CABIN: BASIS OF DESIGN

GENERAL NOTES: SITE PLAN

1. The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner/Parks

3. See Civil plans for site demolition, grading, drainage,

4. Coordinate all finish grade surfaces and landscape

Provide and coordinate new electrical pedestal installation as indicated on plans. See Civil and

Electrical sheets for additional notes. Coordinate

6. Existing electrical pedestals within existing group campsite area are to be disconnected and removed.

7. All previously abandoned septic tanks are to remain

and be filled with compacted fill material, unless directed otherwise by Owner. Contractor to coordinate. 8 Provide and coordinate plumbing hose bib installation as indicated on plans. Provide catch basin and coordinate connection to waste drainage system. See Civil sheets for additional notes. Coordinate location on site with Owner.

Existing sinks within existing group campsite area are to be disconnected and removed. Contractor to

retaining wall with manufacturer. Retaining wall design is to include installation of geo-grid fabric per

10. Contractor to coordinate design of Allan Block

11. All replaced restrooms are to reconnect to existing

All new exterior lighting shall be night sky compliant. See electrical drawings for fixture type.

manufacturer specifications.

septic tanks.

erosion control, tree protection, retaining walls, and

Representative prior to starting the work.

2. See Cover Sheet for information regarding Archaeological Monitoring of the site during

construction.

design with Owner.

location on site with Owner.

Contractor to coordinate.

- Fabrication of the recreational vehicle (RV) cabins would occur offsite and would require trucking to the site, placement on the modular building pads, and utility connections as needed (all of which is OFOI).
- 2. Overall site plan development is for (4) new RV
- Contractor to coordinate design of RV cabin with Owner and RV Cabin Vendor per the following notes. Floor plan and construction assembly of each RV cabin is to be provided by Owner and RV Cabin
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- drawings. Coordinate offset dimension of finish floor of each RV cabin from finish grade as noted on architectural and
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Enlarged Site Plan

Proposed RV Cabin Pad Development Area: Site Sections





Enlarged Site Plan - Photovoltaic Upgrade 1" = 20 ft



GENERAL NOTES: SITE PLAN

- 1. The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner/Parks Representative prior to starting the work.
- 2. See Cover Sheet for information regarding Archaeological Monitoring of the site during
- 3. See Civil plans for site demolition, grading, drainage, erosion control, tree protection, retaining walls, and site utilities.
- 4. Coordinate all finish grade surfaces and landscape design with Owner.
- 5. Provide and coordinate new electrical pedestal installation as indicated on plans. See Civil and Electrical sheets for additional notes. Coordinate location on site with Owner.
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- 10. Contractor to coordinate design of Allan Block retaining wall with manufacturer. Retaining wall design is to include installation of geo-grid fabric per manufacturer specifications.
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- All new exterior lighting shall be night sky compliant. See electrical drawings for fixture type.



235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com architect:

Kenneth G. Radtkey Blackbird Archtiects Inc. 235 Palm Avenue Santa Barbara, California 93101

civil engineer:

t 805.957.1315

Scott Stokes
Above Grade Engineering, Inc. ______ 1304 Broad Street ______ San Luis Obispo, CA 93401 _______ t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street - San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101

electrical engineer:

t 805.957.4632

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

Jalama Beach **County Park**

9999 Jalama Road Lompoc, CA 93436

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Enlarged Site Plan

Proposed Relocated Group Camp Site & Solar Photovoltaic Panel System Development Areas

P&D Resubmittal 05.21.19

(N) asphalt road

(E) road

Enlarged Site Plan - Proposed Relocated Group Camp Site Area

SITE PLAN LEGEND County: ESH Overlay (E) RV cabins (N) RV cabin pad (Environmentally Sensitive Habitat) (cabin by others) (E) RV sites (N) RV sites (E) tent sites property line (reduced) proposed (E) tent sites (N) tent sites (N) permeable paving or pavers, area of work primary archaeological (N) decomposed granite base (N) county structure sensitive zone

secondary archaelogical

sensitive zone

(N) outdoor barbeque (2'-6" dia. pit w/ 4' min. clr.)

(N) outdoor picnic table (4' x 6' table & bench, w/ 3' min. clr.)

Electric meter
(See civil and electrical drawings)

Hose bib

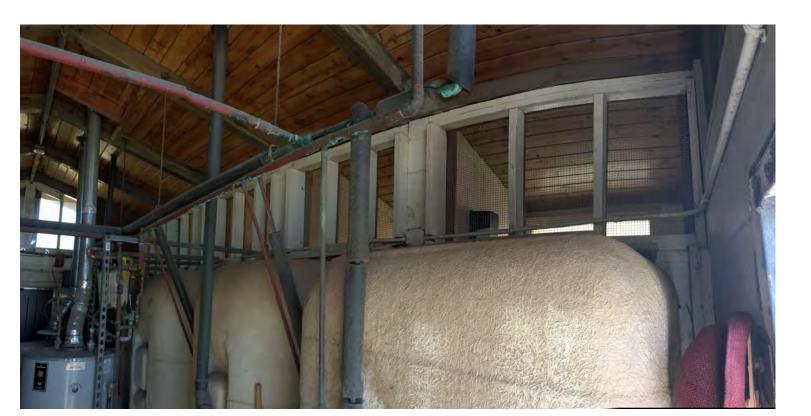
HB (See civil drawings)

Electrical pedestal

(See civil and electrical drawings)



inside (e) shower facility



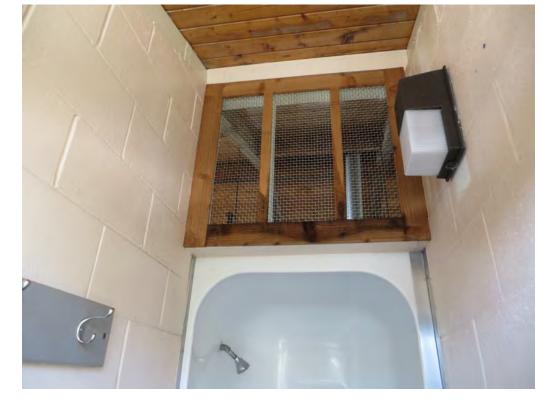
inside (e) shower facility



inside (e) shower facility



(e) screen over door at east and west ends



(e) typical screen over shower stall



(e) east side



(e) north side



(e) shower stall #10



(e) typical shower stall



(e) west elevation



(e) south elevation



(e) east side (site of addition)



(e) propane tank to east



235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

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Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

plumbing engineer: Linda Altomare, Principal

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1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

electrical engineer: Alan Noelle, Principal

ANE, Alan Noelle Engineering

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Santa Barbara, CA 93101

t 805.563.5444

Jalama Beach **County Park**

- 9999 Jalama Road Lompoc, CA 93436

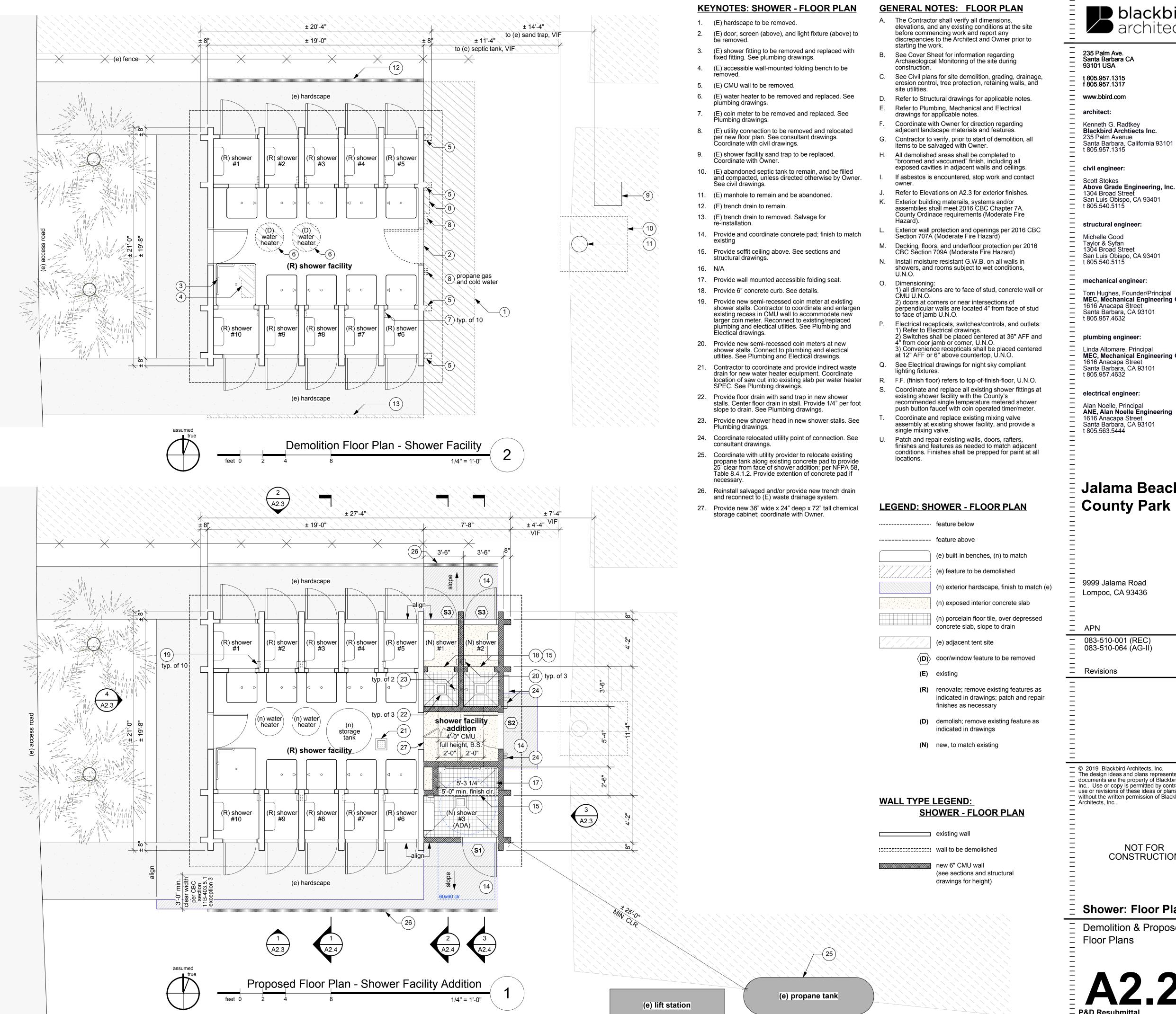
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Shower: Existing Photos



blackbird architects

Kenneth G. Radtkey Blackbird Archtiects Inc.

Scott Stokes Above Grade Engineering, Inc. 1304 Broad Street San Luis Obispo, CA 93401t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street - San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101

plumbing engineer:

Linda Altomare, Principal MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101

electrical engineer:

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

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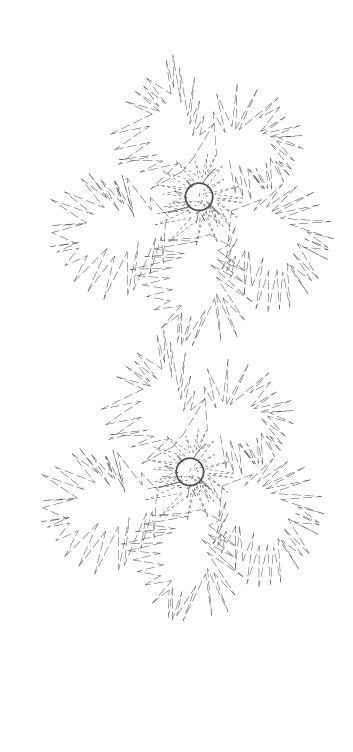
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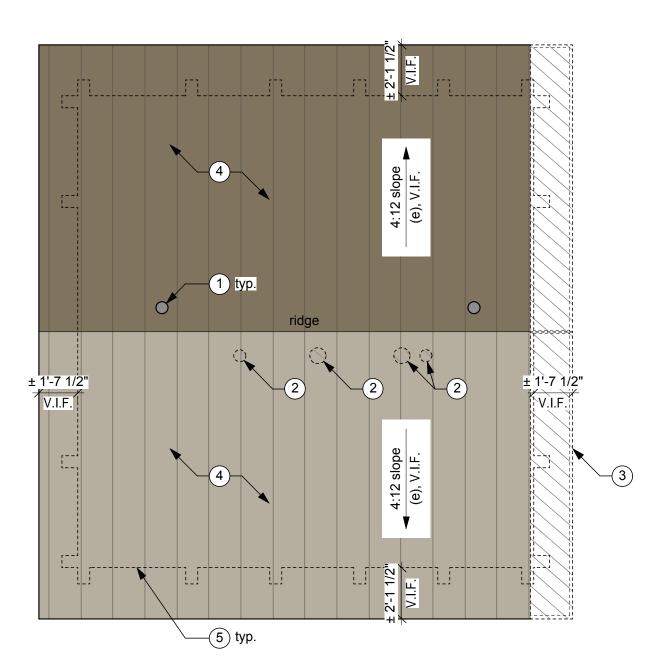
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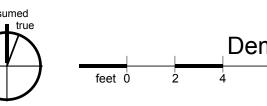
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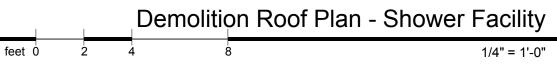
Shower: Floor Plan

Demolition & Proposed Floor Plans



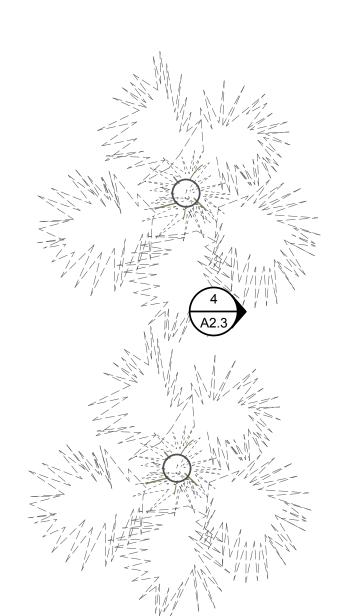


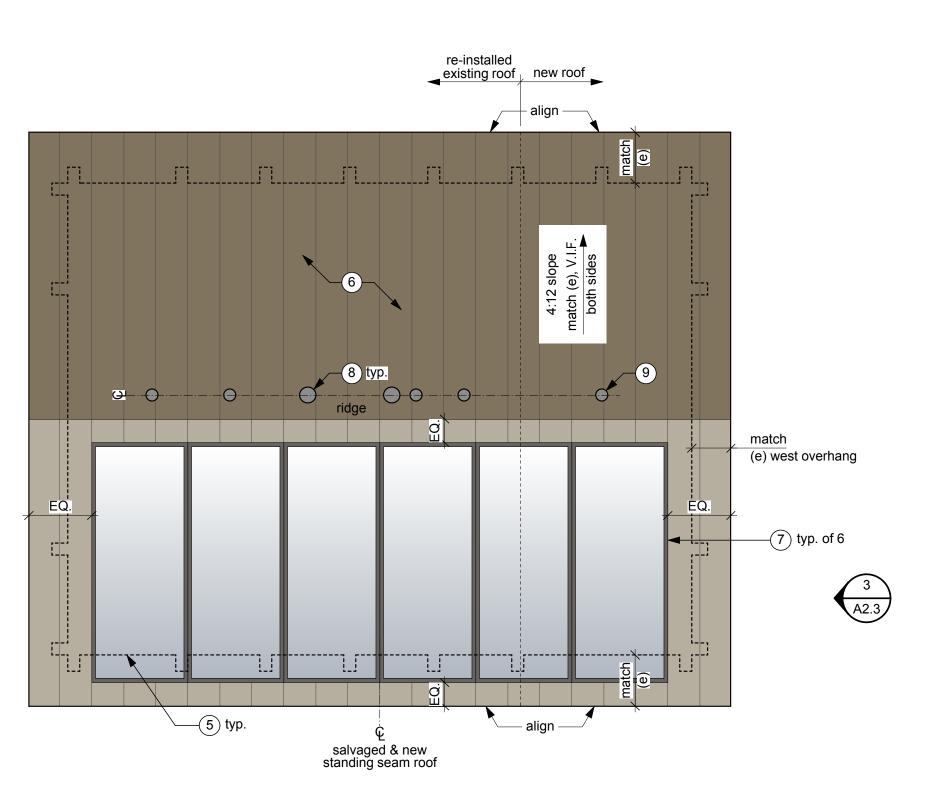




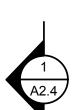


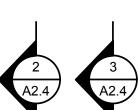


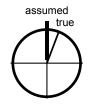












Proposed Roof Plan - Shower Facility Addition 1/4" = 1'-0"

KEYNOTES: SHOWER - ROOF PLAN

- 1. (E) roof vents or penetrations, verify location in field.
- 2. (E) roof vents/penetrations to be removed and relocated to north side of roof ridge. Repair or replace all damaged T&G decking members below.
- (E) T&G deck members, fascia board and ridge board to be trimmed off @ roof rafter per Structural drawings, and removed.
- (E) standing seam metal roof to be removed to allow for new plywood sheathing installation over (e) T&G deck, per Structural. Salvage (e) standing seam roof panels for re-installation. See details for finished
- 5. Exterior face of structure, below roof.

construction assembly.

- Salvaged and new standing seam metal roof. Finish, gauge, panel size, rib height, fastening system and specifications of new panels to match (e) salvaged panels. Contractor to
- 7. Solar thermal flat plate collector (4' x 10' panels); reference Structural, Mechanical and Plumbing sheets for additional information; typ.
- Relocated (e) roof vent/penetrations to north side of roof ridge. Align with (e) roof vents.
- Provide and coordinate new stack vent for new shower stalls; align with existing roof vents.

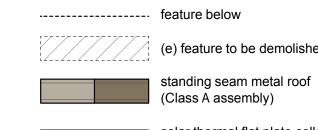
GENERAL NOTES: ROOF PLAN

- A. The Contractor shall verify all dimensions, elevations, and any existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- Refer to Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner. All demolished areas shall be completed to
- "broomed and vaccumed" finish, including all exposed cavities in adjacent walls and ceilings. If asbestos is encountered, stop work and contact
- Refer to Elevations on A2.3 for exterior finishes.
- Dimensioning: 1) all dimensions are to face of stud, concrete or ĆMU, U.N.O. 2) all T.O. Roof elevations are to top of finish, U.N.O.
- 3) refer to Sections for Top Plate and Beam heights. Roof covering, valleys, and gutters per 2016 CBC Section 705A (Moderate Fire Hazard - Chapter 7A)
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- K. Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- Roof pitch for roof covering per 2016 CBC Chapter
- M. Provide minimum slope of 1/4" per 1'-0" for all roof crickets.

County Ordinace requirements (Moderate Fire

- N. F.F. (finish floor) refers to top-of-finish-floor or top-of-finish-deck U.N.O. Exterior building materails, systems and/or assembiles shall meet 2016 CBC Chapter 7A & S.B.
- P. Paint all roof penetrations to match roof.
- Q. Patch and repair existing rafters, T&G, finishes and features as needed to match adjacent conditions.

LEGEND: SHOWER - ROOF PLAN



(e) feature to be demolished

(Class A assembly) solar thermal flat plate collector

(see Mechanical and Plumbing) duct termination/vent, see Mechanical

and Plumbing



235 Palm Ave. Santa Barbara CA 93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

architect: Kenneth G. Radtkey Blackbird Archtiects Inc. 235 Palm Avenue Santa Barbara, California 93101

civil engineer:

t 805.957.1315

Scott Stokes
Above Grade Engineering, Inc. 1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street — San Luis Obispo, CA 93401 — t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street Santa Barbara, CA 93101 t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street
Santa Barbara, CA 93101
t 805.957.4632

electrical engineer:

Alan Noelle, Principal
ANE, Alan Noelle Engineering 1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

Jalama Beach **County Park**

9999 Jalama Road Lompoc, CA 93436

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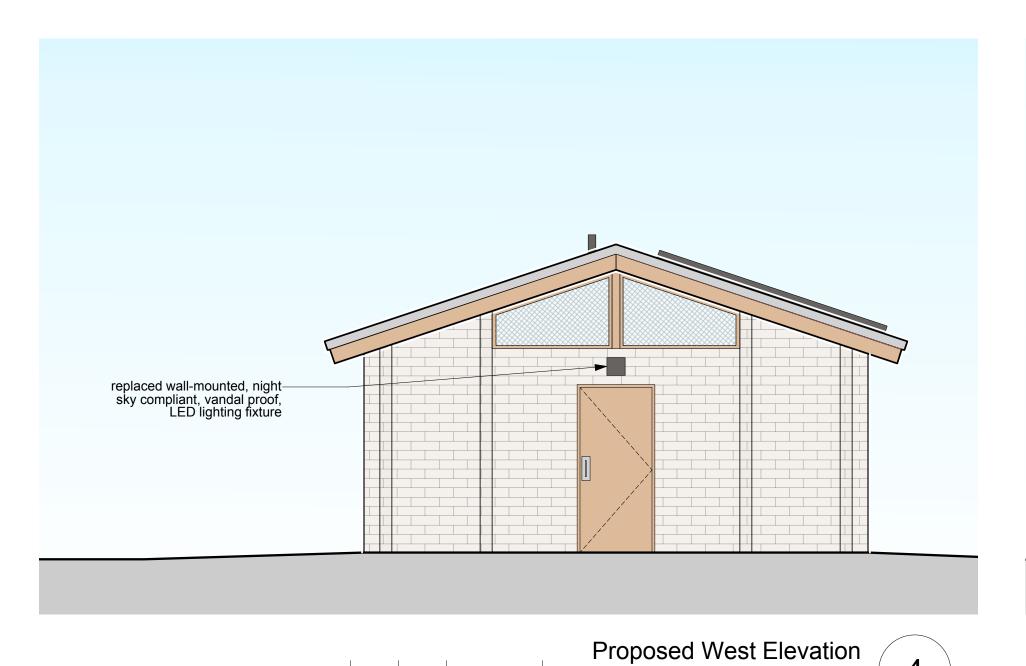
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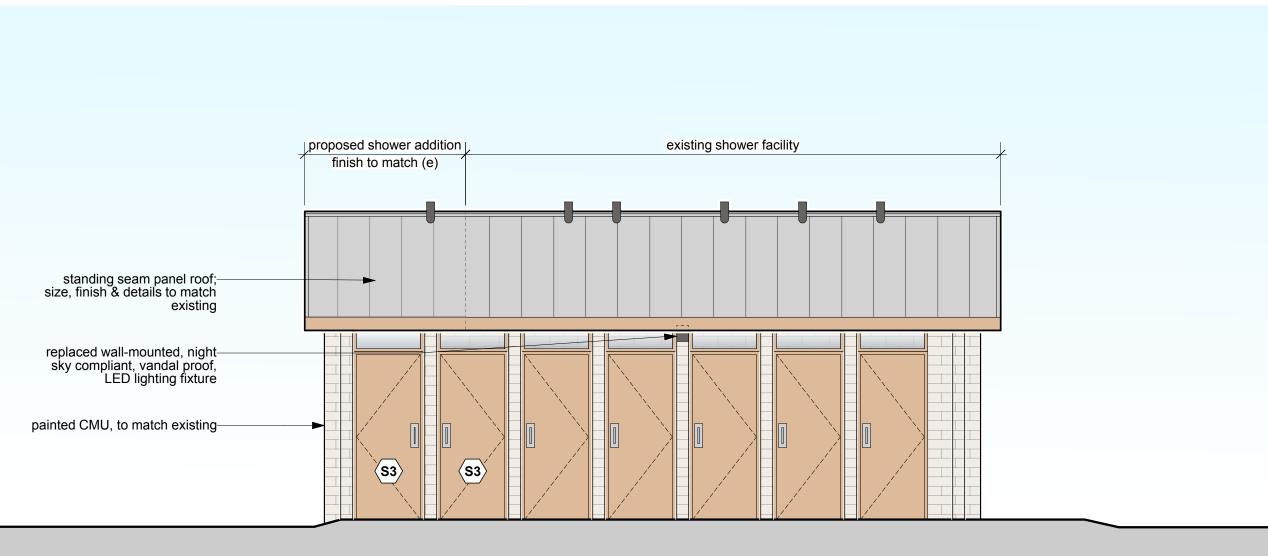
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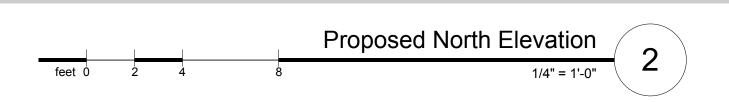
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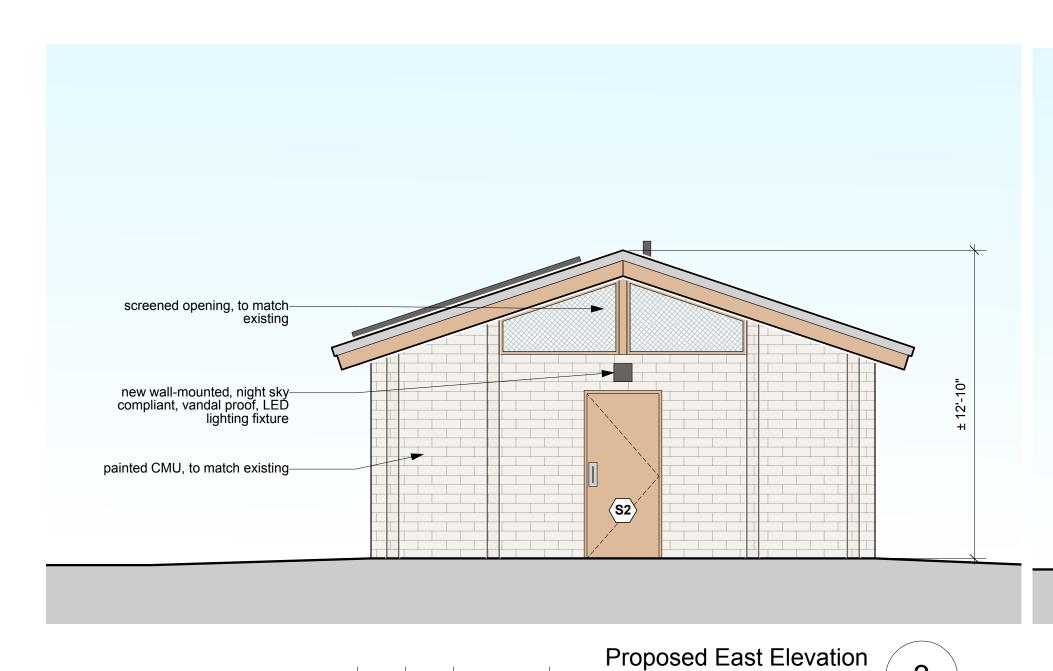
Shower: Roof Plan

Demolition & Proposed Roof Plans

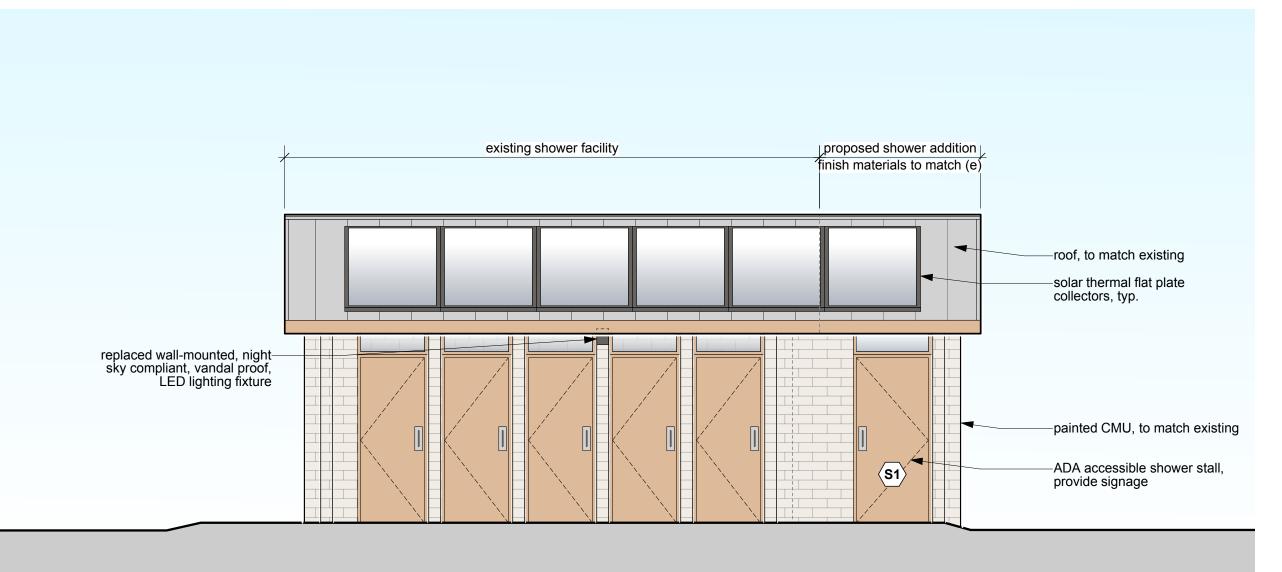








1/4" = 1'-0"



Proposed South Elevation

GENERAL NOTES: ELEVATIONS

- A. The Contractor shall verify all dimensions, elevations, and any existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- B. See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
- Refer to plans and Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes.
- Contractor to verify, prior to start of demolition, all items to be salvaged with Owner. All demolished areas shall be completed to "broomed and vaccumed" finish, including all
- exposed cavities in adjacent walls and ceilings. Refer to Electrical drawings for night sky compliant fixtures.
- H. If asbestos is encountered, stop work and contact
- Exterior building materails, systems and/or assembiles shall meet 2016 CBC Chapter 7A. County Ordinace requirements (Moderate Fire
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- Dimensioning:
 1) all dimensions are to face of stud, concrete wall or CMU U.N.O. 2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- M. F.F. (finish floor) refers to top-of-finish-floor, U.N.O. All exterior lighting fixtures to be night sky compliant. Connect exterior lighting into existing photocell controlled lighting circuit.
- Patch and repair existing walls, doors, rafters, finishes and features as needed to match adjacent conditions. Finishes shall be prepped for paint at all



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1616 Anacapa Street
Santaga, CA 93101 t 805.957.4632

plumbing engineer:

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MEC, Mechanical Engineering Consultants 1616 Anacapa Street
Santa Barbara, CA 93101
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ANE, Alan Noelle Engineering 1616 Anacapa Street
Santa Barbara, CA 93101
t 805.563.5444

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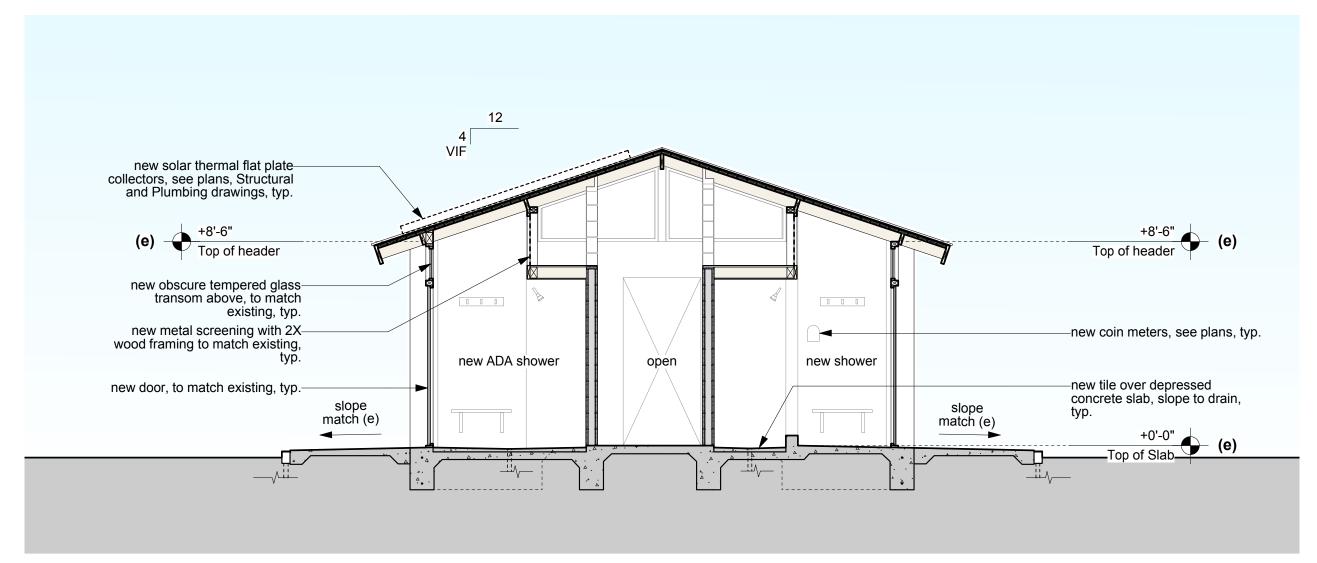
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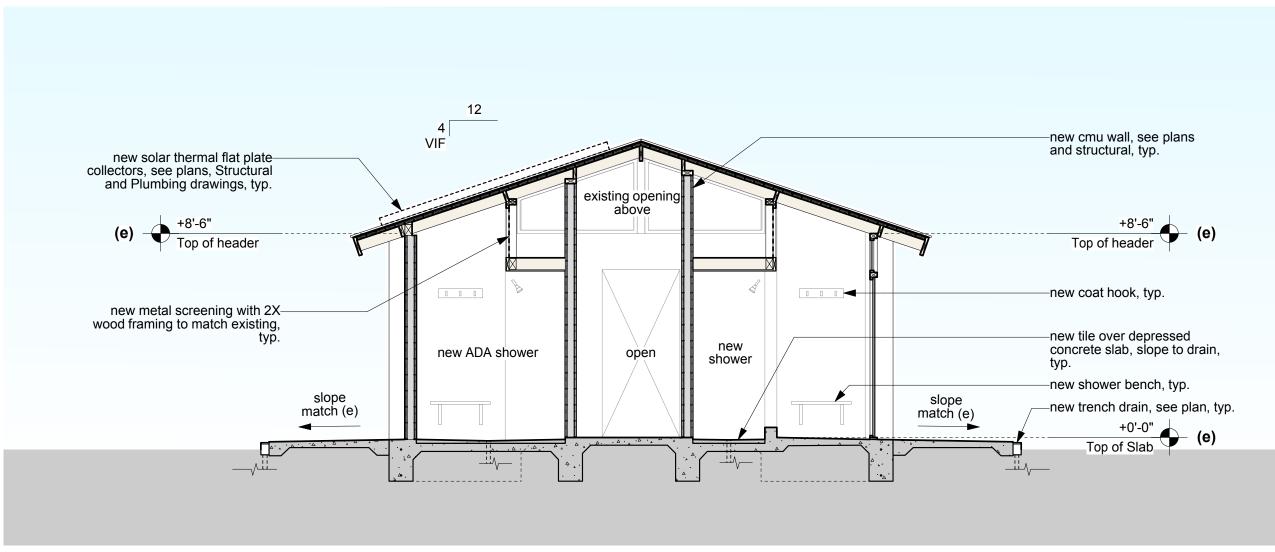
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Shower: Ext. Elevation

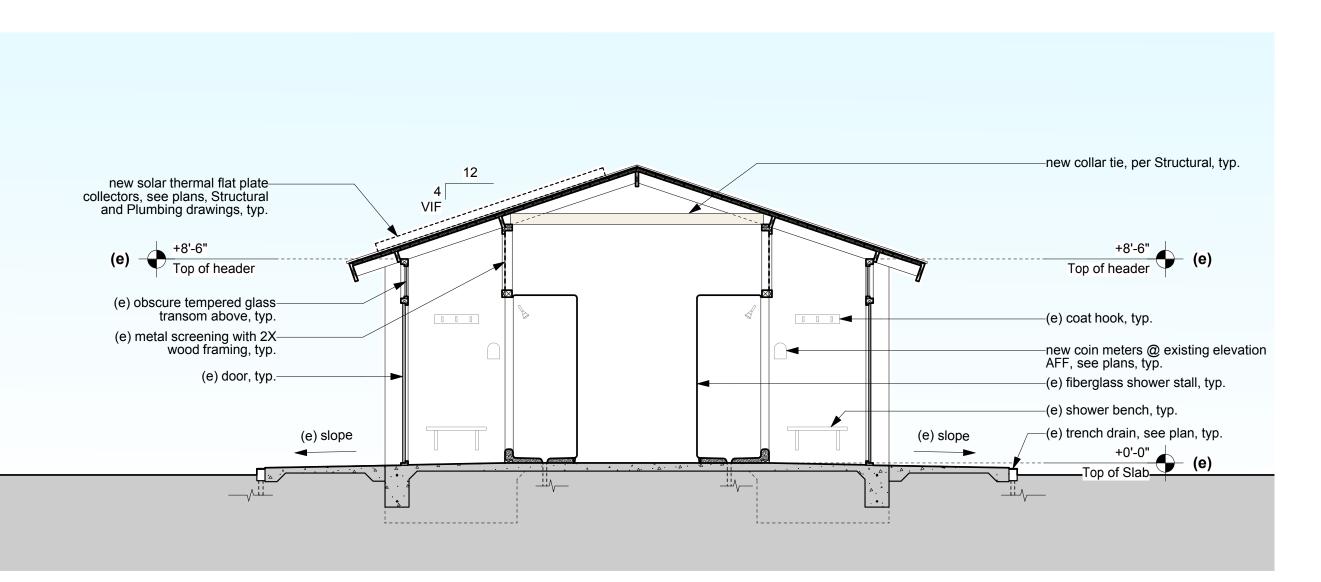
Elevations



North-South Section - Addition 1/4" = 1'-0"



North-South Section - Addition 1/4" = 1'-0"



North-South Section - Existing showers

blackbird architects

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www.bbird.com architect:

Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
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civil engineer:

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Above Grade Engineering, Inc.
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San Luis Obispo, CA 93401
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Tom Hughes, Founder/Principal

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1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

plumbing engineer:

Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

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electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

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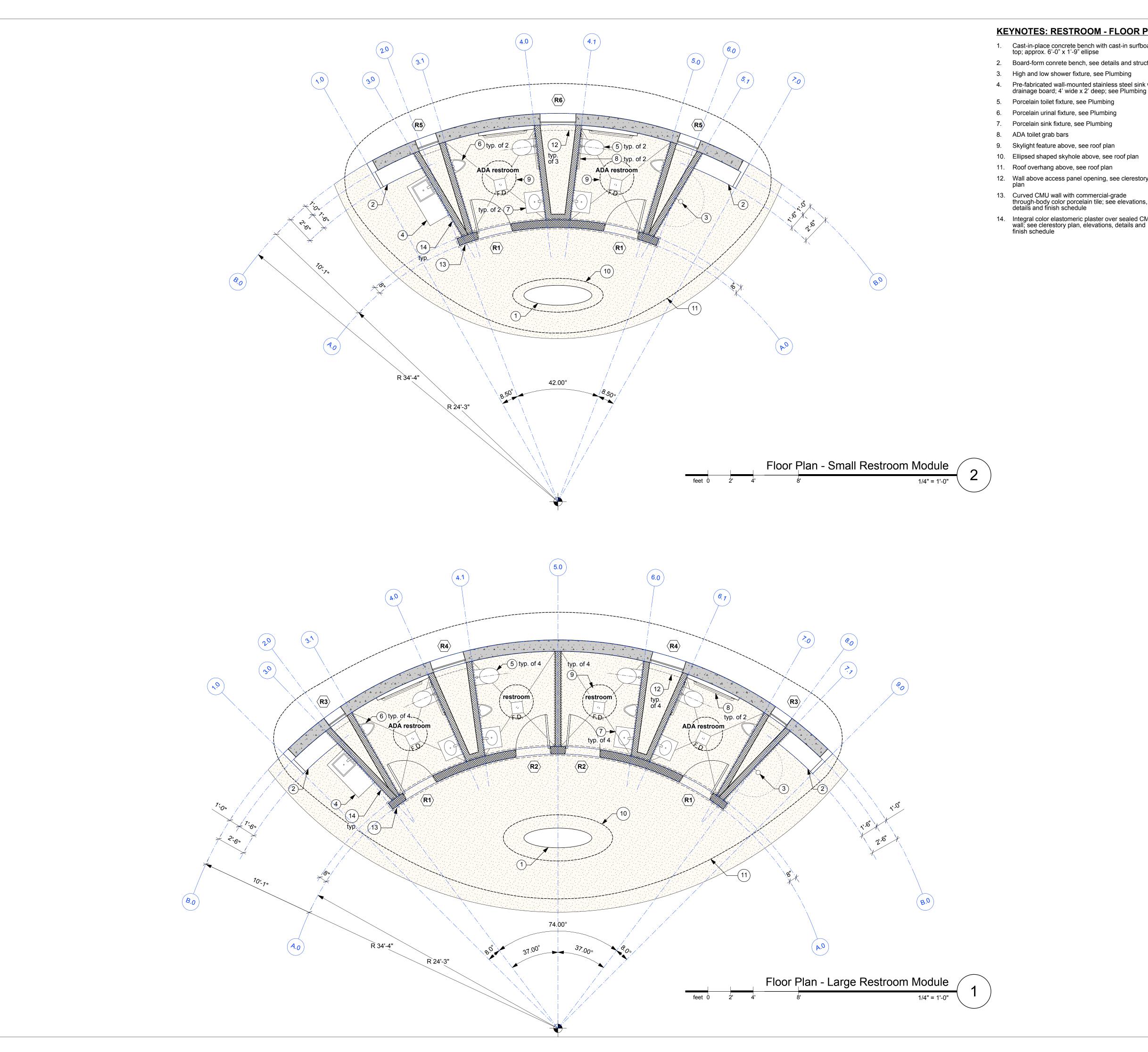
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Shower: Sections



KEYNOTES: RESTROOM - FLOOR PLAN GENERAL NOTES: FLOOR PLAN

- Cast-in-place concrete bench with cast-in surfboard top; approx. 6'-0" x 1'-9" ellipse
- Board-form conrete bench, see details and structural
- Pre-fabricated wall-mounted stainless steel sink with
- drainage board; 4' wide x 2' deep; see Plumbing
- 5. Porcelain toilet fixture, see Plumbing
- 7. Porcelain sink fixture, see Plumbing
- 9. Skylight feature above, see roof plan
- 10. Ellipsed shaped skyhole above, see roof plan
- 11. Roof overhang above, see roof plan
- 12. Wall above access panel opening, see clerestory
- 13. Curved CMU wall with commercial-grade
- 14. Integral color elastomeric plaster over sealed CMU wall; see clerestory plan, elevations, details and

- The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
 - See Cover Sheet for information regarding Archaeological Monitoring of the site during construction.
 - See A1.0 Site Development Plan for indication of restroom replacement module.
 - D. Provide 15" of imported fill material on top of work
 - area at Replaced Restroom #3 per Civil Drawings. E. See Civil plans for site demolition, grading, drainage, erosion control, tree protection, retaining walls, and architect:
 - F. Refer to Structural drawings for applicable notes. Refer to Plumbing, Mechanical and Electrical
 - drawings for applicable notes. Coordinate with Owner for direction regarding
 - adjacent landscape materials and features.
 - Contractor to verify, prior to start of demolition, all items to be salvaged with Owner. If asbestos is encountered, stop work and contact
- Refer to Elevations on A3.3 for exterior finishes.
- Exterior building materails, systems and/or assembiles shall meet 2016 CBC Chapter 7A. County Ordinace requirements (Moderate Fire Hazard).
- M. Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Decking, floors, and underfloor protection per 2016 CBC Section 709A (Moderate Fire Hazard)
- Dimensioning: 1) all dimensions are to face of concrete wall or ĆMU, U.N.O. 2) doors at corners or near intersections of perpendicular walls are located 4" from face of stud to face of jamb U.N.O.
- P. Electrical recepticals, switches/controls, and outlets: 1) Refer to Electrical drawings. 2) Switches shall be placed centered at 36" AFF and 4" from door jamb or corner, U.N.O. 3) Convenience recepticals shall be placed centered
- at 12" AFF or 6" above countertop, U.N.O. Q. See Electrical drawings for night sky compliant
- lighting fixtures. R. F.F. (finish floor) refers to top of slab, U.N.O.
- Contractor to coordinate and reconnect waste lines of new restrooms to existing adjacent septic tank.
- Refer to restroom slab plan on A3.2 for additional

blackbird architects

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Santa Barbara, California 93101

civil engineer:

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 San Luis Obispo, CA 93401
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electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

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Restrooms: Floor Plan

Small Restroom - Floor Plan Large Restroom - Floor Plan

Details for treatment / finish floor assembly

----- feature above

LEGEND: RESTROOM - FLOOR PLAN

--- feature below

recessed floor drain with sand trap (see Plumbing), coordinate with structural slab, 1% slope to drain

interior and site concrete slab per STRUCT., see Finish Schedule and

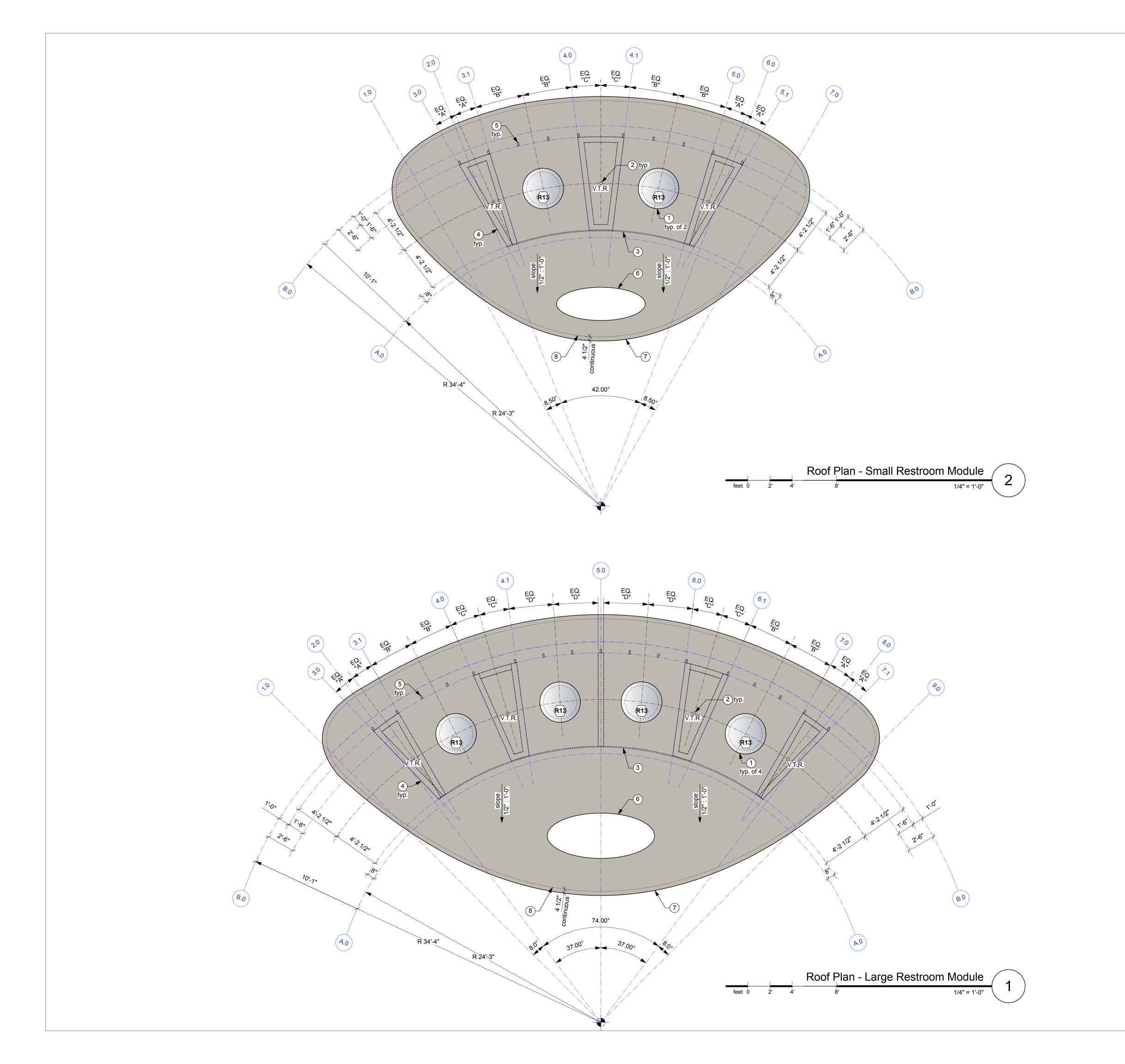
WALL TYPE LEGEND: **RESTROOM - FLOOR PLAN**

board-form concrete wall / feature 6" CMU wall

8" CMU wall

low height wall or feature

*Reference sections, details and structural drawings for additional information.



GENERAL NOTES: ROOF PLAN

- A. The Contractor shall verify existing conditions at the site before commencing work and report any discrepancies to the Architect and Owner prior to starting the work.
- B. See A1.0 Site Development Plan for indication of restroom replacement module.
- C. Refer to Structural drawings for structural demolition and applicable notes.
- Refer to Plumbing, Mechanical and Electrical drawings for demolition and applicable notes. E. Contractor to verify, prior to start of demolition, all items to be salvaged with Owner.
- Refer to Elevations on A3.3 for exterior finishes. G. Dimensioning:
- 1) all dimensions are to face concrete or CMU,
- 2) all T.O. Roof elevations are to top of finish, U.N.O.
- 3) refer to Sections for Top Plate and Beam heights. H. Roof covering, valleys, and gutters per 2016 CBC Section 705A (Moderate Fire Hazard - Chapter 7A)
- Exterior wall protection and openings per 2016 CBC Section 707A (Moderate Fire Hazard)
- Roof pitch for roof covering per 2016 CBC Chapter
- K. Provide minimum slope of 1/4" per 1'-0" for all roof crickets.
- L. F.F. (finish floor) refers to top-of-slab U.N.O.
- M. Exterior building materails, systems and/or assembiles shall meet 2016 CBC Chapter 7A & S.B. County Ordinace requirements (Moderate Fire

KEYNOTES: RESTROOM - ROOF PLAN

3' diameter skylight; frameless; "wet glazed" onto curb on roof; see details and schedule

2. Plumbing vent through roof; contractor to coordinate combined vent stack; install per current applicable

3. Continuous polycarbonate panels below, see plans

5. Exposed steel structure below, see plans 6. Ellipse shaped sky hole in roof, see details

8. Face of fascia below, inset from roof edge; see

LEGEND: RESTROOM - ROOF PLAN

feature below

(Class A assembly)

vent through roof,

see Mechanical and Plumbing

liquid applied roof membrane with cast-in gravel continuously applied around roof edge to face of fascia

frameless skylight "wet glazed" onto

4. CMU wall below, see plans

7. Roof edge, see detail

N. Paint all roof penetrations to match roof.

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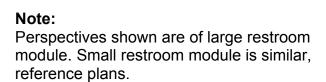
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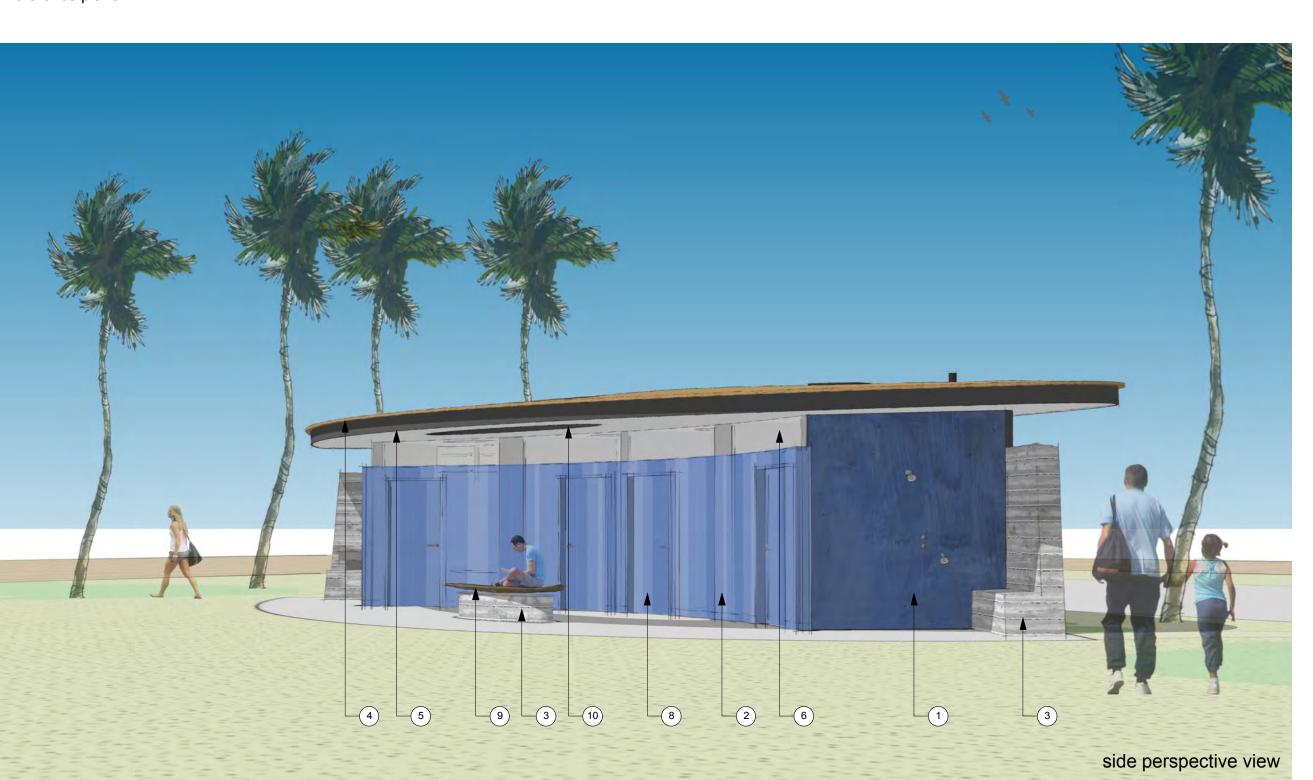
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Restrooms: Roof Plan

Small Restroom - Roof Plan Large Restroom - Roof Plan



back perspective view







EXTERIOR FINISH SCHEDULE

- Elastomeric Plaster Wall
 modeled plaster, integral color
 color: light navy blue
- Porcelain Tile commercial-grade, through-body color, 6" to 12" wide porcelain tiles; butt-jointed; vertical stripes; 3 colors of varying shades of blue
- Board-form Concrete curved wall with 8x boards, sealed color: light sandy gray
- 4 Roofing
 liquid applied roof membrane with cast-in gravel
 (Class A ignition resistand),
 gravel color: light sandy brown
- 5 **Fascia** composite board, epoxy coated color: TBD
- Polycarbonate Panels @ Front continuous translucent panels, tapered with concealed frames color: TBD

- Polycarbonate Panels @ Back continuous horizontal panels, anchored to steel frame color: TBD
- 8 Fiberglass Reinforced Polymer Door & Frame epoxy painted vertical stripes to match porcelain tile color: (3) colors, TBD
- 9 Cast-In Surfboard Bench custom surfboard shaped fiberglass reinforced polymer bench color: TBD
- Fascia @ Ellipsed Shape Skyhole composite board, epoxy coated color: TBD
- Phenolic Access Panel epoxy coated, bolted to frame color: TBD



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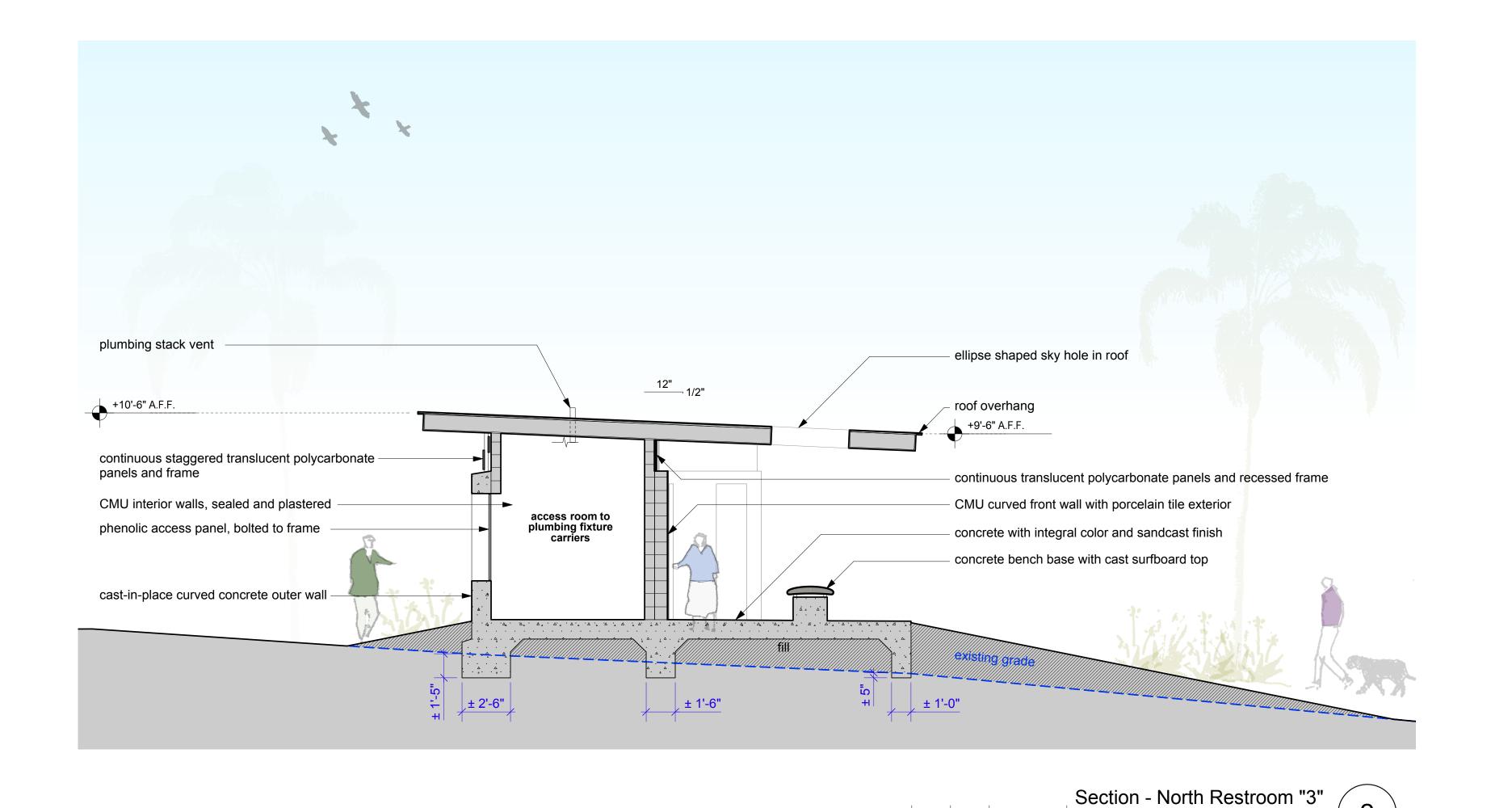
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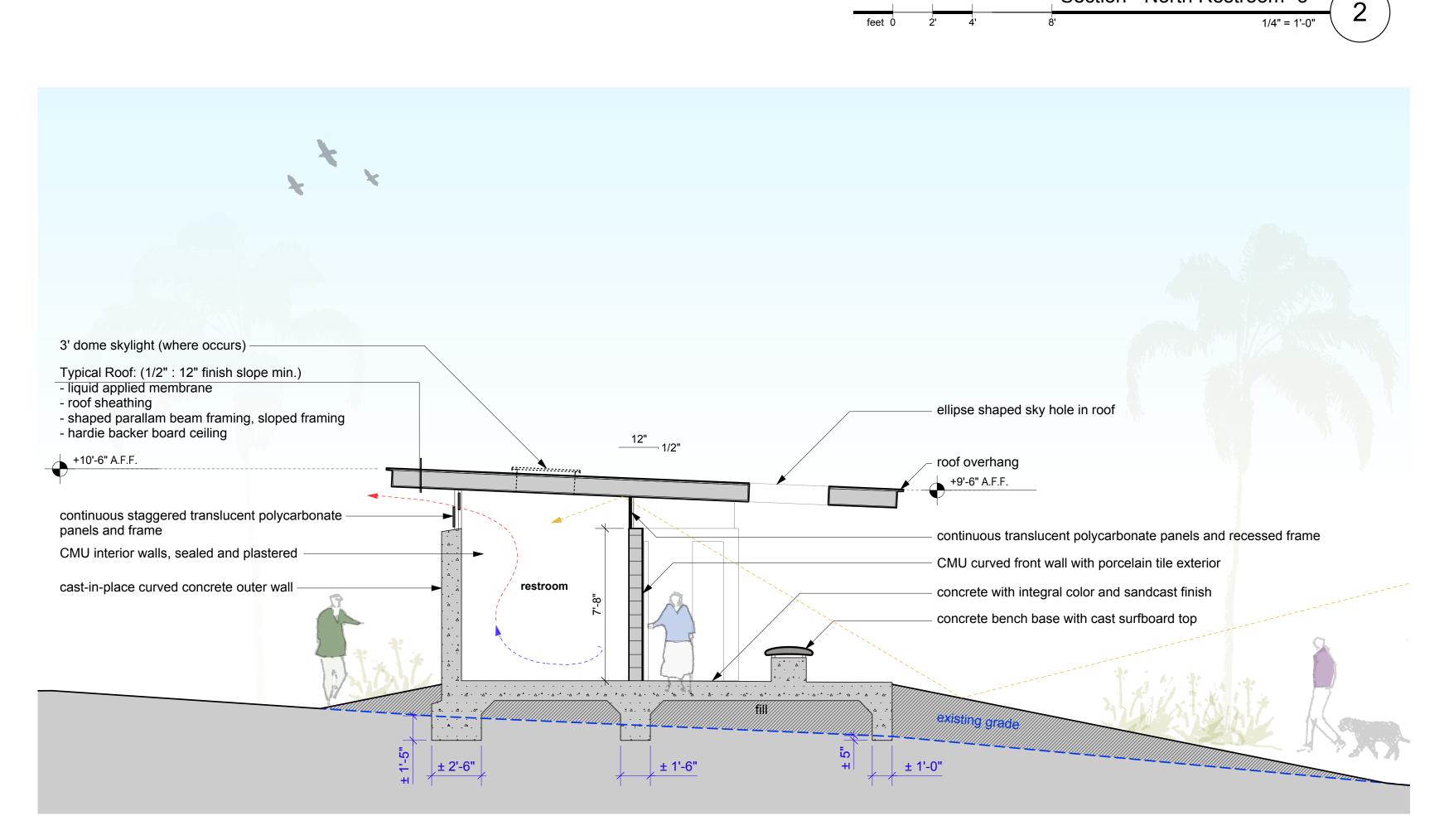
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Ext. Elev.

Perspective Views

A3.3





Section - North Restroom "3" feet 0 2' 4'



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Restrooms: Sections

ELECTRICAL SPECIFICATION NOTES

PROVIDE ALL ELECTRICAL WORK, AND MATERIALS AS SHOWN ON THE DRAWINGS, AS CALLED FOR HEREIN, AND AS IS NECESSARY TO FURNISH A COMPLETE INSTALLATION.

THE INSTALLATION SHALL CONFORM TO ALL THE REQUIREMENTS OF THE CURRENTLY ADOPTED CALIFORNIA ELECTRICAL CODE, STATE OF CALIFORNIA TITLE 24, ALL OTHER APPLICABLE CODES AND ORDINANCES, AND THE REQUIREMENTS OF THE FIRE MARSHALL. ALL EQUIPMENT AND WIRING SHALL BEAR THE APPROVAL STAMP OF UNDERWRITERS' LABORATORY (UL) OR AN APPROVED TESTING LABORATORY. PAYMENT FOR ALL INSPECTION FEES AND PERMITS ARE PART OF THIS CONTRACT.

THIS CONTRACT SHALL BE RESPONSIBLE FOR THE SAFETY, AND GOOD CONDITION, OF ALL MATERIALS AND EQUIPMENT FOR THE ENTIRE INSTALLATION, AND UNIT COMPLETION OF WORK ERECT AND MAINTAIN APPROVED AND SUITABLE BARRIERS, PROTECTIVE DEVICES, AND WARINNG SIGNS. BE FULLY RESPONSIBLE FOR ANY LOSS OR INJURY TO PERSONS OR PROPERTY RESULTING FROM NEGLIGENT MAINTENANCE AND/OR ENFORCEMENT OF ALL SAFETY PRECAUTIONS AND WARNINGS.

COORDINATE THE ELECTRICAL INSTALLATION WITH ALL OTHER TRADES.

ALL SAWCUTTING, TRENCHING, BACKFILLING, AND PATCHING SHALL BE PART OF THIS CONTRACT. ALL BACKFILLING, COMPACTION, AND RESURFACING METHODS SHALL BE APPROVED

FINALIZE ALL ELECTRICAL SERVICE ARRANGEMENTS, INCLUDING VERIFICATION OF LOCATIONS, DETAILS, COORDINATION OF THE INSTALLATION, AND PAYMENT OF ACCRUED CHARGES WITH LOCAL POWER COMPANY. VERIFY LOCATION OF FACILITIES AND DETAILS WITH POWER UTILITY. IN ADDITION TO THE REQUIREMENTS SHOWN IN THE CONTRACT DOCUMENTS, WORK SHALL COMPLY WITH CONSTRUCTION STANDARDS AND SERVICE REQUIREMENTS OF THE RESPECTIVE UTILITIES, INCLUDING ANY SUPPLEMENTAL DRAWINGS ISSUED, AND SHALL BE SUBJECT TO APPROVAL OF THESE UTILITIES.

RACEWAYS FOR ALL CONDUCTORS IN EXPOSED AREAS LESS THAN 5'-0" ABOVE GRADE SHALL BE GALVANIZED STEEL CONDUIT OR PVC SCHEDULE 80, AS PERMITTED BY BUILDING CONSTRUCTION TYPE. UNDERGROUND CONDUITS SHALL BE BURIED A MINIMUM OF 24" BELOW GRADE, AND MAY BE PVC SCHEDULE 40. ALL CONDUIT RISERS FROM UNDERGROUND RUNS SHALL BE PVC SCHEDULE 80 OR RIGID GALVANIZED STEEL. RACEWAYS IN ALL CONCEALED AREAS MAY BE TYPE EMT. FLEXIBLE STEEL CONDUIT MAY BE USED IN CONCEALED AREAS, UP TO A MAXIMUM LENGTH OF 12'-0", IF A SUITABLE BONDING WIRE IS INSTALLED. THIS BONDING CONDUCTOR SHALL BE IN ADDITION TO THE REQUIRED EQUIPMENT GROUNDING CONDUCTOR. CONCEALED RACEWAYS FOR LOW VOLTAGE SYSTEMS WITHIN BUILDING CONSTRUCTION MAY BE EQUAL TO CARLON TYPE "EFT". ALL EMPTY CONDUITS SHALL HAVE A SUITABLE PULLCORD INSTALLED. A SUITABLE GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL LINE VOLTAGE CONDUIT RUNS. NOTE THAT THIS CONDUCTOR IS NOT NECESSARILY SHOWN ON THE DRAWINGS. CONDUCTOR-IN-CONDUIT TYPE SYSTEMS, SUCH AS 'MC' CABLE SHALL NOT BE ALLOWED UNLESS SPECIFICALLY CLEARED BY THE ENGINEER. NO MORE THAN THREE NINETY DEGREE BENDS SHALL BE ALLOWED IN ANY CONDUIT RUN, BETWEEN PULL POINTS.

OUTLET AND JUNCTION BOXES SHALL BE GALVANIZED STEEL, 4" SQUARE BY 1-1/2" DEEP, OR LARGER. THEY SHALL BE FLUSH MOUNTED IN ALL FINISHED AREAS, AND SHALL INCLUDE A PLASTER RING SUITABLE FOR THE DEVICE MOUNTED IN THE BOX. TELEPHONE AND COMMUNICATIONS OUTLETS MAY CONSIST OF THE PLASTER RING, BUT NO BOX, WHERE NOISE TRANSMISSION FROM ONE ROOM TO THE NEXT IS NOT AN ISSUE. UNLESS OTHERWISE NOTED, CONDUIT STUBS SHALL STILL BE REQUIRED FOR ALL COMMUNICATIONS OUTLETS INTO ACCESSIBLE CEILING SPACE. ALL BOXES SHALL BE LISTED FOR THEIR USE, INCLUDING ANY FIRE RATING. ADDITIONALLY, REGARDLESS OF OUTLET LOCATIONS SHOWN ON THESE PLANS. BOXES SHALL BE LOCATED AS REQUIRED TO COMPLY WITH NOISE AND FIRE SEPARATION REQUIREMENTS.

PROVIDE ALL CONDUIT, WIRING, OUTLETS, DISCONNECT OR MANUAL MOTOR STARTER SWITCHES, AND EQUIPMENT NECESSARY TO CONNECT MECHANICAL SYSTEMS AND EQUIPMENT. INSTALL OUTLETS AND CONTROL WIRING FOR LOW VOLTAGE CONTROL EQUIPMENT, IF REQUIRED. PROVIDE ALL REQUIRED CONDUIT FOR LOW VOLTAGE SYSTEMS.

FURNISH AND INSTALL ALL LIGHT FIXTURES, COMPLETE WITH REQUIRED LAMPS, BALLASTS, MOUNTING TRIMS, AND DEVICES. ALL EXISTING FIXTURES TO REMAIN SHALL BE CLEANED, REPAIRED OR REPLACED, AND RELAMPED AS NECESSARY. FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE IN AN APPROVED MANNER. CONNECT T-BAR DROP-IN FIXTURES AT DIAGONAL CORNERS DIRECTLY TO STRUCTURE OVERHEAD USING MINIMUM #12

ALL FIXTURE AND OUTLET HEIGHTS AND LOCATIONS SHALL BE INDIVIDUALLY COORDINATED WITH THE ARCHITECT.

LIGHT SWITCHES SHALL BE 20A, EQUAL TO HUBBELL #CS120 SERIES. DUPLEX RECEPTACLES SHALL BE 20A. EQUAL TO HUBBELL #CRF20 SERIES. "ALL DEVICE COVERPLATES IN FINISHED AREAS SHALL BE SMOOTH PLASTIC, ÖR BRUSHED ALUMINUM, AS SPECIFIED BY THE ARCHITECT. ALL DEVICE COVERPLATES IN UNFINISHED AREAS MAY BE SMOOTH PLASTIC OR PRESSED STEEL, AS SPECIFIED BY THE ARCHITECT. ALL COVERPLATES IN EXTERIOR LOCATIONS SHALL BE WEATHERPROOF. DEVICE AND COVERPLATE COLORS SHALL BE AS SPECIFIED BY THE ARCHITECT. WHERE MULTIPLE DEVICES EXIST, THEY SHALL BE GROUPED TOGETHER, AND GROUPED DEVICES SHALL BE UNDER A SINGLE COVER PLATE. DEVICES ON AN EMERGENCY OR BACKUP POWER SYSTEM SHALL BE RED IN COLOR.

PANELBOARDS SHALL BE EQUAL TO SQUARE D TYPE "NQOD". PROVIDE TYPEWRITTEN CIRCUIT DIRECTORIES PER PANEL SCHEDULES. PANEL DIRECTORIES SHALL INCLUDE THE PANEL OR SWITCHBOARD FROM WHICH THE PANEL IS FED. (1) 3/4" STUB INTO ACCESSIBLE CEILING SPACE IS REQUIRED FOR EVERY (3) SPARES OR SPACES IN RECESSED PANELBOARDS. CIRCUIT BREAKERS USED AS SWITCHES SHALL BE LISTED FOR SWITCHING AND MARKED "SWD" PER NEC 240-83(d).

SWITCHGEAR AND DISTRIBUTION EQUIPMENT SHALL BE SPECIFICATION GRADE, AS MANUFACTURED BY SQUARE D. SIEMENS, OR APPROVED EQUAL. ALL CONNECTIONS, TERMINATIONS, GROUNDING, AND HARDWARE ASSEMBLIES SHALL BE CHECKED BY AN EXPERIENCED SWITCHBOARD INSTALLER PRIOR TO ENERGIZATION. EACH CONNECTION POINT OR FASTENER SHALL BE ALIGNED AND TORQUED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ANCHOR EACH SECTION TO THE FLOOR AND WALL. STRUCTURAL ANCHORAGE SHALL BE PER MANUFACTURER'S SPECIFICATIONS, AND SHALL BE APPROVED BY THE AHJ.

ALL WIRING SHALL BE COPPER. INSULATION FOR BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE "THWN". CONDUCTORS LARGER THAN #6 AWG MAY BE TYPE "THWN" OR "THW".

PROVIDE BRANCH CIRCUIT WIRING, OUTLETS, DEVICES, AND CONNECTIONS TO ALL EQUIPMENT. ELECTRICAL EQUIPMENT AND MATERIAL SHALL BE LISTED, LABELED, AND INSTALLED PER A RECOGNIZED ELECTRICAL TESTING LABORATORY.

STEEL, LIQUID-TIGHT, FLEXIBLE CONDUITS ARE REQUIRED FOR MOTOR CONNECTIONS, CONNECTIONS TO LIQUID-HANDLING EQUIPMENT, AND CONNECTIONS IN WET OR EXTERIOR

PROVIDE CONDUIT SEALS FOR ALL CONDUITS PENETRATING WEATHERPROOFING OR WEATHERPROOF ENCLOSURE ENVELOPE. MASTIC SEAL ALL CONDUIT OPENING PENETRATIONS COMPLETELY WATERTIGHT.

UNLESS SHOWN OTHERWISE, FUSED DISCONNECT SWITCHES SHALL BE PROVIDED WITH LOW-PEAK, DUAL ELEMENT FUSES SIZED TO EQUIPMENT NAMEPLATE FUSE CURRENT RATING. MANUAL MOTOR STARTERS SHALL BE PROVIDED WITH SIMILARLY SIZED FUSIBLE ELEMENTS. SWITCHES EXPOSED TO THE WEATHER SHALL BE TYPE NEMA 3R. ALL MOTOR DISCONNECTING MEANS SHALL BE HORSEPOWER RATED, BASED ON UNIT SERVED.

PANELBOARDS, TERMINAL CABINETS, SWITCHGEAR, DISCONNECTS, DISTRIBUTION BREAKERS, AND MISCELLANEOUS ELECTRICAL EQUIPMENT, SHALL HAVE LAMINATED, WHITE LETTERS ON BLACK BACKGROUND, PHENOLIC NAMEPLATES PROPERLY IDENTIFYING EACH ITEM.

PROVIDE ALL MATERIALS AND WORK REQUIRED TO LOCATE, AND CONNECT TO, EXISTING DISTRIBUTION EQUIPMENT. UPDATE EXISTING PANELBOARDS WITH NEW TYPEWRITTEN CIRCUIT DIRECTORIES, AND FURNISH NEW CIRCUIT BREAKERS AS REQUIRED. EXISTING CIRCUIT DESCRIPTIONS IN EXISTING PANEL DIRECTORIES SHALL BE USED FOR EXISTING CIRCUITS TO REMAIN IF THEY ARE MORE DETAILED THAN THE PANEL SCHEDULES SHOWN IN THESE PLANS. RECONNECT ANY BRANCH CIRCUITS INTERRUPTED DURING DEMOLITION THAT ARE TO REMAIN. PANELBOARD CIRCUIT DIRECTORIES SHALL INCLUDE WHERE THE PANEL IS FED FROM.

RE-USE OF EXISTING BRANCH CIRCUIT CONDUITS AND WIRING IS ACCEPTABLE IF IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND APPROVED BY THE AHJ.

INFORMATION SHOWN WAS OBTAINED FROM "AS-BUILT" DRAWINGS. VISIT THE SITE PRIOR TO BID TO VERIFY EXISTING CONDITIONS, AND MAKE ALLOWANCE FOR VARIATIONS TO THAT WHICH

(5) COPIES OF SUBMITTAL DRAWINGS ARE REQUIRED FOR DISTRIBUTION EQUIPMENT, LIGHT FIXTURES, DEVICES, AND COVERPLATES. SUBSTITUTIONS MAY BE APPROVED BY THE ENGINEER IF THE SUBMITTAL SHOWS A REASONABLE BENEFIT TO THE OWNER. NO PRIOR APPROVAL FOR SUBSTITUTIONS SHALL BE GIVEN BEFORE SUBMITTALS. AS SUCH, BID COMPARISONS MUST BE MADE BASED ON SPECIFIED EQUIPMENT. THE ENGINEER RESERVES THE RIGHT TO REJECT SUBMITTALS BASED ON INCOMPLETENESS OF THE SUBMITTAL, AS WELL AS NOT MEETING THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS. SUBMITTALS MUST BE PROVIDED FOR SPECIFIED EQUIPMENT, AS WELL AS ANY SUBSTITUTIONS.

THE ELECTRICAL DRAWINGS SHALL BE TREATED AS DIAGRAMATIC IN NATURE. THEY SHALL NOT BE USED TO DETERMINE EXACT DIMENSIONS OR LOCATIONS FOR ANY DEVICE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING WITH ARCHITECTURAL ELEMENTS AND PLANS, OTHER DISCIPLINES, THE ARCHITECT, AND OWNER, FOR ALL LOCATIONS, BEFORE COMPLETING ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN RELOCATING ANY DEVICE OR CONNECTION INSTALLED IN THE WRONG LOCATION. THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR COORDINATION.

		LIGHT FIXTURE	SCHEDUL	-E	
FIXT.	MANUFACTURER	CATALOGUE NUMBER	MOUNTING	LAMPING	WATTS
Α	LITHONIA	LED WORK LIGHT, ALLOW \$300		LED INCLUDED	
В	KENALL	LED VANDALL PROOF, DARK SKYS WALL PACK, ALLOW \$800	HIGH ON WALL	LED INCLUDED	
С	KENALL	LED VANDALL PROOF WALL PACK - NO SHADE, ALLOW \$600	WALL, OVER MIRROR	LED INCLUDED	
C1	KENALL	SAME AS "C", BUT WITH BUILT-IN PHOTOCELL, ALLOW \$700	HIGH ON WALL	LED INCLUDED	
D	LITHONIA	LD6N SERIES, WITH LENSE, ALLOW \$300	RECESSED, CEILING	LED INCLUDED	

GENERAL NOTES

★ GFI TYPE BREAKER

ALL MOUNTING HEIGHTS AND EXACT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT, BEFORE ROUGH-IN. MOUNTING OUTLET BOX, OR FIXTURE, TO NEAREST STUD IS NOT ACCEPTABLE.

ALL INTERIOR FLUORESCENT OR LED LAMPS SHALL BE 3500K COLOR, TYPE SP35, UON. ALL EXTERIOR FLUORESCENT OR LED LAMPS SHALL BE 2700k COLOR, TYPE SP27, UON.

ALL FINISHES SHALL BE CHOSEN BY ARCHITECT. FOR BID PURPOSES, ASSUME A STANDARD FINISH, UON.

DESCRIPTION/LOCATION	ØΑ	øΒ	CIRCUIT BREAKER	CIR	CUIT MBER	CIRCUIT BREAKER	ØΑ	øΒ	DE	SCRIPTION/LOCATION	
CABIN #1	500		30/2	1	2	30/2	500		CAMP	ING SPACE 38	
"		500	l ý	3	4	V		500			
V			20/1	5	6	20/1			V		
CABIN #2		500	30/2	7	8				SPAC	Ε	
	500		<u> </u>	9	10						
V			20/1	11	12						
CABIN #3	500		30/2	13	14						
N/		500	V	15	16						
<u>V</u>			20/1	17	18						
CABIN #4	F00	500	30/2	19	20						
W	500		00.4	21	22						
SPACE			20/1	23 25	24 26						
SPACE				27	28						
V			 	29	30				V		
CONNECTED LOAD 2.50 2.50							-	5.00 kVA CONN.			
* LONG CONTINUOUS LOAD (LC) OR LAR	SEST M								0.00 LCL & LML	
* LONG CONTINUOUS LOAD (LCL) OR LARGEST MOTOR LOAD (LML)											
										5.00 TOTAL kVA	
△ PROVIDE CIRCUIT BREAKER LO										21 TOTAL AMPS	

ELECTRICAL SYMBOLS 235 Palm Ave. Santa Barbara CA 二 93101 USA LIGHTING CONDUIT & WIRE - t 805.957.1315 f 805.957.1317 FLUORESCENT (LETTER DESIGNATION REFERS TO FIXTURE TYPE AS SPECIFIED IN THE LIGHT FIXTURE SCHEDULE) www.bbird.com - (8) #12 + ground MAX. IN 3/4" CONDUIT ||| ||| ||| ||| (16) #12 + ground MAX. IN 1" CONDUIT architect: RECESSED DOWNLIGHT ---- BELOW GRADE OR FLOOR Kenneth G. Radtkey ───── STUBBED AND CAPPED SURFACE MOUNTED Blackbird Archtiects Inc. — ·· — WIREMOLD G4000 235 Palm Avenue SURFACE, WALL MOUNTED Santa Barbara, California 93101 ----P---- PLUGMOLD, WIREMOLD G20GBAX12 — t 805.957.1315 PENDANT MOUNTED SWITCHES & CONTROLS civil engineer: TRACK WITH TRACK HEADS Scott Stokes Above Grade Engineering, Inc. → FLUORESCENT STRIP S SINGLE POLE (SPST) 1304 Broad Street TWO POLE (DPST) San Luis Obispo, CA 93401t 805.540.5115 EXIT SIGN (SINGLE OR DOUBLE FACED WITH DIRECTIONAL ARROWS AS SHOWN) S_3 3-WAY 4-WAY WITH PILOT LIGHT — structural engineer: WALL MOUNTED RECEPTACLES DOOR OPERATED Michelle Good TIMER Taylor & Syfan 1304 Broad Street KEY OPERATED 20A DUPLEX, VERTICALLY MOUNTED San Luis Obispo, CA 93401 (RATED FOR THE LAMP TYPES AND WATTAGE OF WALLBOX DIMMER THE LOAD THEY CONTROL, INCLUDING REQUIRED DERATING FOR MULTIGANG INSTALLATIONS) 20A HALF SWITCHED DUPLEX RECEPTACLE — t 805.540.5115 20A DUPLEX, HORIZONTALLY MOUNTED DOUBLE DUPLEX mechanical engineer: CATV AND/OR VIDEO FLOOR OUTLETS Tom Hughes, Founder/Principal TELEPHONE AND/OR COMMUNICATIONS MEC, Mechanical Engineering Consultants (PROMDE 3/4"CO INTO ACCESIBLE CEILING SPACE, UON) 1616 Anacapa Street 20A DUPLEX (OUTLETS SHALL BE FLUSH, RECESSED, OR PEDESTAL NON-STANDARD OUTLET Santa Barbara, CA 93101 TYPE, AND SHALL BE AS SPECIFIED IN THE PLANS AND SPECIFICATIONS) (SEE PLANS FOR NEMA CONFIGURATION) — t 805.957.4632 plumbing engineer: LETTER DESIGNATIONS MISC. OUTLETS & EQUIPMENT Linda Altomare, Principal AC ABOVE COUNTER (MOUNT ABOVE COUNTER SPLASH, BUT NOT ABOVE +48" TO TOP OF BOX, AS DIRECTED BY ARCHITECT MEC, Mechanical Engineering Consultants TIME SWITCH 1616 Anacapa Street THERMOSTAT (+44" STANDARD UON) AHJ AUTHORITY HAVING JURISDICTION Santa Barbara, CA 93101 — t 805.957.4632 JUNCTION BOX CONDUIT ONLY (WITH PULL CORD) dns DO NOT SWITCH (LIGHT FIXTURE SHALL BE WRED HOT) DISCONNECT SWITCH electrical engineer: EX EXISTING, TO REMAIN TRANSFORMER EXR EXISTING, TO BE REMOVED Alan Noelle, Principal RELAY OR CONTACTOR (IN NEMA 1 ENCLOSURE UON) ANE, Alan Noelle Engineering FULL LOAD AMPS MANUAL MOTOR STARTER 1616 Anacapa Street CONNECT, AS REQ'D TO GARBAGE DISPOSAL Santa Barbara, CA 93101 SPEAKER _ t 805.563.5444 GFI GROUND FAULT INTERRUPTING VOLUME CONTROL SWITCH GWS GANG WITH SWITCH DOORBELL MCA MINIMUM CIRCUIT AMPS FIRE ALARM PULL STATION Jalama Beach MCB MAIN CIRCUIT BREAKER FIRE ALARM HORN MFS MAXIMUM FUSE SIZE FIRE ALARM CHIME **∶County Park** MLO MAIN LUGS ONLY FIRE ALARM VISUAL NIGHT LIGHT (LIGHT FIXTURE TO BE LEFT ON 24-HOURS A DAY) FIRE ALARM AUDIO/VISUAL LOCATE, AS REQ'D FOR REFRIGERATOR FIRE ALARM SMOKE DETECTOR EXISTING, RELOCATED TO NEW POSITION FIRE ALARM HEAT DETECTOR TW TANDEM WIRED FIRE ALARM SMOKE/CO DETECTOR TYP TYPICAL OS OS OCCUPANCY SENSOR (CEILING OR WALL MOUNTED) UON UNLESS OTHERWISE NOTED (PC) PHOTOCELL WM OUTLET MOUNTED IN WIREMOLD UTILITY OR TENANT METER, INCLUDING SOCKET AND ALL REQUIRED ACCESSORIE WP WEATHERPROOF (NEMA 3R IF ENCLOSURE) SOCKET AND ALL REQUIRED ACCESSORIES ☐ 9999 Jalama Road WT WALL TELEPHONE (MOUNTING HEIGHT, AS DIRECTED BY ARCHITECT) B UTILITY METER SOCKET AND BLANK COVER FOR FUTURE METER Lompoc, CA 93436 FOR FUTURE METER ADA OUTLET HEIGHT REQUIREMENTS APN

PER CBC 11B-308.1, ALL POWER, LOW VOLTAGE, AND SWITCH CONTROLS SHALL BE LOCATED AS FOLLOWS:

MAXIMUM HEIGHT WITH 20"-25" OBSTRUCTION. FORWARD APPROACH SHALL BE +44" TO TOP OF OUTLET

MAXIMUM HEIGHT WITH 1"-24" OBSTRUCTION, SIDE APPROACH SHALL BE +46" TO TOP OF OUTLET BOX.

MAXIMUM HEIGHT WITHOUT OBSTRUCTION SHALL BE +48" AFF TO TOP OF OUTLET BOX.

MINIMUM HEIGHT AFF SHALL BE +15" TO BOTTOM OF OUTLET BOX.



Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101

phone: 805.563.5444 fax: 805.456.5901 alan@aneng.com Electrical Engineering Lighting Design B1702E10.dwg 10.19.18

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083-510-064 (AG-IÍ)

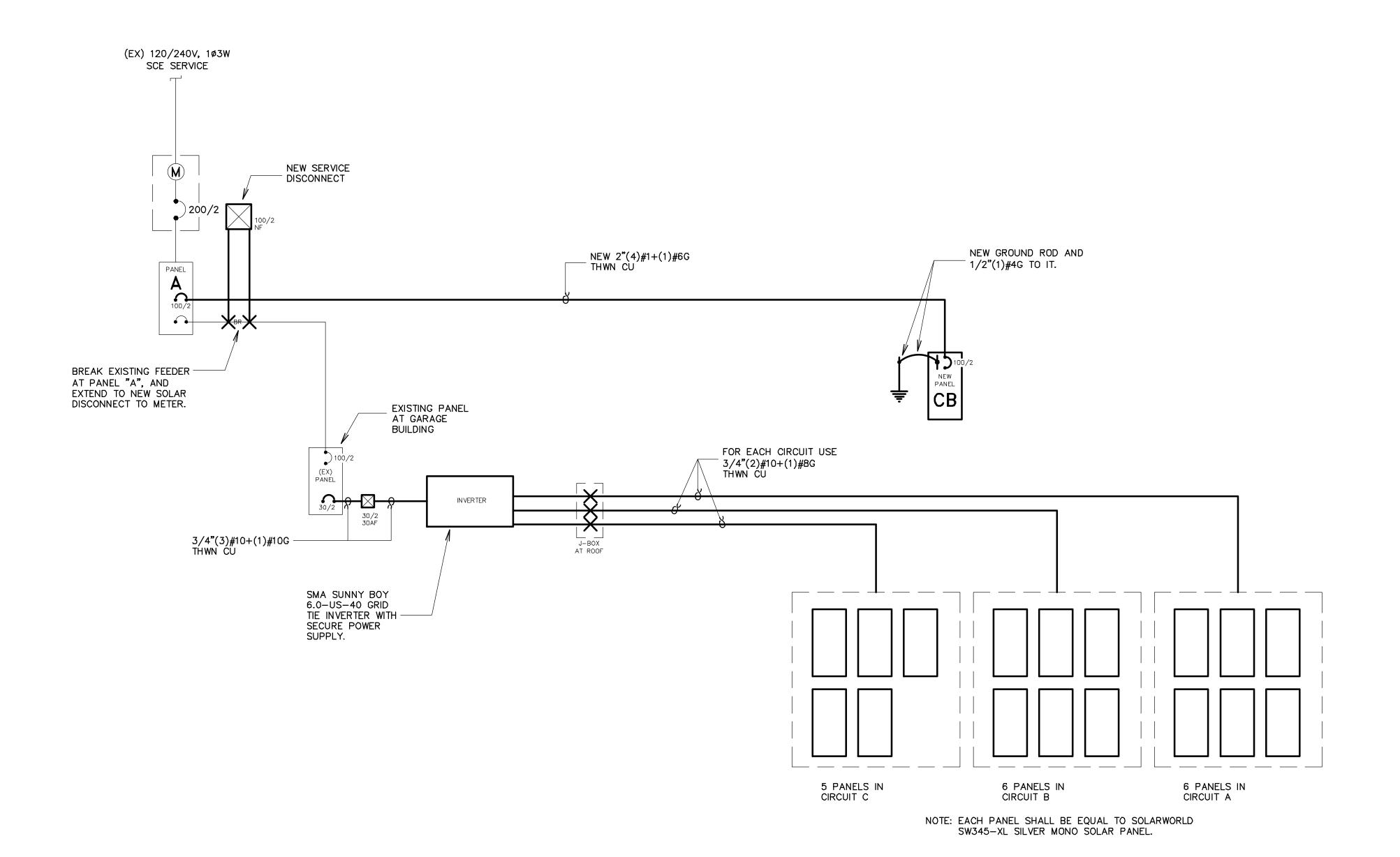
-Blackbird

Architects Inc.

Electrical

Symbols, Specs, Schedules

– P&D Resubmittal



ONE LINE DIAGRAM

=Blackbird Architects Inc. 235 Palm Ave.Santa Barbara CA93101 USA _ t 805.957.1315 f 805.957.1317 www.bbird.com architect: Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315 _ civil engineer: Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115 structural engineer: Michelle Good
Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115 mechanical engineer: Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632 plumbing engineer: Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632 electrical engineer: Alan Noelle, Principal
ANE, Alan Noelle Engineering 1616 Anacapa Street
 Santa Barbara, CA 93101
 t 805.563.5444 Jalama Beach County Park 9999 Jalama RoadLompoc, CA 93436 APN _ 083-510-001 (REC) _ 083-510-064 (AG-II) Revisions

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One Line

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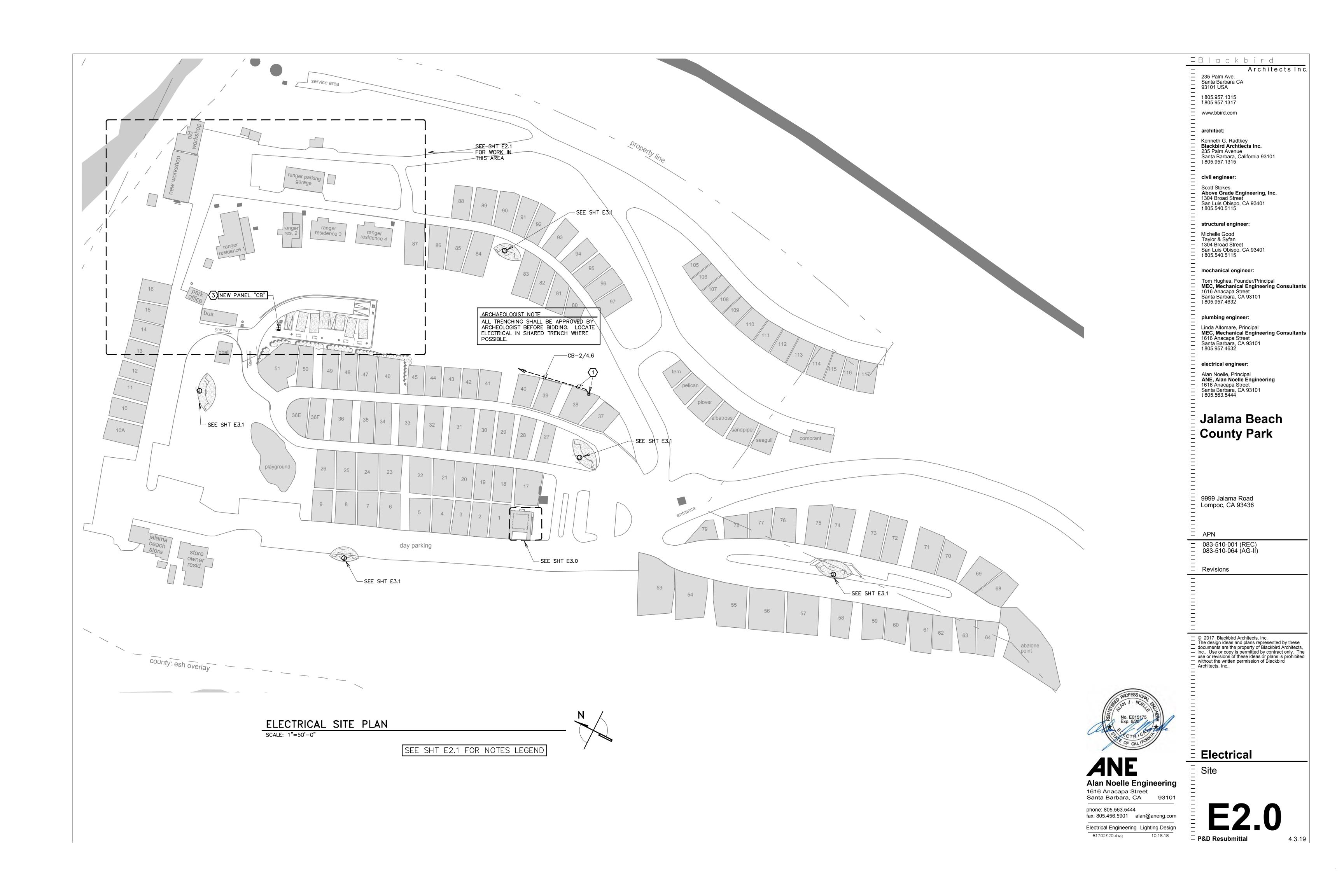
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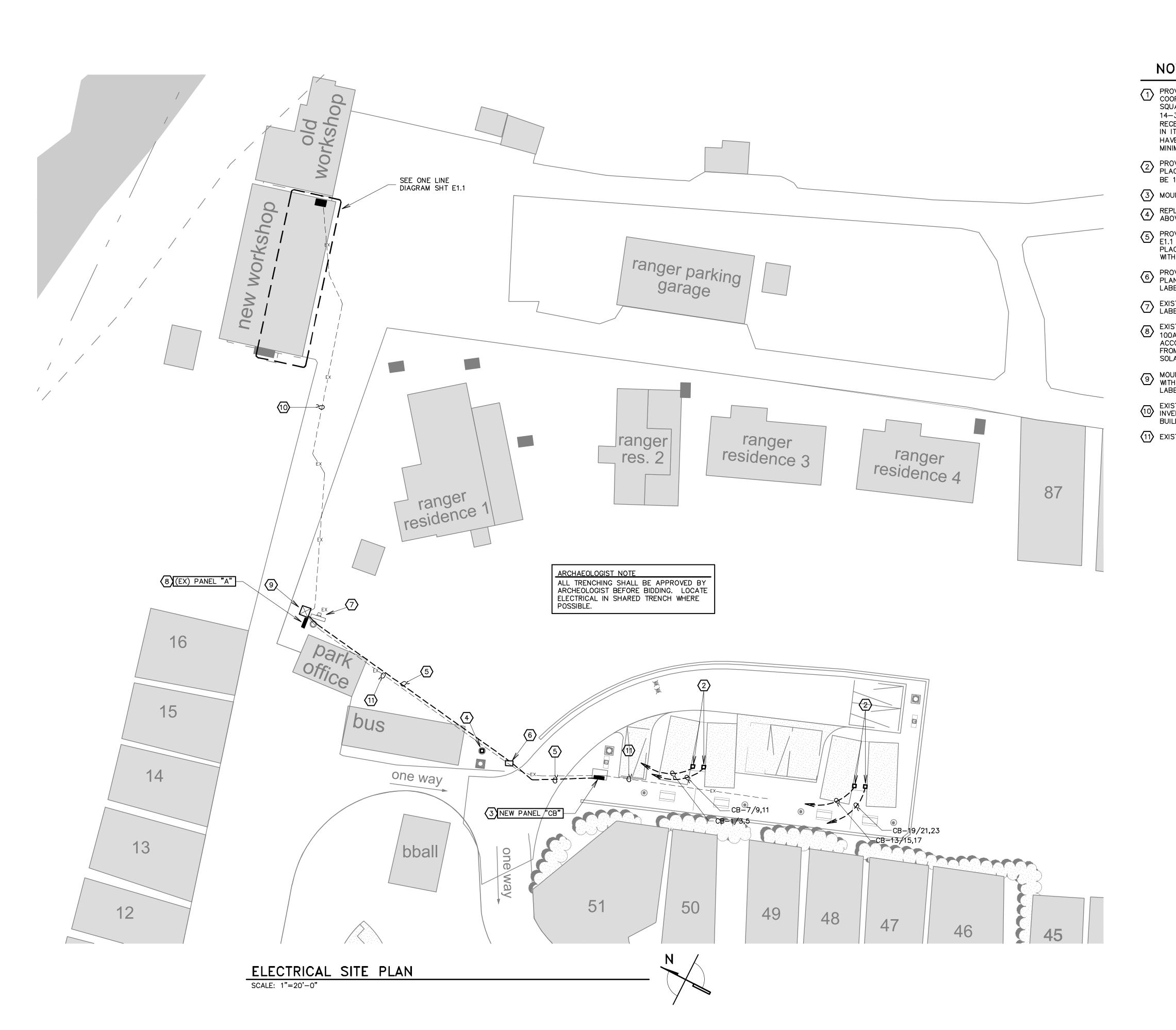
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fax: 805.456.5901 alan@aneng.com Electrical Engineering Lighting Design

Electrical

P&D Resubmittal





NOTES LEGEND

- PROVIDE A NEW RV HOOKUP PEDESTAL, COMPLETE WITH CONCRETE BASE. COORDINATE EXACT LOCATION WITH OWNER. UNIT SHALL BE EQUAL TO SQUARE D, EATON, MURRAY, OR EQUAL. PEDESTAL SHALL HAVE A NEMA 14-30R 30A/2p4w RECEPTACLE AND A NEMA 5-20R TYPE DUPLEX RECEPTACLE AS WELL AS A 30/2 BREAKER AND A 20/1 GFI TYPE BREAKER IN IT IN A STANDARD CONFIGURATION. COORDINATE WITH OWNER IF THEY HAVE A PREFERRED VENDOR. FEEDER SHALL BE 1"(5)#8+(1)#10G, BURIED A MINIMUM OF 24"BELOW GRADE.
- PROVIDE AN RV OUTLET, SIMILAR TO NOTE 1, ABOVE. COORDINATE EXACT PLACEMENT WITH OWNER AT EACH LOT. THE FEEDER FOR THESE UNITS SHALL BE 1"(5)#10+(1)#10G, BURIED A MINIMUM OF 24" BELOW GRADE.
- 3 MOUNT NEW PANEL IN SHED, AS REQUIRED.
- REPLACE EXISTING rV FEED ON POST WITH NEW RV PEDESTAL. SEE NOTE 1 ABOVE. RECONNECT TO EXISTING FEEDER, AS REQUIRED.
- PROVIDE NEW PANEL CB FEEDER. SEE ONE LINE DIAGRAM, ON SHEET E1.1 FOR SIZING. BURY CONDUIT A MINIMUM OF 24"BELOW GRADE, AND PLACE A METALLIC WARNING TAPE 12" ABOVE CONDUIT. RUN IN PARALLEL WITH EXISTING ELECTRICAL UTILITY LINE, AND USE SAME TRENCH.
- PROVIDE A 12"x24" CONCRETE OR COMPOSITE PULL BOX IN PLANTING. PROVIDE WITH A BOLT—DOWN TRAFFIC RATED LID LABELLED 'ELEC". PLACE BOX ON A MINIMUM OF 6" OF CRUSHED GRAVEL.
- EXISTING METER MAIN FEEDING EXISTING PANEL "A". PROVIDE NEW WARNING LABEL REGARDING SOLAR FEED NEXT TO IT.
- EXISTING NEMA 3R PANEL A. USE EXISTING SPACE TO PLACE A NEW 100A/2P BREAKER TO FEED PANEL CB. UPDATE PANEL DIRECTORY ACCORDINGLY. SEE ONE LINE DIAGRAM. INTERCEPT EXISTING PANEL FEEDER FROM GARAGE PANEL AT THIS LOCATION, AND EXTEND NEW SCE REQUIRED SOLAR DISCONNECT.
- MOUNT A NEW, NON-FUSED, DISCONNECT NEXT TO METER/MAIN AND PROVIDE WITH PROPER SOLAR DISCONNECT LABEL, AS WELL AS REQUIRED WARNING
- EXISTING GARAGE FEEDER TO TIE INTO SOLAR. SOLAR POWER SYSTEM, AND INVERTERS ARE TO BE MOUNTED ON THE GARAGE ROOF AND SIDE OF BUILDING, AS REQUIRED.
- 11) EXISTING ELECTRICAL UTILITY LINE, PER PC LOCATOR SURVEY.

- Architects Inc.

235 Palm Ave.Santa Barbara CA93101 USA

-Blackbird

t 805.957.1315 f 805.957.1317

www.bbird.com

architect:

Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

- civil engineer:

Scott Stokes
Above Grade Engineering, Inc.
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

Michelle Good Taylor & Syfan 1304 Broad Street San Luis Obispo, CA 93401 t 805.540.5115

mechanical engineer:

Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street
Santa Barbara, CA 93101

t 805.957.4632

plumbing engineer:

Linda Altomare, Principal
 MEC, Mechanical Engineering Consultants
 1616 Anacapa Street
 Santa Barbara, CA 93101
 t 805.957.4632

electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.563.5444

Jalama BeachCounty Park

9999 Jalama RoadLompoc, CA 93436

= = APN

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Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101

phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com

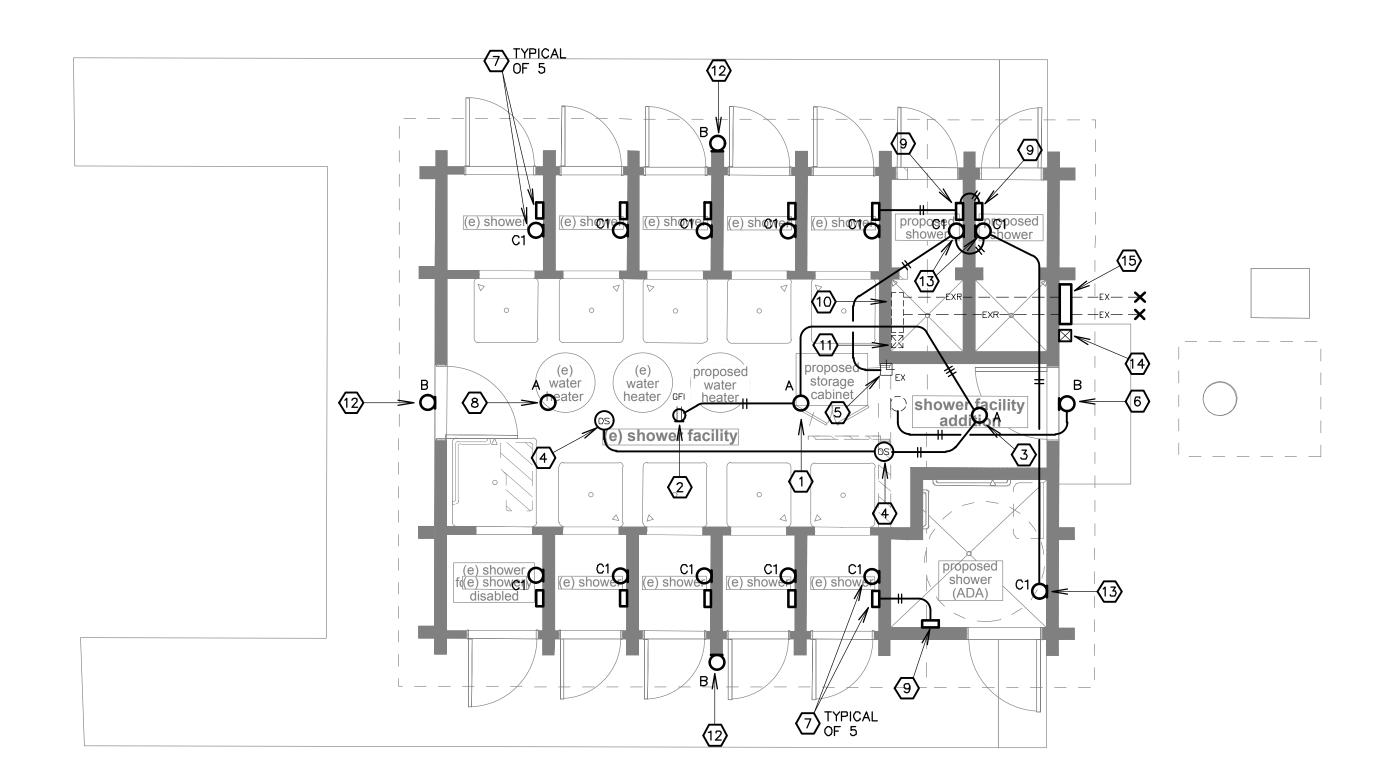
Electrical Engineering Lighting Design

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Electrical

E Site

E21



(e) lift station

(e) propane tank

SHOWER ELECTRICAL PLAN SCALE: 1/4"=1'-0"



SHEET NOTES LEGEND

- FIXTURE WITH NEW LED FIXTURE, AS SHOWN.
- PROVIDE A NEW, DUAL TECH OCCUPANCY SENSOR, WITH CATSE CABLE CONNECTIONS BETWEEN UNITS, AND TIE INTO WORK SPACE LIGHTING. UNITS
- RELOCATE AND RECONNECT EXISTING SHOWER LIGHTING AND CONTROLS TIME CLOCK SYSTEM, AS REQUIRED.
- RELOCATE EXISTING EXTERIOR LIGHTING CIRCUIT TO OVER NEW EXTERIOR DOOR, AND RECONNECT TO NEW LIGHT OVER DOOR, AS REQUIRED.
- FOR EACH OF THE EXISTING SHOWERS, REPLACE EXISTING LIGHT WITH NEW LED LIGHT (INCLUDING INTEGRAL PHOTOCELL). RUN LIGHT THROUGH EXISTING TIME CLOCK CIRCUIT. IN ADDITION, RECONNECT REPLACEMENT COIN OPERATION MACHINE IN EACH UNIT, AS REQUIRED.
- EXISTING WORK SPACE LIGHT. REPLACE WITH NEW LED LIGHT AND RECONNECT TO EXISTING CIRCUIT.
- PROVIDE ALL CONNECTIONS FOR NEW COIN OPERATION MACHINE, AS REQUIRED. PULL POWER FROM EXISTING COIN MACHINE CIRCUIT.
- EXISTING PUMP STATION SHUT OFF AND CONTROLLER. COORDINATE WITH OWNER AND RELOCATE AS SHOWN, AND RECONNECT TO EXISTING FEEDERS.
- EXISTING BUILDING POWER DISCONNECT. RELOCATE TO THE NEW EXTERIOR OF THE BUILDING, AS SHOWN.
- REPLACE EXISTING EXTERIOR LIGHT WITH NEW LED LIGHT. RECONNECT INTO EXISTING PHOTOCELL CONTROLLED LIGHTING CIRCUIT.
- PROVIDE A NEW WALL MOUNTED LIGHT, WITH INTEGRAL PHOTOCELL. NEW UNITS SHALL MATCH EXISTING. RUN THROUGH THE EXISTING TIME CLOCK CONTROL LIKE THE EXISTING. SAME CIRCUIT MAY BE REUSED.
- NEW LOCATION FOR BUILDING FUSED DISCONNECT. PROVIDE APPROPRIATE LABEL.
- NEW LOCATION FOR EXISTING PUMP CONTROLLER. NOTE THAT ALL CONDUITS FOR THIS UNIT COME FROM UNDERGROUND IN THE SAME DIRECTION, SO THEY JUST NEED TO BE INTERCEPTED BELOW GRADE, AND BROUGHT UP TO PANEL IN THE NEW LOCATION. WIRING WILL NEED TO BE REMOVED AND REPULLED, AS REQUIRED. NOTE THAT THESE CONDUITS HAVE SEAL-OFFS IN THEM, THAT MUST BE DUPLICATED IN THE NEW LOCATION.

EXISTING WORK LIGHT LOCATION IN EXISTING SHOWER BUILDING. INTERCEPT LIGHTING CIRCUIT HERE TO EXTEND (SEE NOTE 3), AND REPLACE EXISTING

- 2 INTERCEPT EXISTING HOT CIRCUIT AT LIGHT, AND EXTEND DOWN TO NEW GFI DUPLEX FOR WATER HEATER CIRC PUMP. COORDINATE WITH MECHANICAL.
- NEW WORK SPACE LIGHT TO BE TIED INTO EXISTING CIRCUIT. SEE NOTE 1, ABOVE.
- SHALL BE EQUAL TO SENSOR SWITCH DUAL TECH.

= Blackbird

Architects Inc. ___ 235 Palm Ave. Santa Barbara CA

93101 USA

t 805.957.1315 f 805.957.1317

www.bbird.com

architect:

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Blackbird Archtiects Inc. 235 Palm Avenue Santa Barbara, California 93101 t 805.957.1315

civil engineer:

Scott Stokes
Above Grade Engineering, Inc. 1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

structural engineer:

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MEC, Mechanical Engineering Consultants 1616 Anacapa Street
 Santa Barbara, CA 93101
 t 805.957.4632

_ plumbing engineer:

Linda Altomare, Principal
MEC, Mechanical Engineering Consultants 1616 Anacapa Street
 Santa Barbara, CA 93101
 t 805.957.4632

electrical engineer:

Alan Noelle, Principal ANE, Alan Noelle Engineering 1616 Anacapa Street Santa Barbara, CA 93101 t 805.563.5444

Jalama Beach **County Park**

9999 Jalama Road Lompoc, CA 93436

APN

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Electrical

Shower Plan

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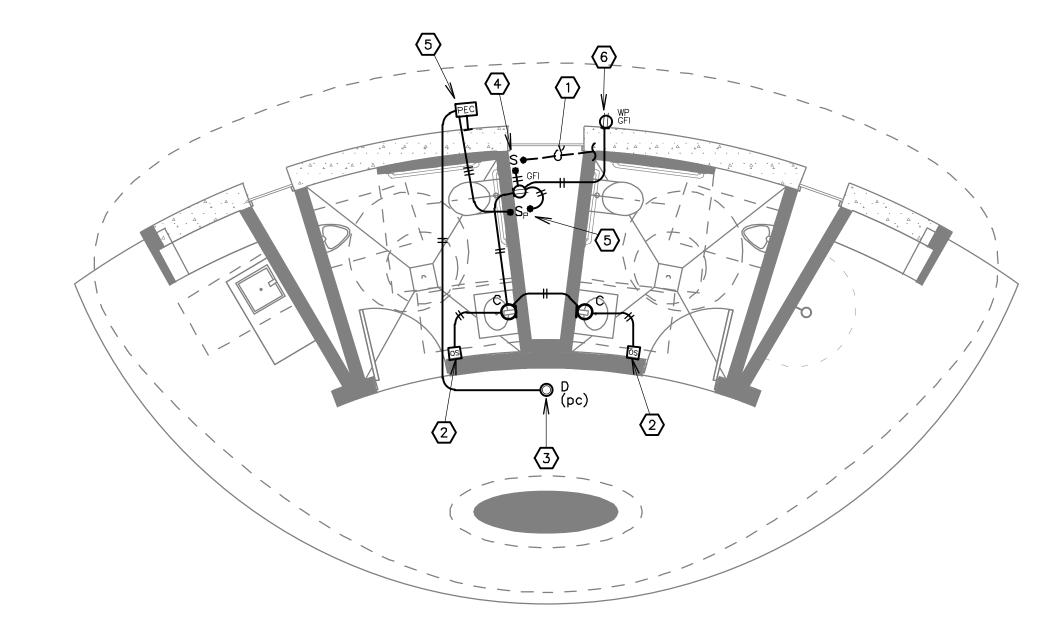
phone: 805.563.5444 fax: 805.456.5901 alan@aneng.com Electrical Engineering Lighting Design B1702E30.dwg

Alan Noelle Engineering

1616 Anacapa Street Santa Barbara, CA

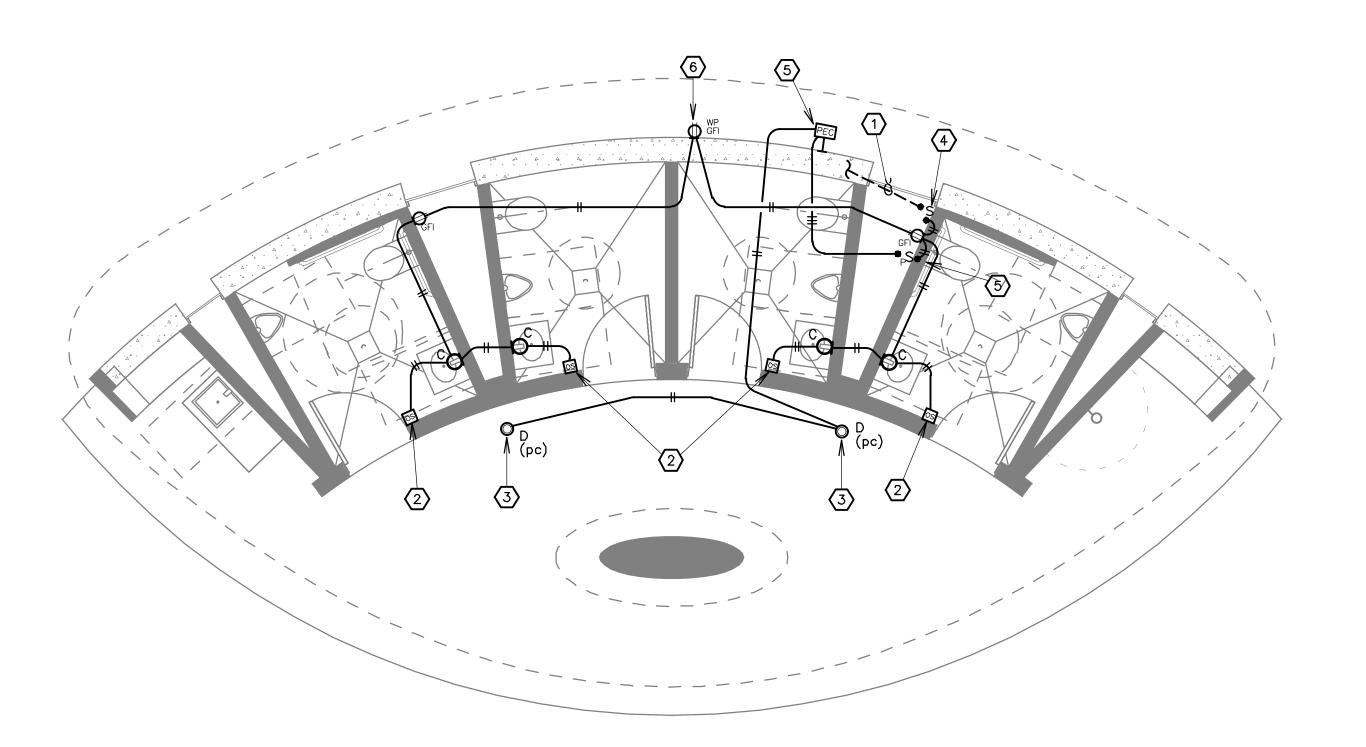
SHEET NOTES LEGEND

- INTERCEPT EXISTING CIRCUIT ENTERING BATHROOM BUILDING, AND EXTEND TO NEW BUILDING DISCONNECT, AS REQUIRED.
- PROVIDE A WALL MOUNTED, DUAL—TECHNOLOGY OCCUPANCY SENSOR, EQUAL TO SENSOR SWITCH. UNIT SHALL BE PROGRAMMED FOR MANUAL ON AND AUTOMATIC OFF, UNLESS THE OWNER WOULD LIKE AUTOMATIC ON AND AUTOMATIC OFF.
- MOUNT NEW DOWNLIGHT IN SOFFIT. COORDINATE EXACT LOCATION WITH ROOF FRAMING. TIE INTO NEW PHOTOCELL CIRCUIT.
- NEW BUILDING DISCONNECT, AS REQUIRED. IF BUILDING IS FED WITH A SINGLE CIRCUIT (AS THESE PLANS ASSUME), A STANDARD 20A SNAP SWITCH MAY BE USED. PROVIDE PROPER LABEL.
- PROVIDE A NEW PHOTOCELL HIGH ON WALL, EQUAL TO TORK #2101 SERIES. AIM TO AVOID FALSE TRIGGERING AND CONNECT TO NEW EXTERIOR LIGHTS.
- PROVIDE A NEW GFI TYPE DUPLEX MAINTENANCE OUTLET. PROVIDE WITH LOCKABLE HEAVY-DUTY COVER.



SMALL RESTROOM ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



LARGE RESTROOM ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

BlackbirdArchitects Inc.

235 Palm Ave.Santa Barbara CA93101 USA

_ t 805.957.1315 _ f 805.957.1317

www.bbird.com

_ _ architect:

Kenneth G. Radtkey
Blackbird Archtiects Inc.
235 Palm Avenue
Santa Barbara, California 93101
t 805.957.1315

civil engineer:

Scott Stokes

Above Grade Engineering, Inc.

1304 Broad Street

San Luis Obispo, CA 93401

t 805.540.5115

structural engineer:

Michelle Good
Taylor & Syfan
1304 Broad Street
San Luis Obispo, CA 93401
t 805.540.5115

_ mechanical engineer:

Tom Hughes, Founder/Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.957.4632

_ plumbing engineer:

Linda Altomare, Principal

MEC, Mechanical Engineering Consultants

1616 Anacapa Street
Santa Barbara, CA 93101

t 805.957.4632

electrical engineer:

Alan Noelle, Principal

ANE, Alan Noelle Engineering

1616 Anacapa Street

Santa Barbara, CA 93101

t 805.563.5444

Jalama Beach County Park

9999 Jalama RoadLompoc, CA 93436

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-Revisions

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Electrical

Restroom Plans

E3.1

4.3.19

No. E015175
Exp. 6/20

No. E015175
Exp. 6/20

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Alan Noelle Engineering
1616 Anacapa Street
Santa Barbara, CA 93101

phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com

Electrical Engineering Lighting Design

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