GENERAL NOTES

- 1. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF COUNTY GRADING ORDINANCE SECTION 87.101 THROUGH 87.804
- 2. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
- 3. NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
- 4. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- 5. IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- 6. A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- REGARDLESS OF WHICH BMPS ARE IMPLEMENTED, ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED AND MAINTAINED WITH GROUND COVER OR OTHER PLANTING IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED.
- 8. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES: PHONE NUMBER:

SAN DIEGO GAS AND ELECTRIC	(800) 411-7343
AT&T TELEPHONE	(619) 293–0595
SEWER: RAMONA MUNICIPAL WATER DISTRICT	(760) 789–1330
WATER: RAMONA MUNICIPAL WATER DISTRICT	(760) 789–1330

- 9. A SOILS REPORT WITH COMPACTION TEST IS REQUIRED FOR ALL FILL OVER 12" IN DEPTH. PDS FORM 73 MINOR GRADING CERTIFICATION AND A COPY OF THE COMPACTION REPORT IS REQUIRED PRIOR TO ROUGH GRADING APPROVAL.
- 10. APPROVAL OF THESE PLANS BY THE DIRECTOR OF DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES (PDS) DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED.
- 11. THE DIRECTOR'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOIL IS MADE OR IMPLIED (SECTIONS 87.403 & 87. 410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES.
- 12. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6.00PM EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
- 13. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- 14. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- 15. SLOPE RATIOS:
- CUT--1 1/2: 1 FOR MINOR SLOPES (SLOPES < 15'), 2:1 FOR MAJOR SLOPES. FILL--2:1 EXCAVATION: <u>24,515 C.Y.</u> FILL: <u>25,085</u> C.Y. EXPORT/IMPORT: <u>570</u> C. Y. (NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR EITHER WASTE OR IMPORT AREAS BEFORE
 - PERMIT TO BE ISSUED).
- 16. SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY, GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
- 17. PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PUBLIC OF WORKS.
- 18. THE APPLICANT IS RESPONSIBLE FOR THE ROAD MAINTENANCE (SWEEPING AS NECESSARY) AND REPAIRS OF ANY DAMAGE CAUSED BY THEM TO THE ON-SITE AND OFF-SITE COUNTY MAINTAINED OR PRIVATE ROADS THAT SERVE THE PROPERTY EITHER DURING CONSTRUCTION OR SUBSEQUENT OPERATIONS. THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUTE THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLACE ON THE ROUTE IDENTIFIED.
- 19. FINAL APPROVAL OF THIS GRADING PLAN IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGE TO THESE PLANS.
- 20. THE ENGINEER-OF-WORK SHALL COMPLY WITH ALL PROJECT APPLICABLE LAWS THAT INCLUDE, BUT ARE NOT LIMITED TO, HEALTH, SAFETY, AND ENVIRONMENTAL LAWS, ORDINANCES, AND REGULATIONS RELATING TO THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND U.S. FEDERAL GOVERNMENT. THE PROJECT IS SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE COUNTY OF SAN DIEGO WATERSHED PROTECTION, STORMWATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE NO. 10410, COUNTY OF SAN DIEGO HYDRAULIC DESIGN MANUAL. AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS FOR THE LIFE OF THIS PERMIT. THE PROJECT SITE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS REFERENCED ABOVE AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS. THIS INCLUDES COMPLIANCE WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), ALL REQUIREMENTS FOR LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION, DETENTION FACILITIES, MATERIALS AND WASTES CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.
- 21. THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR THE PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS. ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO THE FEDERAL ENDANGERED SPECIES ACT AND CLEAN WATER ACT. GRADING AND/OR FURTHER DEVELOPMENT ARE PROHIBITED WITHIN THE AREAS DESIGNATED "LIMITS OF JURISDICTIONAL HABITAT" UNTIL FEDERAL PERMITS AND STATE PERMITS (IF ANY) HAVE BEEN ACQUIRED.



R & ASSOCIATES PROJECT NO. 14-160 AJV

475 PRODUCTION STREET, SAN MARCOS, CA 92078 🙀 PHONE (760) 736-2040 FAX (760) 736-4866 WWW.SPEARINC.NET

No. 85413

PLANS PREPARED BY:

MONUMENTATION GENERAL NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL SURVEY CONTROL MONUMENTS. WHETHER SHOWN ON THESE PLANS OR NOT, WITHIN THE PROJECT AREA. ALL SURVEY MONUMENTS, WHETHER FOR HORIZONTAL OR VERTICAL CONTROL. THAT WILL OR COULD BE DISTURBED OR REMOVED BY THE CONTRACTOR. OR HIS EMPLOYEES, AGENTS, SUBCONTRACTORS, CONSULTANT OR LICENSEES, SHALL BE LOCATED PRIOR TO BEING DISTURBED OR REMOVED AND REPLACED OR RESET, IN ACCORDANCE WITH THE CALIFORNIA BUSINESS & PROFESSIONS CODE SECTION 8771(B). AT THE CONTRACTOR'S SOLE EXPENSE. UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. IN ADDITION, A RECORD OF SURVEY OR CORNER RECORD, AS APPLICABLE, SHALL BE FILED AND/OR RECORDED, IN ACCORDANCE WITH THE PROVISION OF SAID CODE.

POLYPROPYLENE STORMDRAIN PIPE (HDPE) NOTES

- 1. PIPE WILL BE BACKFILLED WITH CRUSHED ROCK IN ACCORDANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING D- 60. FOR PIPE DIAMETERS 36 INCH AND GREATER DISTANCE BETWEEN PIPE O.D. AND TRENCH WALL SHALL BE 12 INCH MINIMUM.
- 2. THE REMAINDER OF THE TRENCH WILL BE BACKFILLED WITH THE SPECIFIED BACKFILL COMPACTED TO 90 PERCENT RELATIVE COMPACTION PER CALIFORNIA TEST METHOD 216 AS MODIFIED BY THE COUNTY OF SAN DIEGO OR ASTM D1557 (LATEST EDITION) EXCEPT FOR THE PORTION IN THE PAVEMENT SUBGRADE WHICH SHALL BE COMPACTED TO 95 PERCENT RELATIVE COMPACTION.
- 3. PPSD PIPE WITH LESS THAN 2 FEET OF COVER TO BOTTOM OF FLEXIBLE PAVEMENT UNDER HIGHWAY LOADING SHALL BE ENCASED IN PORTLAND CEMENT CONCRETE (PCC) IN ACCORDANCE WITH REGIONAL STANDARD DRAWING SP-03. THE PORTION ABOVE THE ENCASEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE ABOVE PARAGRAPH.
- 4. MAXIMUM PPSD PIPE COVER SHALL NOT EXCEED 25 FEET FOR 12 INCH DIAMETER TO 30 INCH DIAMETER AND 20 FEET FOR 36 INCH DIAMETER TO 60 INCH DIAMETER AS SPECIFIED IN THE CALTRANS POLYPROPYLENE APPROVAL.
- PPSD PIPE SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) DESIGNATION M-330, FOR SIZES 12 INCH DIAMETER THROUGH 60 INCH DIAMETER. JOINT SHALL BE WATERTIGHT PER ASTM D3212 WITH DOUBLE GASKETED SPIGOT AND ELONGATED BELL WITH POLYMER COMPOSITE BAND.
- 6. THE LAST 16 FEET (2 SECTIONS TYPICALLY) OF CULVERT AT EACH EXPOSED END IS REQUIRED TO BE RCP. THIS WILL NECESSITATE A CONCRETE COLLAR FOR THE PPSD/ RCP TRANSITION.
- DEPTH OF COVER SHOULD BE CONSISTENT WITH CALTRANS TABLE 856.5 OF THE HIGHWAY DESIGN MANUAL- IF LESS COVER IS PROPOSED, PROVIDE CONCRETE ENCASEMENT. IF CALTRANS HAS A NEWER UPDATE COUNTY WILL REVIEW AND COMMENT.
- 8. IF THE INSTALLATION IS IN STRICT ACCORDANCE WITH ASTM (OR AASHTO) CRITERIA FOR INSTALLATION THEN THE ROCK ENVELOPE AND BURRITO WRAP CAN BE ELIMINATED WITH CONCURRENCE OF GEOTECHNICAL ENGINEER AND APPROPRIATE FIELD INSPECTION AND TESTING. IF ROCK ENVELOPE IS TO BE USED TO ALLOW FOR NARROWER TRENCH THE BURRITO WRAP IS REQUIRED UNLESS A GEOTECHNICAL CONSULTANT IS UTILIZED AND DETERMINES THAT THERE IS NO RISK OF MATERIAL OUTSIDE THE ROCK ENVELOPE MIGRATING INTO THE ROCK.
- 9. AREAS OF HIGH GROUND WATER TABLE SHOULD BE AVOIDED. A SPECIAL STUDY AND REVIEW BY COUNTY MATERIAL LAB IS REQUIRED FOR AFFECTED PIPES.

WATERWAY NOTE:

NOTICE: THE SUBJECT PROPERTY CONTAINS WETLANDS. A LAKE. A STREAM, AND/OR WATERS OF THE U.S. AND/OR STATE WHICH MAY BE SUBJECT TO REGULATION BY STATE AND/OR FEDERAL AGENCIES, INCLUDING, BUT NOT LIMITED TO, THE REGIONAL WATER QUALITY CONTROL BOARD, U.S. ARMY CORPS OF ENGINEERS AND THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE. IT IS THE APPLICANTS RESPONSIBILITY TO CONSULT WITH EACH AGENCY TO DETERMINE IF A PERMIT. AGREEMENT OR OTHER APPROVAL IS REQUIRED AND TO OBTAIN ALL NECESSARY PERMITS. AGREEMENTS OR APPROVALS BEFORE COMMENCING ANY ACTIVITY WHICH COULD IMPACT THE WETLANDS, LAKE, STREAM, AND/OR WATERS OF THE U.S. ON THE SUBJECT PROPERTY. THE AGENCY CONTACT INFORMATION IS PROVIDED BELOW.

U.S. ARMY CORPS OF ENGINEERS: 915 WILSHIRE BLVD., SUITE 1101, LOS ANGELES, CA 90017; (213) 452-3333; http://www.usace.army.mil/ **REGIONAL WATER QUALITY CONTROL BOARD:** 2375 NORTHSIDE DRIVE, SUITE 100, SAN DIEGO. CA 92108: RB9_DredgeFill@waterboards.ca.gov; http://www.waterboards.ca.gov/sandiego/ CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE: 3883 RUFFIN RD., SAN DIEGO, CA 92123; (858) 636-3160; AskR5@wildlife.ca.gov http://www.dfg.ca.gov/

	*BMP'S APPROVED AS PART OF STORMWATER QUAL ANY CHANGES TO THE ABOVE BMP'S WILL REQUIR	· · · ·		/ITH DPW.		PRIVATE (CONTRACT	-204
Underground Service Alert	PDS ENVIRONMENTAL REVIEW	DISTURBED AREA CALCS	RECORD	PLAN	PERMITS	SHEET COUNTY OF	SAN DIEGO 16	¶0 ₽
Call: TOLL FREE		PAD & SLOPES: <u>223,265</u> S.F. DRIVEWAY: <u>5,340</u> S.F.			IMPROVEMENT NO. N/A	1 DEPARTMENT OF	PUBLIC WORKS SHEETS	30
227-2600	ENVIRONMENTAL CLEARANCE OF BY:	FIRE CLEARING: <u>N/A</u> S.F. PRIMARY SEPTIC: <u>N/A</u> S.F. TOTAL: <u>228,605</u> S.F.	JOSHUA R. ZEIGLER R.C.E. No: <u>85413</u>	DATE	SITE PLAN NO. AD-15-019 LANDSCAPE PLAN NO. SPECIAL USE PERMIT NO. N/A	GRADING PLAN FOR:	RANCH	SPEAR 60-7
TWO WORKING DAYS BEFORE YOU DIG	DATE:	NOI IF > 1 ACRE <u>9 37C375197</u>	EXPIRES: <u>9-30-20</u>		TENTATIVE MAP NO. <u>N/A</u> N.O.I. <u>9 37C375197</u> SWPPP RISK LEVEL: <u>2</u>	HIGHLAND VALLEY	ROAD "VIOLATION"	NO NO
FIRE PROTECTION DISTRICT	CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE		COUNTY APPROVED		BENCH MARK	CALIFORNIA COORDINATE INDEX	326–1767	
APPROVED BY:	CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTIN	IS DURING THE COURSE OF F ALL PERSONS & PROPERTY;	Description	Approved by Date	DESCRIPTION: CHISELED SQUARE	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: Joshua R. Zeigler R.C.E. No. 85413 exp. 9-30-20	, S NAN 0. 1
DATE:	TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR A & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLES REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE O	SS FROM ANY & ALL LIABILITY, OF WORK ON THIS PROJECT,			OF SIERRA LINDA DRIVE AND VISTA BONITA RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK ELEVATION: 504.07	BY: DATE	GRADING PERMIT NO. PDS2016-LDGRMJ-30067	HONE N

SOILS ENGINEER CERTIFICATION:

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN OUR SOILS REPORT FOR THIS PROJECT. THE SOILS REPORT SHALL BE CONSIDERED AS A PART OF THIS PLAN, AND ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF SAID REPORT DATED: <u>5/16/15</u> CONSTRUCTION TESTING ENGINEERING, INC _ DATE:_ BY: NAME: ___DAN T. MATH _____R.C.E.#: <u>2665</u>___EXP: <u>12/31/20</u>

ADDRESS: 1441 MONTIEL RD, SUITE 115 DROFESS ESCONDIDO, CA 92026 PHONE: (619) 445-2024



OWNER'S CERTIFICATE:

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PLANNING & DEVELOPMENT SERVICES DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETIONS OF THE IMPROVEMENTS.

I HEREBY AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING COUNTY RIGHT-OF WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED. IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

BY:	DATE:
NAME:	PHIL PACE~4030 GOLDFINCH INVESTMENTS, LLC.
	15635 PASEO PENASCO
	ESCONDIDO CA 92025
	PHONE: (619) 814-0050

NOTICE: "THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.'

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS & PROFESSIONS CODE, & THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

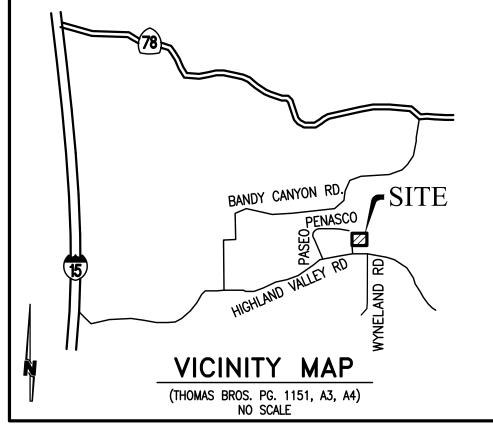
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DATE:

BY: JOSHUA R. ZEIGLER R.C.E. 85413 EXP. 9/30/20



STRUCTURAL POLLUTANT AND HYDRO-MODIFICATION TREATMENT CONTROL BMP'S							
DESCRIPTION/TYPE	BMP NO.	SHEET	MAINTENANCE CATEGORY	MAINTENANCE AGREEMENT DOC. NO.			
BIOFILTRATION BASIN BF-1 & BF-2	В	4	CATEGORY 1				
BIORETENTION BASIN	0	4	CATEGORY 1				



SHEET INDEX

TITLE SHEET. BMP NOTES ... AD PERMIT & GRADING PLAN NOTES ... SHEET 3 GRADING PLAN... EROSION CONTROL RETAINING WALL PLANS

Record ID:

PDS2016-LDGRMJ-30067 PDS2015-AD-15-019

WORK TO BE DONE:

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS. THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE SAN DIEGO COUNTY GRADING ORDINANCE I FGFND

	LEGEND	
IMPROVEMENTS	STD. DWG.	SYMBOL
PROPERTY BOUNDARY		
STREET CENTERLINE		
EXISTING CONTOURS		720
EXISTING FIRE HYDRANT		
EXISTING SEWER LINE		22
EXISTING WATER LINE		
PROPOSED SPOT ELEVATIONS		XX.XX FL
EXISTING SPOT ELEVATIONS		(XX.XX) FL
PROPOSED CONTOURS		
CUT/FILL LINE		_,,_,, <u>ÇUŢ,_</u> ,,_,,_,,_ FILL
CUT SLOPES		<u>Y Y Y</u>
FILL SLOPES		Y Y Y
4" AC PAVEMENT OVER 8" AB CL—II COMPACTED TO 95%	(PER SOILS ENGINEER)	
7" PCC PAVEMENT OVER 95% COMPACTED NATIVE	(PER SOILS ENGINEER)	
6" AC BERM TYPE-A	G-5 (SDRSD)	
WING TYPE HEADWALL	D-34 (SDRSD)	
RIP-RAP	D-40 (SDRSD)	
BIOFILTRATION	SHEET 2	



ALL THAT PORTION OF THE SW 1/4 OF THE SW 1/4 OF SEC. 4. T.13S. R.1W. S.B.M IN THE COUNTY OF SAN DIEGO PER R.O.S. 14361.

IMPERVIOUS AREAS

EXIST. IMPERVIOUS AREA = 0 S.F. PROP. IMPERVIOUS A.C. DRIVEWAY AREA = 26.095 S.F. PROP. IMPERVIOUS BLDG ROOF AREA = 9,753 S.F.

TOPOGRAPHY SOURCE

SPEAR & ASSOCIATES, INC. 475 PRODUCTION STREET, SAN MARCOS, CA 92078 DATED: MAY 23, 2012 TOPO SOURCE METHOD : AERIAL PHOTO TOPO SOURCE DATE: 04-20-2015

SITE ADDRESS:

HIGHLAND VALLEY ROAD ESCONDIDO, CA 92025

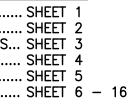
OWNER/APPLICANT:

4030 GOLDFINCH INVESTMENT, LLC C/O CHARLES "PHIL" PACE 15635 PASEO PENASCO ESCONDIDO CA 92025 (619) 814-0050 APN:

276-030-48 & 49

EARTHWORK FOR APN 276-030-42

EARTHWORK FOR THE GRADING CONTAINED WITHIN PARCEL 276-030-42. CUT = 0 CYFILL = 16 CYIMPORT = 16 CY



STORM WATER MANAGEMENT NOTES

- DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY D.P.W. DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORM WATER REGULATIONS AT ALL TIMES. THE B.M.P.'S (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE MAINTENANCE OF THE B.M.P.'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE B.M.P.'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED B.M.P.'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- ON PROJECTS OF GREATER THAN ONE ACRES ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND THAT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CASO00002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS WDID# 9 37C375197. THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

EMERGENCY EROSION CONTROL MEASURES NOTES:

- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF THE SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. BETWEEN OCTOBER 1, AND APRIL 15, APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF SAME BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.

SIL

- 2

Cond control, bot not exceed	
<u>GRADE OF THE STREET</u>	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FFFT

- 5.

	TATION AND SEDIMENT CONTROL MEASURES NOTES:		SEWER LATERAL CONSTRUCTION NOTES:
	THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEANED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL ERODIBLE SLOPES.	1.	THE APPLICANT/OWNER PROPOSING TO CONNECT TO SA COUNTY SANITATION DISTRICT (DISTRICT) SEWER SYSTEM OBTAIN A RESIDENTIAL WASTEWATER DISCHARGE PERMIT DEPARTMENT OF PUBLIC WORKS. THE APPLICANT/OWNE A WRITTEN APPLICATION TO WASTEWATER MANAGEMENT DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICE
•	SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER.		PERMIT COUNTER). FOR INFORMATION, CONTACT THE WA MANAGEMENT COUNTER AT 858–495–5717.
•	SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH GRAVEL BAGS FROM TOP OF PIPE TO TOP OF DIKE.	2.	THE CONNECTION (SADDLE ONLY) TO THE DISTRICT SEW
•	ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF GRAVEL BAGS WITH A TOP ELEVATION LEVEL WITH, AND TWO GRAVEL BAGS BELOW, THE GRADED SURFACE OF THE STREET. GRAVEL BAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE		CONTACT DISTRICT FIELD OFFICE AT 619-660-2007). A ASSOCIATED WITH PERMITS AND CONSTRUCTION OF THE LATERAL SHALL BE BORNE BY THE PROPERTY OWNER.
	INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING: <u>GRADE OF THE STREET</u> LESS THAN 2% AS REQUIRED 2% TO 4% 100 FEET 4% TO 10% 50 FEET OVER 10% 25 FEET	3.	THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAU ENSURE THAT NO PRIVATE RESIDENCES ARE SUBJECT T BACKUP OR SPILL DURING SEWER LATERAL CONNECTION
	4% TO 10% 50 FEET OVER 10% 25 FEET	4.	THE CONTRACTOR SHALL BE LIABLE FOR ALL CLEANUP, AND RESULTANT FINES IN THE EVENT OF A SEWAGE SF
•	AFTER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.	5.	ALL SEWER LATERAL RELATED WORK SHALL CONFORM T REGIONAL STANDARD DRAWINGS SP-01, SS-01 OR SS- SS-0 4 AND SC-01 (TYPE B).
•	ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW: GRADE OF CHANNEL INTERVALS BETWEEN CHECK DAMS	6.	THE PRIVATE SEWER LATERAL CONNECTION AND CLEAN PROPERTY LINE IS TO BE INSPECTED AND APPROVED B DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICE DIVISION.
	LESS THAN 3% 100 FEET 3% TO 6% 50 FEET OVER 6% 25 FEET	7.	EACH LOT WILL BE SERVED BY A FOUR (4) INCH DIAME SIZE PVC SEWER LATERAL. LOCATION OF SEWER LATERA CONSTRUCTED WITH STATIONS SHALL BE SHOWN ON TH THE ENGINEER OF WORK PRIOR TO "RECORD PLAN" APP
•	PROVIDE VELOCITY CHECK DAMS IN ALL STREET AREAS ACCORDING TO INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE COUNTY ENGINEER, AND SHALL EXTEND COMPLETELY		DISTRICT.
	ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. VELOCITY CHECK DAMS MAY ALSO SERVE AS SEDIMENT TRAPS. INTERVAL NUMBER OF BAGS HIGH LESS THAN 2% AS REQUIRED 200 FEET MAX 1	8.	THE PROPOSED SEWER LATERAL(S) WILL BE CONSTRUCT GRAVITY FLOW WITHIN THE EXISTING COUNTY ROAD RIGH

<u>GRADE OF STREET</u>	<u>IN IERVAL</u>	<u>NUMBER OF BAGS HIGH</u>
LESS THAN 2%	AS REQUIRED	
	200 FEET MAX	1
2% TO 4%	100 FEET	1
4% TO 6%	50 FEET	1
6% TO 10%	50 FEET	2
OVER 10%	25 FEET	2

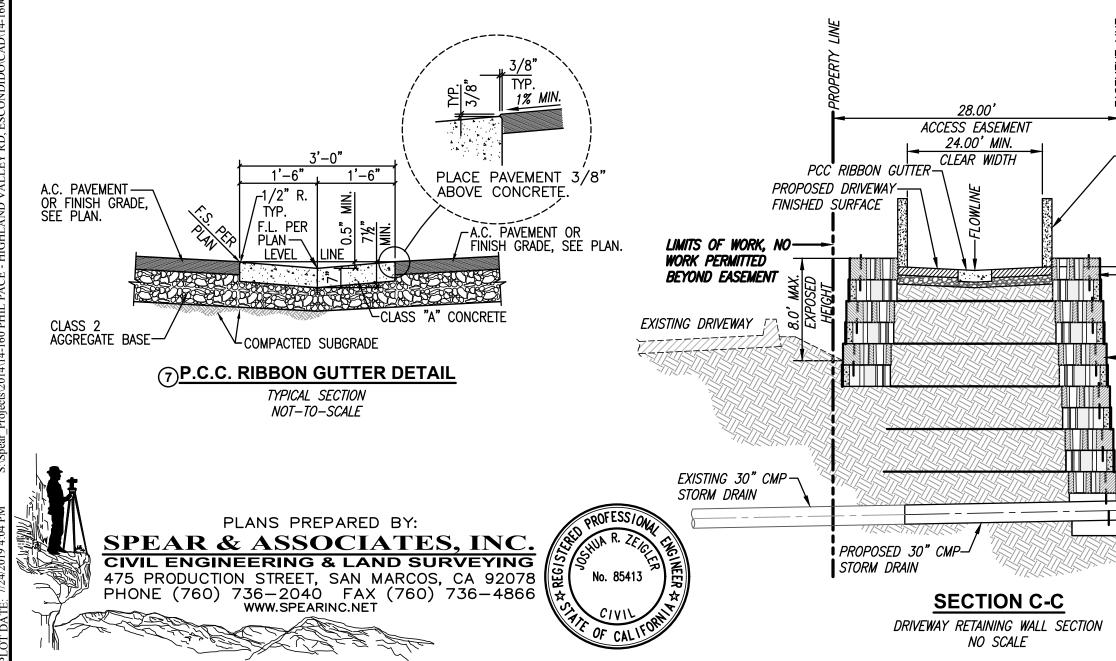
- PROVIDE A GRAVEL BAG SILT BASIN OR TRAP BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
- 10. GRAVEL BAGS AND FILL MATERIAL SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
- 11. ALL EROSION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM, IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
- 12. PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOWS THAT MAY BE ANTICIPATED FROM DENUDED SLOPES, OR IMPERVIOUS SURFACES.
- 13. ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE AGENCIES; I.E., COUNTY ENGINEER, DEPARTMENT OF ENVIRONMENTAL HEALTH, FLOOD CONTROL AND OFFICE OF ENVIRONMENTAL MANAGEMENT ETC.

THE USE OF BFM'S IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- APPLICATION RATES SHALL BE 3500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- 2. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL
- THE SITE MUST BE PROTECTED WITH BROW DITCHES AND / OR DIVERSION BERMS AT THE TOP OF
- 4. BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).

SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.

- 5. FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION.
- 6. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE BFM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR FOR APPROVAL.



& ASSOCIATES PROJECT NO. 14-16

PERIMETER PROTECTION WALL 42" ABOVE DRIVEWAY FINISHED SURFACE -limits of work, no WORK PERMITTED BEYOND EASEMENT CONCRETE CAP/PROTECTION WALL FOOTING SEGMENTAL RETAINING WALL -PROPOSED HEADWALL AT STORM DRAIN ·EXISTING FINISHED SURFACE

SAN DIEGO EM SHALL MIT FROM THE NER SHALL MAKE IT THROUGH CES (BUILDING WASTEWATER

EWER SHALL BE COORDINATION, ALL COSTS HE SEWER

AUTIONS TO TO A SEWAGE ON.

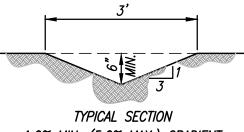
JP, DAMAGES, SPILL.

TO SAN DIEGO S-02, SS-03,

NOUT AT THE BY THE CES BUILDING

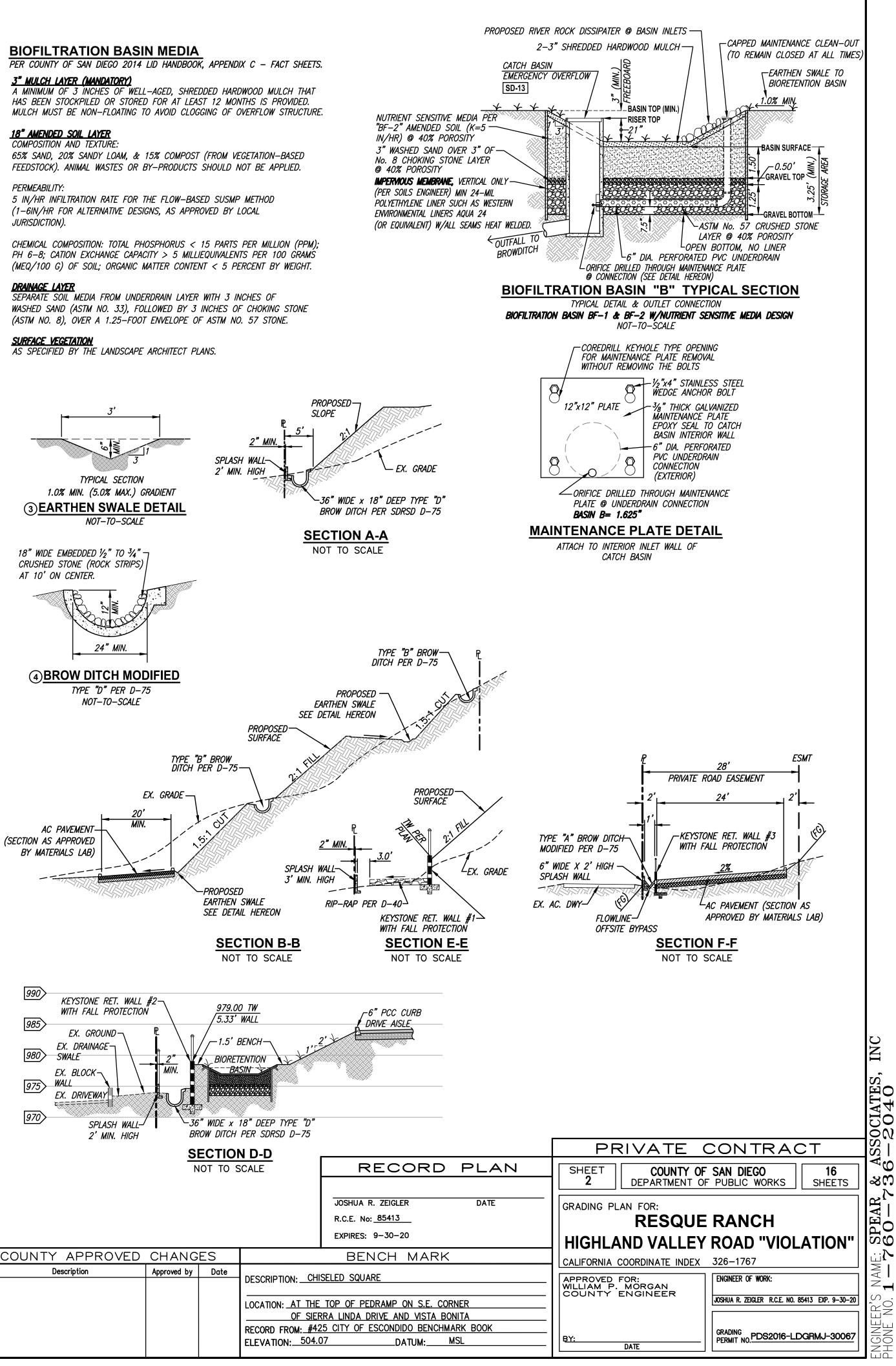
METER MINIMUM ERAL AS-THESE PLANS BY PPROVAL BY THE

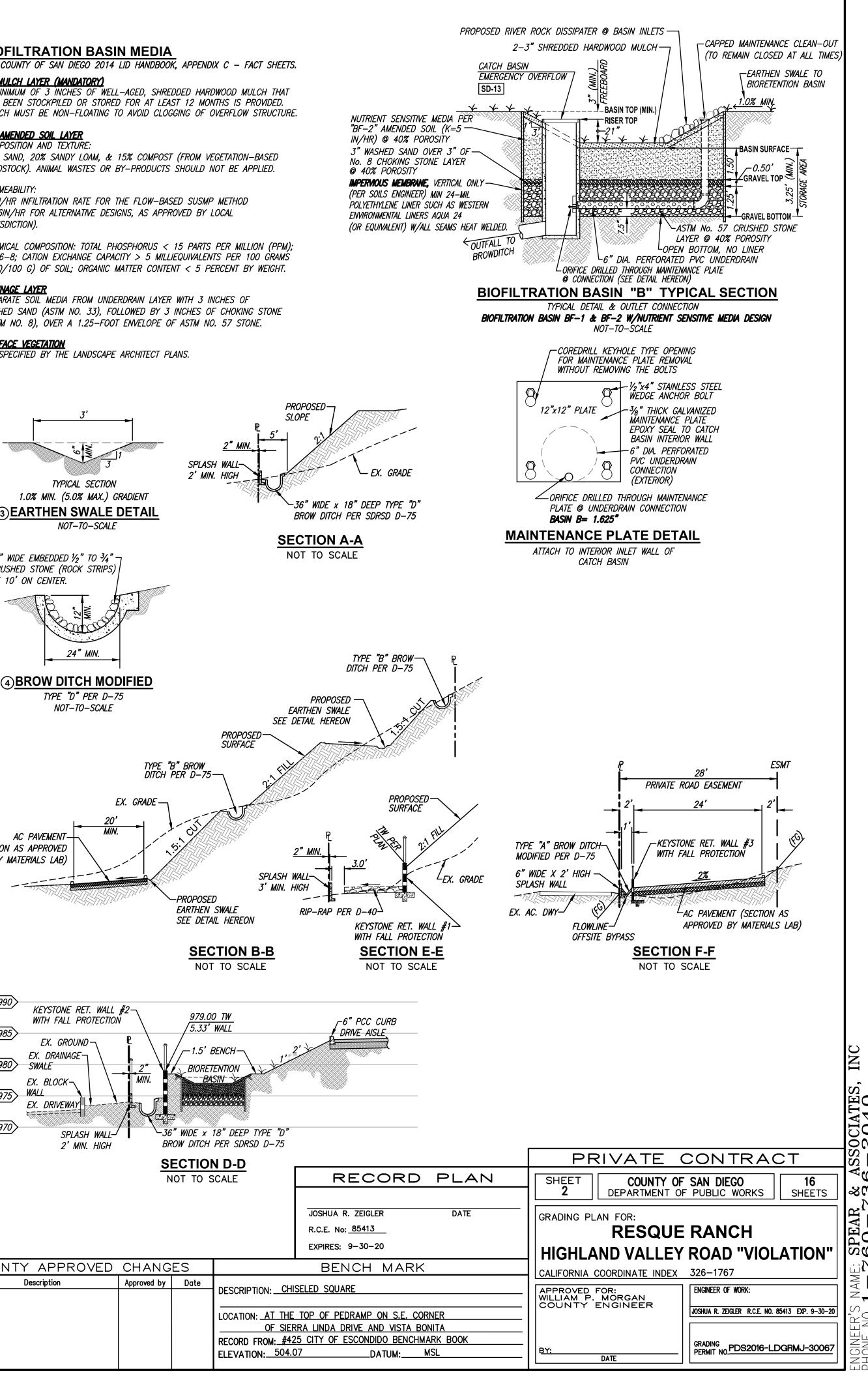
CTED TO IGHT-OF-WAY.



18" WIDE EMBEDDED $\frac{1}{2}$ " TO $\frac{3}{4}$ ". CRUSHED STONE (ROCK STRIPS) AT 10' ON CENTER. 24" MIN.

> *TYPE "D" PER D-75* NOT-TO-SCALE





CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERT THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITE TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

					-	
	COUNTY	APPROVED	CHANGES			
N0.	De	scription	Approved by	Date		
					DE	
					RE	
					EL	

AD PERMIT AND GRADING PLAN NOTES:

PRE-CONSTRUCTION GRADING AND/OR IMPROVEMENTS: (PRIOR TO ANY CLEARING, GRUBBING, TRENCHING, GRADING, OR ANY LAND DISTURBANCES.)

(CULTURAL RESOURCES)

CULT#GR-1 ARCHAELOGICAL MONITORING - PRECONSTRUCTION MEETING [PDS, FEE X2] INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR SIGNIFICANCE - CULTURAL RESOURCES, AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE COUNTY APPROVED PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL ATTEND THE PRE-CONSTRUCTION MEETING WITH THE CONTRACTORS TO EXPLAIN AND COORDINATE THE REQUIREMENTS OF THE ARCHAEOLOGICAL MONITORING PROGRAM. THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL MONITOR THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS IN ALL AREAS IDENTIFIED FOR DEVELOPMENT INCLUDING OFF-SITE IMPROVEMENTS. THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL ALSO EVALUATE FILL SOILS TO ENSURE THAT THEY ARE CLEAN OF CULTURAL RESOURCES. THE ARCHAEOLOGICAL MONITORING PROGRAM SHALL COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES. DOCUMENTATION: THE APPLICANT SHALL HAVE THE CONTRACTED PROJECT ARCHEOLOGIST AND KUMEYAAY NATIVE AMERICAN ATTEND THE PRECONSTRUCTION MEETING TO EXPLAIN THE MONITORING REQUIREMENTS. TIMING: PRIOR TO ANY CLEARING, GRUBBING, TRENCHING, GRADING, OR ANY LAND DISTURBANCES THIS CONDITION SHALL BE COMPLETED. MONITORING: THE [DPW, PDCI] SHALL CONFIRM THE ATTENDANCE OF THE APPROVED PROJECT ARCHAEOLOGIST.

DURING CONSTRUCTION: (THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE GRADING CONSTRUCTION). (CULTURAL RESOURCES)

CULT#GR-2 ARCHAEOLOGICAL MONITORING - DURING CONSTRUCTION [PDS, FEE X2]

INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES, A CULTURAL RESOURCE GRADING MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL MONITOR THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS IN ALL AREAS IDENTIFIED FOR DEVELOPMENT INCLUDING OFF-SITE IMPROVEMENTS. THE ARCHAEOLOGICAL MONITORING PROGRAM SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS DURING EARTH-DISTURBING ACTIVITIES:

a. DURING THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS, THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL BE ONSITE AS DETERMINED NECESSARY BY THE PROJECT ARCHAEOLOGIST. INSPECTIONS WILL VARY BASED ON THE RATE OF EXCAVATION, THE MATERIALS EXCAVATED, AND THE PRESENCE AND ABUNDANCE OF ARTIFACTS AND FEATURES. THE FREQUENCY AND LOCATION OF INSPECTIONS WILL BE DETERMINED BY THE PROJECT ARCHAEOLOGIST IN CONSULTATION WITH THE KUMEYAAY NATIVE AMERICAN MONITOR. MONITORING OF CUTTING OF PREVIOUSLY DISTURBED DEPOSITS WILL BE DETERMINED BY THE PROJECT ARCHAEOLOGIST IN CONSULTATION WITH THE KUMEYAAY NATIVE AMERICAN MONITOR.

b. IN THE EVENT THAT PREVIOUSLY UNIDENTIFIED POTENTIALLY SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED:

- 1. THE PROJECT ARCHAEOLOGIST OR THE KUMEYAAY NATIVE AMERICAN MONITOR SHALL HAVE THE AUTHORITY TO DIVERT OR TEMPORARILY HALT GROUND DISTURBANCE OPERATIONS IN THE AREA OF DISCOVERY TO ALLOW EVALUATION OF POTENTIALLY SIGNIFICANT CULTURAL RESOURCES.
- 2. THE PROJECT ARCHAEOLOGIST, IN CONSULTATION WITH THE PDS STAFF ARCHAEOLOGIST AND THE KUMEYAAY NATIVE AMERICAN MONITOR, SHALL DETERMINE THE SIGNIFICANCE OF THE DISCOVERED RESOURCES.
- 3. CONSTRUCTION ACTIVITIES WILL BE ALLOWED TO RESUME IN THE AFFECTED AREA ONLY AFTER THE PDS STAFF ARCHAEOLOGIST HAS CONCURRED WITH THE EVALUATION.
- 4. ISOLATES AND CLEARLY NON-SIGNIFICANT DEPOSITS SHALL BE MINIMALLY DOCUMENTED IN THE FIELD. SHOULD THE ISOLATES AND/OR NON-SIGNIFICANT DEPOSITS NOT BE COLLECTED BY THE PROJECT ARCHAEOLOGIST, THEN THE KUMEYAAY NATIVE AMERICAN MONITOR MAY COLLECT THE CULTURAL MATERIAL FOR TRANSFER TO A TRIBAL CURATION FACILITY OR REPATRIATION PROGRAM.
- 5. A RESEARCH DESIGN AND DATA RECOVERY PROGRAM (PROGRAM) IS REQUIRED TO MITIGATE IMPACTS TO IDENTIFIED SIGNIFICANT CULTURAL RESOURCES. THE PROGRAM SHALL INCLUDE (1) REASONABLE EFFORTS TO PRESERVE (AVOIDANCE) "UNIQUE" CULTURAL RESOURCES OR SACRED SITES; (2) THE CAPPING OF IDENTIFIED SACRED SITES OR UNIQUE CULTURAL RESOURCES AND PLACEMENT OF DEVELOPMENT OVER THE CAP, IF AVOIDANCE IS INFEASIBLE; AND (3) DATA RECOVERY FOR NON-UNIQUE CULTURAL RESOURCES. THE PREFERRED OPTION IS PRESERVATION (AVOIDANCE).
- 6. THE RESEARCH DESIGN AND DATA RECOVERY PROGRAM SHALL BE PREPARED BY THE PROJECT ARCHAEOLOGIST IN COORDINATION WITH THE KUMEYAAY NATIVE AMERICAN MONITOR.
- 7. THE COUNTY ARCHAEOLOGIST SHALL REVIEW AND APPROVE THE PROGRAM, WHICH SHALL BE CARRIED OUT USING PROFESSIONAL ARCHAEOLOGICAL METHODS.
- c. IF ANY HUMAN REMAINS ARE DISCOVERED:
- 1. THE PROPERTY OWNER OR THEIR REPRESENTATIVE SHALL CONTACT THE COUNTY CORONER AND THE PDS STAFF ARCHAEOLOGIST.
- 2. UPON IDENTIFICATION OF HUMAN REMAINS, NO FURTHER DISTURBANCE SHALL OCCUR IN THE AREA OF THE FIND UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN.
- 3. IF THE REMAINS ARE DETERMINED TO BE OF NATIVE AMERICAN ORIGIN, THE MOST LIKELY DESCENDANT (MLD), AS IDENTIFIED BY THE NATIVE AMERICAN HERITAGE COMMISSION (NAHC), SHALL BE CONTACTED BY THE PROPERTY OWNER OR THEIR REPRESENTATIVE IN ORDER TO DETERMINE PROPER TREATMENT AND DISPOSITION OF THE REMAINS.
- 4. THE IMMEDIATE VICINITY WHERE THE NATIVE AMERICAN HUMAN REMAINS ARE LOCATED IS NOT TO BE DAMAGED OR DISTURBED BY FURTHER DEVELOPMENT ACTIVITY UNTIL CONSULTATION WITH THE MLD REGARDING THEIR RECOMMENDATIONS AS REQUIRED BY PUBLIC RESOURCES CODE SECTION 5097.98 HAS BEEN CONDUCTED.
- 5. PUBLIC RESOURCES CODE \$5097.98, CEQA \$15064.5 AND HEALTH & SAFETY CODE \$7050.5 SHALL BE FOLLOWED IN THE EVENT THAT HUMAN REMAINS ARE DISCOVERED.

DOCUMENTATION: THE APPLICANT SHALL IMPLEMENT THE ARCHAEOLOGICAL MONITORING PROGRAM PURSUANT TO THIS CONDITION. TIMING: THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE EARTH DISTURBING ACTIVITIES. MONITORING: THE [DPW, PDCI] SHALL MAKE SURE THAT THE PROJECT ARCHEOLOGIST IS ON-SITE PERFORMING THE MONITORING DUTIES OF THIS CONDITION. THE [DPW, PDCI] SHALL CONTACT THE [PDS, PPD] IF THE PROJECT ARCHEOLOGIST OR APPLICANT FAILS TO COMPLY WITH THIS CONDITION.

ROUGH GRADING: (PRIOR TO ROUGH GRADING APPROVAL AND ISSUANCE OF ANY BUILDING PERMIT). (CULTURAL RESOURCES)

CULT#GR-3 ARCHAEOLOGICAL MONITORING - ROUGH GRADING [PDS, FEE] INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES, AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST SHALL PREPARE ONE OF THE FOLLOWING REPORTS UPON COMPLETION OF THE EARTH-DISTURBING ACTIVITIES THAT REQUIRE MONITORING AND COMMUNICATE WITH LOCAL TRIBES AS REQUIRED BELOW:

- a. IF NO ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED DURING EARTH-DISTURBING ACTIVITIES, THEN SUBMIT A FINAL NEGATIVE MONITORING REPORT SUBSTANTIATING THAT EARTH-DISTURBING ACTIVITIES ARE COMPLETED AND NO CULTURAL RESOURCES WERE ENCOUNTERED. ARCHAEOLOGICAL MONITORING LOGS SHOWING THE DATE AND TIME THAT THE MONITOR WAS ON SITE AND ANY COMMENTS FROM THE KUMEYAAY NATIVE AMERICAN MONITOR MUST BE INCLUDED IN THE NEGATIVE MONITORING REPORT.
- b. IF ARCHAEOLOGICAL RESOURCES WERE ENCOUNTERED DURING THE EARTH DISTURBING ACTIVITIES, THE PROJECT ARCHAEOLOGIST SHALL PROVIDE AN ARCHAEOLOGICAL MONITORING REPORT STATING THAT THE FIELD MONITORING ACTIVITIES HAVE BEEN COMPLETED, AND THAT RESOURCES HAVE BEEN ENCOUNTERED. THE REPORT SHALL DETAIL ALL CULTURAL ARTIFACTS AND DEPOSITS DISCOVERED DURING MONITORING AND THE ANTICIPATED TIME SCHEDULE FOR COMPLETION OF THE CURATION AND/OR REPATRIATION PHASE OF THE MONITORING.

DOCUMENTATION: THE APPLICANT SHALL SUBMIT THE ARCHAEOLOGICAL MONITORING REPORT TO THE [PDS, PPD] FOR REVIEW AND APPROVAL. ONCE APPROVED, A FINAL COPY OF THE REPORT SHALL BE SUBMITTED TO THE SOUTH COASTAL INFORMATION CENTER, THE VIEJAS BAND OF MISSION INDIANS, AND ANY CULTURALLY AFFILIATED TRIBE THAT REQUESTS A COPY OF THE REPORT. TIMING: UPON COMPLETION OF ALL EARTH-DISTURBING ACTIVITIES, AND PRIOR TO ROUGH GRADING FINAL INSPECTION (GRADING ORDINANCE SEC 87.421.A.2), THE REPORT SHALL BE COMPLETED. MONITORING: THE [PDS, PPD] SHALL REVIEW THE REPORT OR FIELD MONITORING MEMO FOR COMPLIANCE WITH THE PROJECT MMRP, AND INFORM [DPW, PDCI] THAT THE REQUIREMENT IS COMPLETED.

FINAL GRADING RELEASE: (PRIOR TO ANY OCCUPANCY, FINAL GRADING RELEASE, OR USE OF THE PREMISES IN RELIANCE OF THIS PERMIT). (CULTURAL RESOURCES)

AD PERMIT AND GRADING PLAN NOTES CONTINUED:

CULT#GR-4 ARCHAEOLOGICAL MONITORING - FINAL GRADING [PDS, FEE] INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES, AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST SHALL PREPARE A FINAL REPORT THAT DOCUMENTS THE RESULTS. ANALYSIS, AND CONCLUSIONS OF ALL PHASES OF THE ARCHAEOLOGICAL MONITORING PROGRAM IF CULTURAL RESOURCES WERE ENCOUNTERED DURING EARTH-DISTURBING ACTIVITIES. THE REPORT AND COMMUNICATIONS SHALL INCLUDE THE FOLLOWING. IF APPLICABLE:

- a. DEPARTMENT OF PARKS AND RECREATION PRIMARY AND ARCHAEOLOGICAL SITE FORMS.
- b. DAILY MONITORING LOGS

- THE ARCHAEOLOGICAL MATERIALS HAVE BEEN RECEIVED.
- THE HISTORIC MATERIALS HAVE BEEN RECEIVED AND THAT ALL FEES HAVE BEEN PAID.
- THE NEGATIVE MONITORING REPORT.

DOCUMENTATION: THE APPLICANT'S ARCHAEOLOGIST SHALL PREPARE THE FINAL REPORT AND SUBMIT IT TO THE [PDS. PPD] FOR APPROVAL. ONCE APPROVED, A FINAL COPY OF THE REPORT SHALL BE SUBMITTED TO THE SOUTH COASTAL INFORMATION CENTER (SCIC), THE VIEJAS BAND OF MISSION INDIANS, AND ANY CULTURALLY AFFILIATED TRIBE THAT REQUESTS A COPY OF THE REPORT. TIMING: PRIOR TO ANY OCCUPANCY, FINAL GRADING RELEASE, OR USE OF THE PREMISES IN RELIANCE OF THIS PERMIT, THE FINAL REPORT SHALL BE PREPARED. MONITORING: THE [PDS, PPD] SHALL REVIEW THE FINAL REPORT FOR COMPLIANCE WITH THIS CONDITION AND THE REPORT FORMAT GUIDELINES. UPON ACCEPTANCE OF THE REPORT, [PDS, PPD] SHALL INFORM [PDS, LDR] AND [DPW, PDCI], THAT THE REQUIREMENT IS COMPLETE AND THE BOND AMOUNT CAN BE RELINQUISHED. IF THE MONITORING WAS BONDED SEPARATELY, THEN [PDS, PPD] SHALL INFORM [PDS OR DPW FISCAL] TO RELEASE THE BOND BACK TO THE APPLICANT.

PRE-CONSTRUCTION GRADING AND/OR IMPROVEMENTS: (PRIOR TO ANY CLEARING, GRUBBING, TRENCHING, GRADING, OR ANY LAND DISTURBANCES.)

BIO#5-RESOURCE AVOIDANCE [PDS, FEE X2] ARTIFACTS AND DEPOSITS DISCOVERED DURING MONITORING AND THE ANTICIPATED TIME SCHEDULE FOR COMPLETION OF THE IN ORDER TO AVOID IMPACTS TO AVIAN SPECIES, INCLUDING RAPTORS, COASTAL CALIFORNIA GNATCATCHER, AND INTENT. CURATION AND/OR REPATRIATION PHASE OF THE MONITORING. MIGRATORY BIRDS, DURING THE BREEDING SEASON, WHICH ARE SENSITIVE BIOLOGICAL RESOURCES PURSUANT TO BMO, MIGRATORY BIRD TREATY ACT (MBTA), AND CALIFORNIA FISH AND GAME CODE, AVIAN BREEDING AVOIDANCE MEASURES SHALL BE DOCUMENTATION: THE APPLICANT SHALL SUBMIT THE ARCHAEOLOGICAL MONITORING REPORT TO THE [PDS, PPD] FOR REVIEW IMPLEMENTED ON ALL PLANS. DESCRIPTION OF REQUIREMENT: NO FUTURE BRUSHING, GRADING, AND/OR CLEARING SHALL AND APPROVAL. ONCE APPROVED, A FINAL COPY OF THE REPORT SHALL BE SUBMITTED TO THE SOUTH COASTAL INFORMATION OCCUR DURING THE RAPTOR AND MIGRATORY BIRD BREEDING SEASON (JANUARY 15 - AUGUST 31). ALL GRADING PERMITS, CENTER, THE VIEJAS BAND OF MISSION INDIANS, AND ANY CULTURALLY AFFILIATED TRIBE THAT REQUESTS A COPY OF THE IMPROVEMENT PLANS, AND THE SITE PLAN SHALL STATE THE SAME. IF FUTURE CLEARING OR GRADING MUST OCCUR DURING REPORT. TIMING: UPON COMPLETION OF ALL EARTH-DISTURBING ACTIVITIES, AND PRIOR TO ROUGH GRADING FINAL INSPECTION THE BREEDING SEASON, A PRE-CONSTRUCTION SURVEY SHALL BE CONDUCTED WITHIN SEVEN DAYS PRIOR TO STARTING WORK (GRADING ORDINANCE SEC 87.421.A.2), THE REPORT SHALL BE COMPLETED. MONITORING: THE [PDS, PPD] SHALL REVIEW THE TO DETERMINE WHETHER BREEDING BIRDS OCCUR IN OR WITHIN 500 FEET OF THE IMPACT AREA(S). IF THERE ARE NO NESTING REPORT OR FIELD MONITORING MEMO FOR COMPLIANCE WITH THE PROJECT MMRP, AND INFORM [DPW, PDCI] THAT THE BIRDS (INCLUDES NEST BUILDING OR OTHER BREEDING/NESTING BEHAVIOR) WITHIN THIS AREA. CLEARING, GRUBBING, AND REQUIREMENT IS COMPLETED. GRADING SHALL BE ALLOWED TO PROCEED WITH WRITTEN CONCURRENCE FROM THE COUNTY AND WILDLIFE AGENCIES. IF ACTIVE NESTS OR NESTING BIRDS ARE OBSERVED WITHIN THE AREA, THE BIOLOGIST SHALL FLAG THE ACTIVE NESTS AND FINAL GRADING RELEASE: (PRIOR TO ANY OCCUPANCY, FINAL GRADING RELEASE, OR USE OF THE PREMISES IN RELIANCE OF CONSTRUCTION ACTIVITIES SHALL AVOID ACTIVE NESTS UNTIL NESTING BEHAVIOR HAS CEASED, NESTS HAVE FAILED. OR YOUNG HAVE FLEDGED. CONSTRUCTION NEAR AN ACTIVE NEST (WITHIN 300 FEET FOR PASSERINES, 500 FEET FOR RAPTORS, OR AS OTHERWISE DETERMINED BY A QUALIFIED BIOLOGIST) SHALL EITHER: (1) BE POSTPONED UNTIL A QUALIFIED BIOLOGIST CULT#GR-4 ARCHAEOLOGICAL MONITORING - FINAL GRADING [PDS, FEE] DETERMINES THE NEST(S) IS NO LONGER ACTIVE OR UNTIL AFTER THE RESPECTIVE BREEDING SEASON; OR (2) NOT OCCUR INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT UNTIL A TEMPORARY NOISE BARRIER OR BERM IS CONSTRUCTED AT THE EDGE OF THE DEVELOPMENT FOOTPRINT AND/OR FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES. AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE AROUND THE PIECE OF EQUIPMENT TO ENSURE THAT NOISE LEVELS ARE REDUCED TO BELOW 60 DBA OR AMBIENT. AS IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST SHALL PREPARE A FINAL REPORT THAT CONFIRMED BY A COUNTY-APPROVED NOISE SPECIALIST. INTERMITTENT MONITORING BY A QUALIFIED BIOLOGIST WOULD BE DOCUMENTS THE RESULTS, ANALYSIS, AND CONCLUSIONS OF ALL PHASES OF THE ARCHAEOLOGICAL MONITORING PROGRAM IF REQUIRED FOR CONSTRUCTION NEAR AN ACTIVE NEST. THE DIRECTOR OF PDS [PDS. PCC] MAY WAIVE THIS CONDITION. CULTURAL RESOURCES WERE ENCOUNTERED DURING EARTH-DISTURBING ACTIVITIES. THE REPORT AND COMMUNICATIONS SHALL THROUGH WRITTEN CONCURRENCE FROM THE US FISH AND WILDLIFE SERVICE AND THE CALIFORNIA DEPARTMENT OF FISH AND INCLUDE THE FOLLOWING, IF APPLICABLE: WILDLIFE, PROVIDED THAT NO RAPTORS, SENSITIVE AVIAN SPECIES, OR MIGRATORY BIRDS ARE PRESENT IN THE VICINITY OF THE BRUSHING, CLEARING OR GRADING, DOCUMENTATION: THE APPLICANT SHALL PLACE THIS NOTE ON THE GRADING PLAN: IF a. DEPARTMENT OF PARKS AND RECREATION PRIMARY AND ARCHAEOLOGICAL SITE FORMS. CONSTRUCTION IS TO OCCUR DURING THE BREEDING SEASON, THE APPLICANT SHALL SUBMIT A WRITTEN REQUEST TO GRADE DURING THE BREEDING SEASON BASED ON PRECONSTRUCTION SURVEYS. NO GRADING SHALL OCCUR UNTIL CONCURRENCE IS b. DAILY MONITORING LOGS RECEIVED FROM THE COUNTY AND THE WILDLIFE AGENCIES. TIMING: PRIOR TO PRECONSTRUCTION CONFERENCE AND PRIOR TO ANY CLEARING. GRUBBING. TRENCHING. GRADING. OR ANY LAND DISTURBANCES AND THROUGHOUT THE DURATION OF THE c. EVIDENCE THAT THE DISPOSITION OF ALL CULTURAL MATERIALS HAS BEEN COMPLETED AS FOLLOWS: GRADING AND CONSTRUCTION, COMPLIANCE WITH THIS CONDITION IS MANDATORY UNLESS THE REQUIREMENT IS WAIVED BY THE COUNTY UPON RECEIPT OF CONCURRENCE FROM THE WILDLIFE AGENCIES. MONITORING: THE [DPW, PDCI] SHALL NOT ALLOW (1) EVIDENCE THAT ALL PREHISTORIC MATERIALS COLLECTED DURING THE ARCHAEOLOGICAL MONITORING PROGRAM HAVE BEEN ANY GRADING DURING THE SPECIFIED DATES, UNLESS A CONCURRENCE FROM THE [PDS, PCC] IS RECEIVED. THE [PDS, PCC] SHALL REVIEW THE CONCURRENCE LETTER."

CULT#GR-1 ARCHAELOGICAL MONITORING - PRECONSTRUCTION MEETING [PDS, FEE X2] IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR SIGNIFICANCE - CULTURAL RESOURCES, INTFNT-AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE COUNTY APPROVED PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL ATTEND THE PRE-CONSTRUCTION MEETING WITH THE CONTRACTORS TO EXPLAIN AND COORDINATE THE REQUIREMENTS OF THE ARCHAEOLOGICAL MONITORING PROGRAM. THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL MONITOR THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS IN ALL AREAS IDENTIFIED FOR DEVELOPMENT INCLUDING OFF-SITE IMPROVEMENTS. THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL ALSO EVALUATE FILL SOILS TO ENSURE THAT THEY ARE CLEAN OF CULTURAL RESOURCES. THE ARCHAEOLOGICAL MONITORING PROGRAM SHALL COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES. DOCUMENTATION: THE APPLICANT SHALL HAVE THE CONTRACTED PROJECT ARCHEOLOGIST AND KUMEYAAY NATIVE AMERICAN ATTEND THE PRECONSTRUCTION MEETING TO EXPLAIN THE MONITORING REQUIREMENTS. TIMING: PRIOR TO ANY CLEARING, GRUBBING, TRENCHING, GRADING, OR ANY LAND DISTURBANCES THIS CONDITION SHALL BE COMPLETED. MONITORING: THE [DPW, PDCI] SHALL CONFIRM THE ATTENDANCE OF THE APPROVED PROJECT ARCHAEOLOGIST.

DURING CONSTRUCTION: (THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE GRADING CONSTRUCTION).

CULT#GR-2 ARCHAEOLOGICAL MONITORING - DURING CONSTRUCTION [PDS, FEEX2] INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES, A CULTURAL RESOURCE GRADING MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL MONITOR THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS IN ALL AREAS IDENTIFIED FOR DEVELOPMENT INCLUDING OFF-SITE IMPROVEMENTS. THE ARCHAEOLOGICAL MONITORING PROGRAM SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS DURING EARTH-DISTURBING ACTIVITIES:

- KUMEYAAY NATIVE AMERICAN MONITOR.
- POTENTIALLY SIGNIFICANT CULTURAL RESOURCES.

 - ARCHAEOLOGIST HAS CONCURRED WITH THE EVALUATION.

SPEAR & ASSOCIATES PROJECT NO. 14-160 AJV

c. EVIDENCE THAT THE DISPOSITION OF ALL CULTURAL MATERIALS HAS BEEN COMPLETED AS FOLLOWS:

(1) EVIDENCE THAT ALL PREHISTORIC MATERIALS COLLECTED DURING THE ARCHAEOLOGICAL MONITORING PROGRAM HAVE BEEN SUBMITTED TO A SAN DIEGO CURATION FACILITY OR A CULTURALLY AFFILIATED NATIVE AMERICAN TRIBAL CURATION FACILITY THAT MEETS FEDERAL STANDARDS PER 36 CFR PART 79, AND, THEREFORE, WOULD BE PROFESSIONALLY CURATED AND MADE AVAILABLE TO OTHER ARCHAEOLOGISTS/RESEARCHERS FOR FURTHER STUDY. THE COLLECTIONS AND ASSOCIATED RECORDS. INCLUDING TITLE, SHALL BE TRANSFERRED TO THE SAN DIEGO CURATION FACILITY OR CULTURALLY AFFILIATED NATIVE AMERICAN TRIBAL CURATION FACILITY AND SHALL BE ACCOMPANIED BY PAYMENT OF THE FEES NECESSARY FOR PERMANENT CURATION. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE CURATION FACILITY STATING THAT THE PREHISTORIC ARCHAEOLOGICAL MATERIALS HAVE BEEN RECEIVED AND THAT ALL FEES HAVE BEEN PAID. <u>OR</u>

EVIDENCE THAT ALL PREHISTORIC MATERIALS COLLECTED DURING THE ARCHAEOLOGICAL MONITORING PROGRAM HAVE BEEN RETURNED TO A NATIVE AMERICAN GROUP OF APPROPRIATE TRIBAL AFFINITY. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE NATIVE AMERICAN TRIBE TO WHOM THE CULTURAL RESOURCES HAVE BEEN REPATRIATED IDENTIFYING THAT

(2) HISTORIC MATERIALS SHALL BE CURATED AT A SAN DIEGO CURATION FACILITY AND SHALL NOT BE CURATED AT A TRIBAL CURATION FACILITY OR REPATRIATED. THE COLLECTIONS AND ASSOCIATED RECORDS, INCLUDING TITLE, SHALL BE TRANSFERRED TO THE SAN DIEGO CURATION FACILITY AND SHALL BE ACCOMPANIED BY PAYMENT OF THE FEES NECESSARY FOR PERMANENT CURATION. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE CURATION FACILITY STATING THAT

d. IF NO CULTURAL RESOURCES ARE DISCOVERED, A NEGATIVE MONITORING REPORT MUST BE SUBMITTED STATING THAT THE ARCHAEOLOGICAL MONITORING ACTIVITIES HAVE BEEN COMPLETED. GRADING MONITORING LOGS MUST BE SUBMITTED WITH

a. DURING THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED DEPOSITS, THE PROJECT ARCHAEOLOGIST AND KUMEYAAY NATIVE AMERICAN MONITOR SHALL BE ONSITE AS DETERMINED NECESSARY BY THE PROJECT ARCHAEOLOGIST. INSPECTIONS WILL VARY BASED ON THE RATE OF EXCAVATION, THE MATERIALS EXCAVATED, AND THE PRESENCE AND ABUNDANCE OF ARTIFACTS AND FEATURES. THE FREQUENCY AND LOCATION OF INSPECTIONS WILL BE DETERMINED BY THE PROJECT ARCHAEOLOGIST IN CONSULTATION WITH THE KUMEYAAY NATIVE AMERICAN MONITOR. MONITORING OF CUTTING OF PREVIOUSLY DISTURBED DEPOSITS WILL BE DETERMINED BY THE PROJECT ARCHAEOLOGIST IN CONSULTATION WITH THE

b. IN THE EVENT THAT PREVIOUSLY UNIDENTIFIED POTENTIALLY SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED: THE PROJECT ARCHAEOLOGIST OR THE KUMEYAAY NATIVE AMERICAN MONITOR SHALL HAVE THE AUTHORITY TO DIVERT OR TEMPORARILY HALT GROUND DISTURBANCE OPERATIONS IN THE AREA OF DISCOVERY TO ALLOW EVALUATION OF

THE PROJECT ARCHAEOLOGIST, IN CONSULTATION WITH THE PDS STAFF ARCHAEOLOGIST AND THE KUMEYAAY NATIVE AMERICAN MONITOR, SHALL DETERMINE THE SIGNIFICANCE OF THE DISCOVERED RESOURCES. CONSTRUCTION ACTIVITIES WILL BE ALLOWED TO RESUME IN THE AFFECTED AREA ONLY AFTER THE PDS STAFF

AD PERMIT AND GRADING PLAN NOTES CONTINUED:

- 4. ISOLATES AND CLEARLY NON-SIGNIFICANT DEPOSITS SHALL BE MINIMALLY DOCUMENTED IN THE FIELD. SHOULD THE ISOLATES AND/OR NON-SIGNIFICANT DEPOSITS NOT BE COLLECTED BY THE PROJECT ARCHAEOLOGIST. THEN THE KUMEYAAY NATIVE AMERICAN MONITOR MAY COLLECT THE CULTURAL MATERIAL FOR TRANSFER TO A TRIBAL CURATION FACILITY OR REPATRIATION PROGRAM.
- 5. A RESEARCH DESIGN AND DATA RECOVERY PROGRAM (PROGRAM) IS REQUIRED TO MITIGATE IMPACTS TO IDENTIFIED SIGNIFICANT CULTURAL RESOURCES. THE PROGRAM SHALL INCLUDE (1) REASONABLE EFFORTS TO PRESERVE (AVOIDANCE) "UNIQUE" CULTURAL RESOURCES OR SACRED SITES; (2) THE CAPPING OF IDENTIFIED SACRED SITES OR UNIQUE CULTURAL RESOURCES AND PLACEMENT OF DEVELOPMENT OVER THE CAP, IF AVOIDANCE IS INFEASIBLE; AND (3) DATA RECOVERY FOR NON-UNIQUE CULTURAL RESOURCES. THE PREFERRED OPTION IS PRESERVATION (AVOIDANCE). 6. THE RESEARCH DESIGN AND DATA RECOVERY PROGRAM SHALL BE PREPARED BY THE PROJECT ARCHAEOLOGIST IN
- COORDINATION WITH THE KUMEYAAY NATIVE AMERICAN MONITOR. 7. THE COUNTY ARCHAEOLOGIST SHALL REVIEW AND APPROVE THE PROGRAM, WHICH SHALL BE CARRIED OUT USING PROFESSIONAL ARCHAEOLOGICAL METHODS.
- c. IF ANY HUMAN REMAINS ARE DISCOVERED:
- 1. THE PROPERTY OWNER OR THEIR REPRESENTATIVE SHALL CONTACT THE COUNTY CORONER AND THE PDS STAFF ARCHAEOLOGIST
- 2. UPON IDENTIFICATION OF HUMAN REMAINS, NO FURTHER DISTURBANCE SHALL OCCUR IN THE AREA OF THE FIND UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN.
- 3. IF THE REMAINS ARE DETERMINED TO BE OF NATIVE AMERICAN ORIGIN. THE MOST LIKELY DESCENDANT (MLD), AS IDENTIFIED BY THE NATIVE AMERICAN HERITAGE COMMISSION (NAHC), SHALL BE CONTACTED BY THE PROPERTY OWNER OR THEIR REPRESENTATIVE IN ORDER TO DETERMINE PROPER TREATMENT AND DISPOSITION OF THE REMAINS.
- 4. THE IMMEDIATE VICINITY WHERE THE NATIVE AMERICAN HUMAN REMAINS ARE LOCATED IS NOT TO BE DAMAGED OR DISTURBED BY FURTHER DEVELOPMENT ACTIVITY UNTIL CONSULTATION WITH THE MLD REGARDING THEIR RECOMMENDATIONS AS REQUIRED BY PUBLIC RESOURCES CODE SECTION 5097.98 HAS BEEN CONDUCTED.
- 5. PUBLIC RESOURCES CODE §5097.98, CEQA §15064.5 AND HEALTH & SAFETY CODE §7050.5 SHALL BE FOLLOWED IN THE EVENT THAT HUMAN REMAINS ARE DISCOVERED.

DOCUMENTATION: THE APPLICANT SHALL IMPLEMENT THE ARCHAEOLOGICAL MONITORING PROGRAM PURSUANT TO THIS CONDITION TIMING: THE FOLLOWING ACTIONS SHALL OCCUR THROUGHOUT THE DURATION OF THE EARTH DISTURBING ACTIVITIES. MONITORING: THE [DPW, PDCI] SHALL MAKE SURE THAT THE PROJECT ARCHEOLOGIST IS ON-SITE PERFORMING THE MONITORING DUTIES OF THIS CONDITION. THE [DPW, PDCI] SHALL CONTACT THE [PDS, PPD] IF THE PROJECT ARCHEOLOGIST OR APPLICANT FAILS TO COMPLY WITH THIS CONDITION.

ROUGH GRADING: (PRIOR TO ROUGH GRADING APPROVAL AND ISSUANCE OF ANY BUILDING PERMIT).

CULT#GR-3 ARCHAEOLOGICAL MONITORING - ROUGH GRADING [PDS, FEE] INTENT: IN ORDER TO COMPLY WITH THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE AND REPORT FORMAT AND CONTENT REQUIREMENTS FOR CULTURAL RESOURCES. AN ARCHAEOLOGICAL MONITORING PROGRAM SHALL BE IMPLEMENTED. DESCRIPTION OF REQUIREMENT: THE PROJECT ARCHAEOLOGIST SHALL PREPARE ONE OF THE FOLLOWING REPORTS UPON COMPLETION OF THE EARTH-DISTURBING ACTIVITIES THAT REQUIRE MONITORING AND COMMUNICATE WITH LOCAL TRIBES AS REQUIRED BELOW:

- IF NO ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED DURING EARTH-DISTURBING ACTIVITIES, THEN SUBMIT A FINAL NEGATIVE MONITORING REPORT SUBSTANTIATING THAT EARTH-DISTURBING ACTIVITIES ARE COMPLETED, AND NO CULTURAL RESOURCES WERE ENCOUNTERED. ARCHAEOLOGICAL MONITORING LOGS SHOWING THE DATE AND TIME THAT THE MONITOR WAS ON SITE AND ANY COMMENTS FROM THE KUMEYAAY NATIVE AMERICAN MONITOR MUST BE INCLUDED IN THE NEGATIVE MONITORING REPORT.
- b. IF ARCHAEOLOGICAL RESOURCES WERE ENCOUNTERED DURING THE EARTH DISTURBING ACTIVITIES, THE PROJECT ARCHAEOLOGIST SHALL PROVIDE AN ARCHAEOLOGICAL MONITORING REPORT STATING THAT THE FIELD MONITORING ACTIVITIES HAVE BEEN COMPLETED. AND THAT RESOURCES HAVE BEEN ENCOUNTERED. THE REPORT SHALL DETAIL ALL CULTURAL

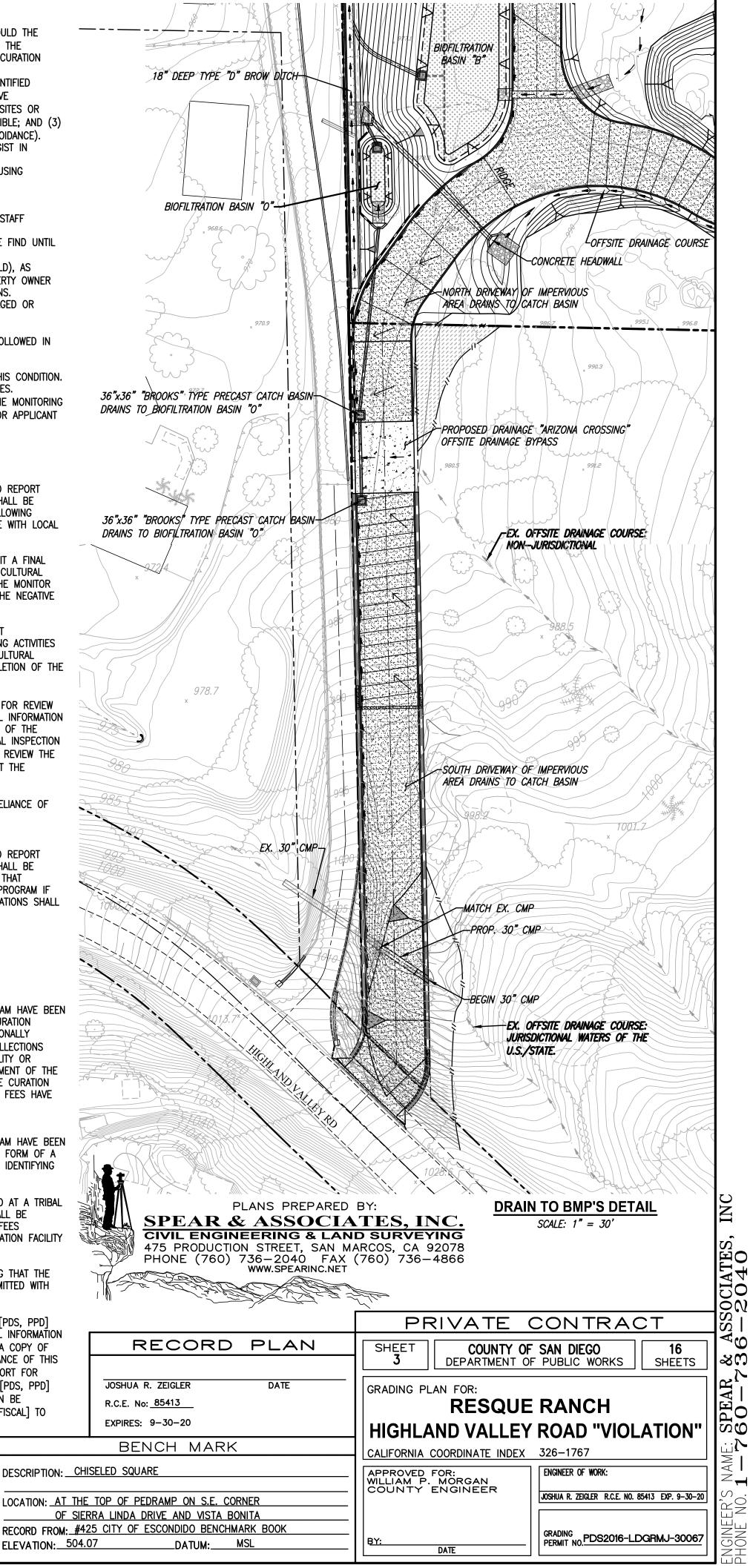
- SUBMITTED TO A SAN DIEGO CURATION FACILITY OR A CULTURALLY AFFILIATED NATIVE AMERICAN TRIBAL CURATION FACILITY THAT MEETS FEDERAL STANDARDS PER 36 CFR PART 79, AND, THEREFORE, WOULD BE PROFESSIONALLY CURATED AND MADE AVAILABLE TO OTHER ARCHAEOLOGISTS/RESEARCHERS FOR FURTHER STUDY. THE COLLECTIONS AND ASSOCIATED RECORDS, INCLUDING TITLE, SHALL BE TRANSFERRED TO THE SAN DIEGO CURATION FACILITY OR CULTURALLY AFFILIATED NATIVE AMERICAN TRIBAL CURATION FACILITY AND SHALL BE ACCOMPANIED BY PAYMENT OF THE FEES NECESSARY FOR PERMANENT CURATION. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE CURATION FACILITY STATING THAT THE PREHISTORIC ARCHAEOLOGICAL MATERIALS HAVE BEEN RECEIVED AND THAT ALL FEES HAVE BEEN PAID.

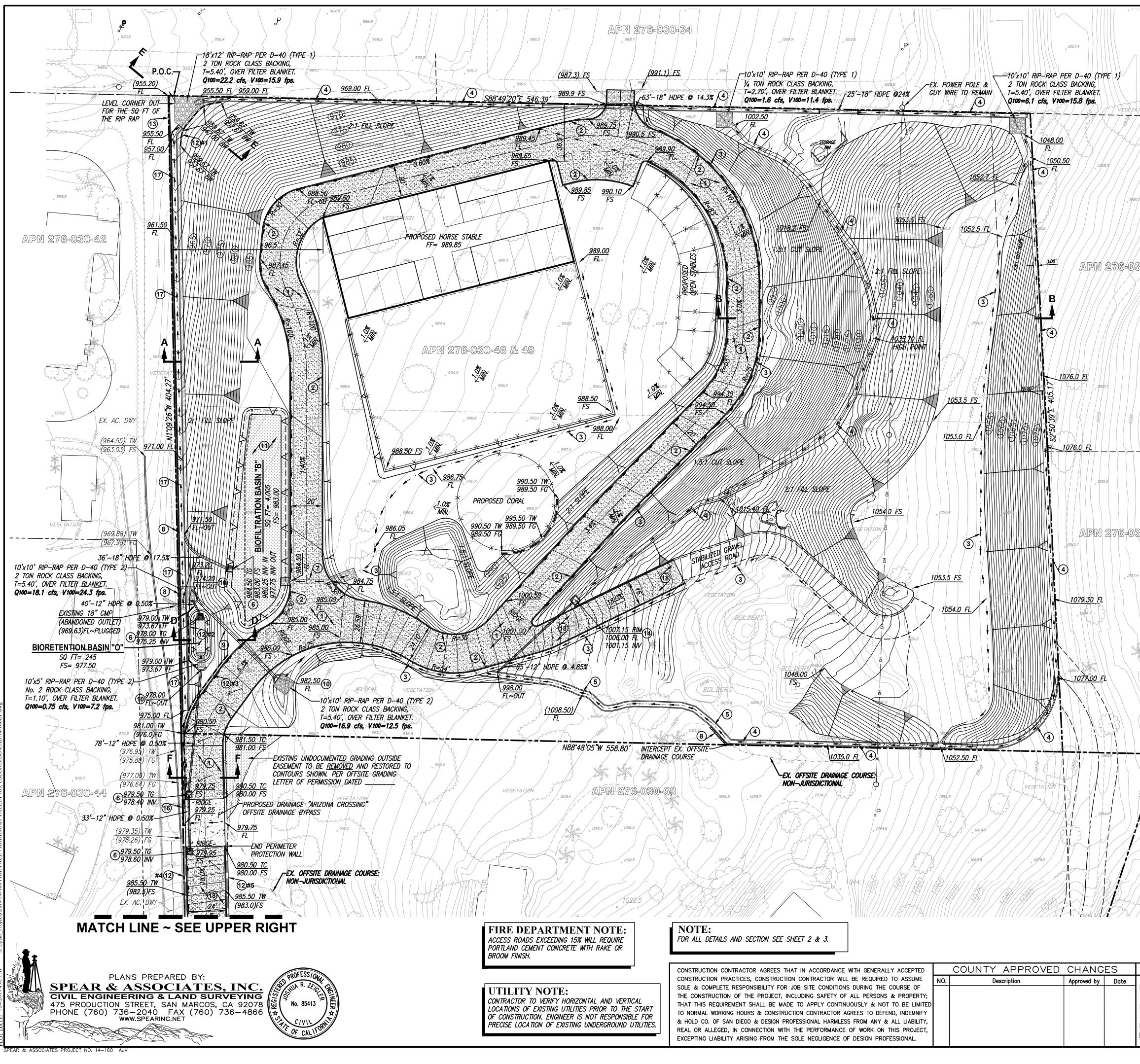
EVIDENCE THAT ALL PREHISTORIC MATERIALS COLLECTED DURING THE ARCHAEOLOGICAL MONITORING PROGRAM HAVE BEEN RETURNED TO A NATIVE AMERICAN GROUP OF APPROPRIATE TRIBAL AFFINITY. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE NATIVE AMERICAN TRIBE TO WHOM THE CULTURAL RESOURCES HAVE BEEN REPATRIATED IDENTIFYING THAT THE ARCHAEOLOGICAL MATERIALS HAVE BEEN RECEIVED.

- (2) HISTORIC MATERIALS SHALL BE CURATED AT A SAN DIEGO CURATION FACILITY AND SHALL NOT BE CURATED AT A TRIBAL CURATION FACILITY OR REPATRIATED. THE COLLECTIONS AND ASSOCIATED RECORDS, INCLUDING TITLE, SHALL BE TRANSFERRED TO THE SAN DIEGO CURATION FACILITY AND SHALL BE ACCOMPANIED BY PAYMENT OF THE FEES NECESSARY FOR PERMANENT CURATION. EVIDENCE SHALL BE IN THE FORM OF A LETTER FROM THE CURATION FACILITY STATING THAT THE HISTORIC MATERIALS HAVE BEEN RECEIVED AND THAT ALL FEES HAVE BEEN PAID.
- d. IF NO CULTURAL RESOURCES ARE DISCOVERED, A NEGATIVE MONITORING REPORT MUST BE SUBMITTED STATING THAT THE ARCHAEOLOGICAL MONITORING ACTIVITIES HAVE BEEN COMPLETED. GRADING MONITORING LOGS MUST BE SUBMITTED WITH THE NEGATIVE MONITORING REPORT.

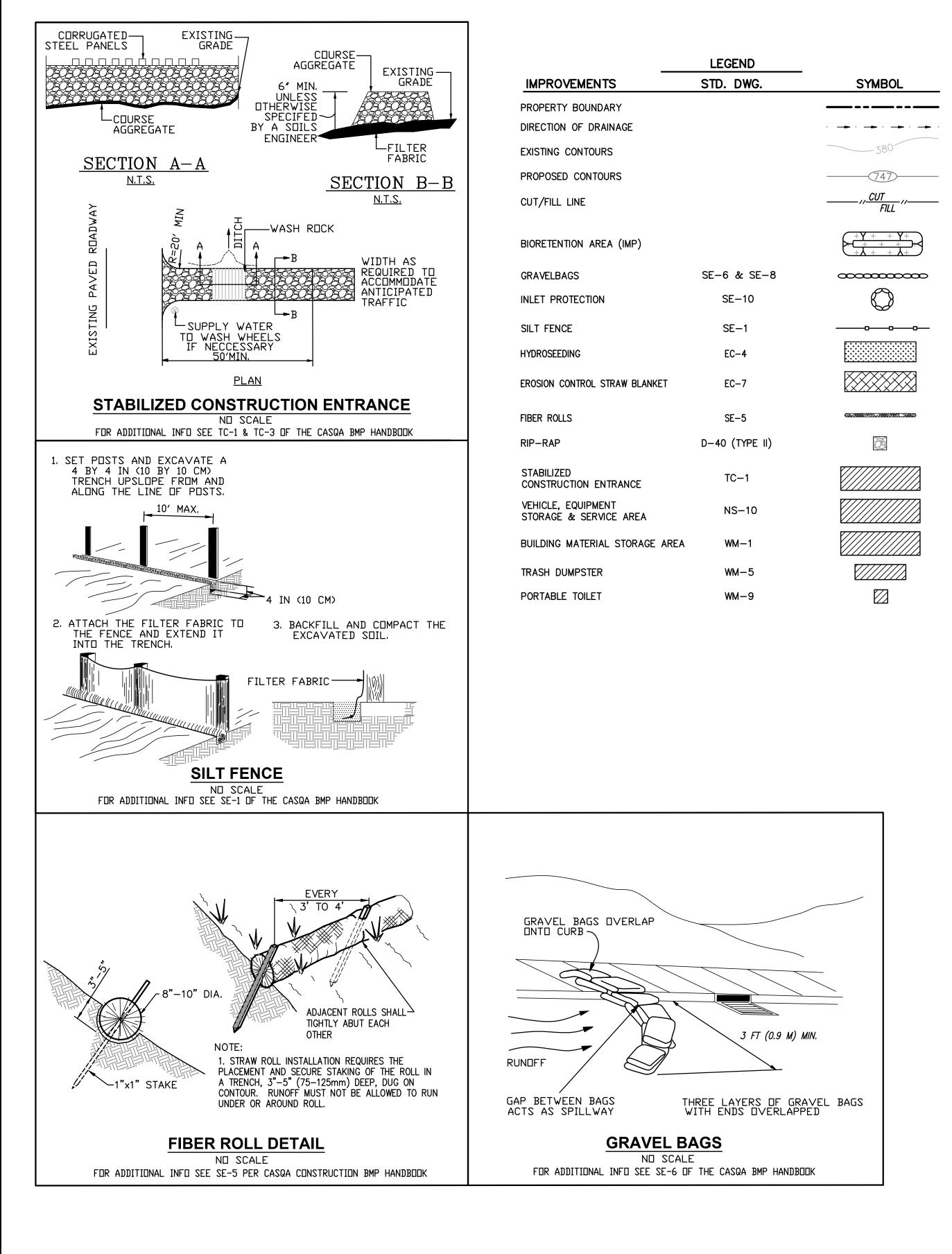
DOCUMENTATION: THE APPLICANT'S ARCHAEOLOGIST SHALL PREPARE THE FINAL REPORT AND SUBMIT IT TO THE [PDS, PPD] FOR APPROVAL. ONCE APPROVED, A FINAL COPY OF THE REPORT SHALL BE SUBMITTED TO THE SOUTH COASTAL INFORMATION CENTER (SCIC), THE VIEJAS BAND OF MISSION INDIANS, AND ANY CULTURALLY AFFILIATED TRIBE THAT REQUESTS A COPY OF THE REPORT. TIMING: PRIOR TO ANY OCCUPANCY, FINAL GRADING RELEASE, OR USE OF THE PREMISES IN RELIANCE OF THIS PERMIT, THE FINAL REPORT SHALL BE PREPARED. MONITORING: THE [PDS, PPD] SHALL REVIEW THE FINAL REPORT FOR COMPLIANCE WITH THIS CONDITION AND THE REPORT FORMAT GUIDELINES. UPON ACCEPTANCE OF THE REPORT, [PDS, PPD] SHALL INFORM [PDS, LDR] AND [DPW, PDCI], THAT THE REQUIREMENT IS COMPLETE, AND THE BOND AMOUNT CAN BE RELINQUISHED. IF THE MONITORING WAS BONDED SEPARATELY, THEN [PDS, PPD] SHALL INFORM [PDS OR DPW FISCAL] TO RELEASE THE BOND BACK TO THE APPLICANT.

		COUNTY APPROVED	CHANG	ES	
PROFESSIONAL	NO.	Description	Approved by	Date	ſ
No. 85413					
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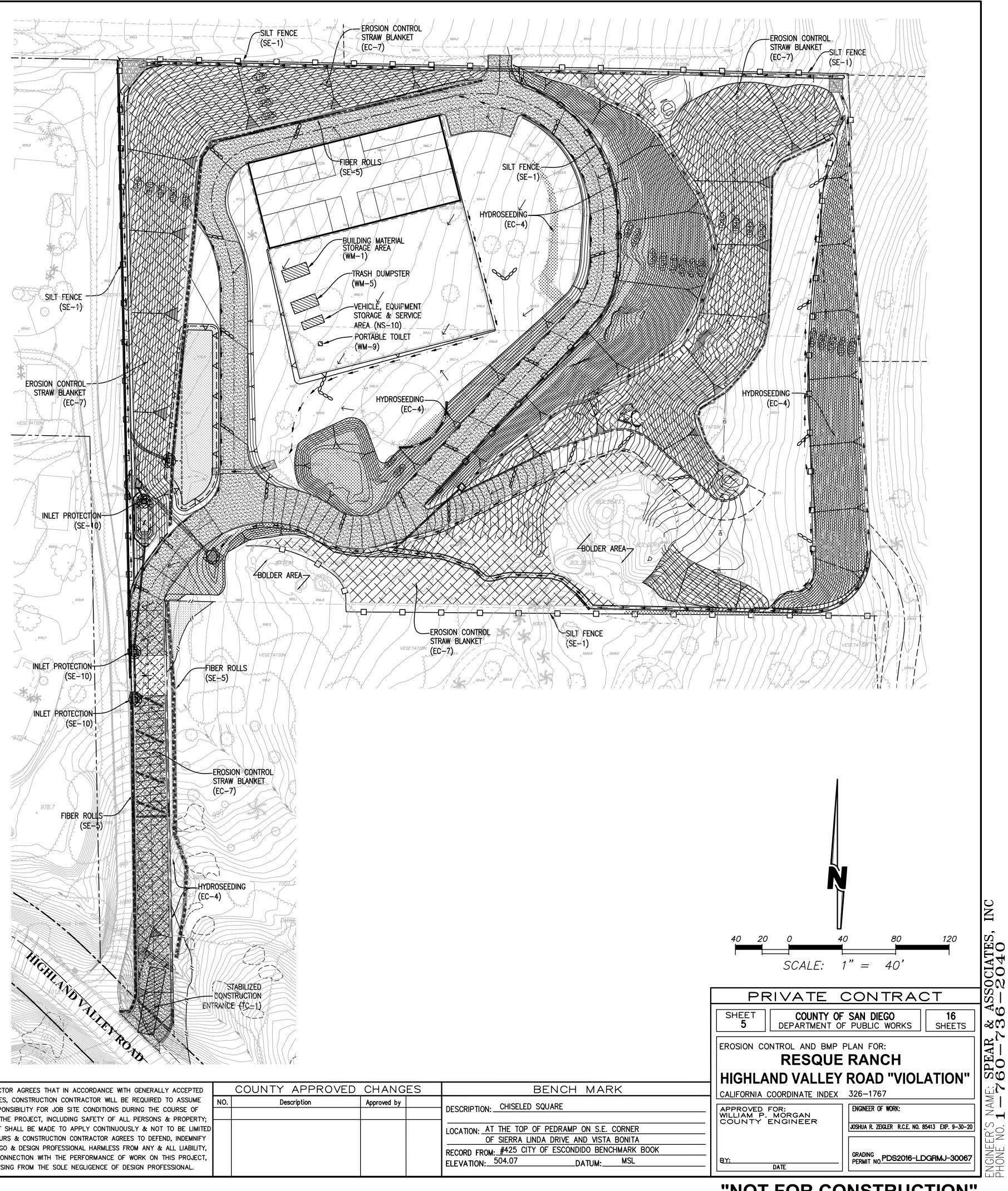




	MATCH L	INE ~ 3	SEE LO	WER LEFT	
		<u>990.50</u> TW (986.5)FS		<u>990.50 Tw</u> (986.0)FS	988.5
	APN 276-030-44		- Cost		APN 276-030-60
	978.7 ×	<u>996.05</u> TW (991.0)FS	200	<u>996.55 TW</u> (993,0)FS	
	E E Dense	Trees	54 24 /	-PROP. ELEVATION DR	ALEMAN 295 E
		#4 12		(PER SEPARATE PERM	IVE WAP 5 MIT)
	985	B/ . 995		(12)#5 28.00'- ACCESS	
	EXISTING 49'-30" CMP @(11.6%)			EASEMENT	× 1001.7
	(991.92) INV. OUT		18.0%	PROP. FILL SLOP	Dense Prees
	SAWCUT-		AS -	(997.63) INV. INSTALLED 18'	
30=31	9700 REMOVE EXIST. WALL	F			CMP @(9.75%)
		JWY H		BEGIN 30" CMP (1000.0)FL	
	PROTECTION W			EXISTING EASEMEN	UNDOCUMENTED GRADING OUTSIDE
				1022.80 LETTER 1023.30	OF PERMISSION DATED
		1110 × 10 × 00	NY	BEGIN PERIME	
× 1106.7			(1023.0)	PROTECTION W	
	_		CTION NO		
		(STRUCTUR	AL SECTION SP	IENT OVER 8" CLASS II A. IALL BE AS APPROVED B\ TYPE A PER SDRSD G-5	•
		EARTHEN S	SWALE @1.0%	MIN. PER DETAIL SHEET 3. PE "B" BROW DITCH PER	
× 1106.7				PE "D" BROW DITCH PER PRECAST CATCH BASIN.	SDRSD D–75.
30-59				C.C. RIBBON GUTTER PER . 15' LONG x 3' MIN. HIC	
		5	'-24" HDPE @ CONCRETE HE	910.5% TADWALL PER SDRSD D-3	34.
		🤇 & PER DE	TAIL SHEET 2.	i basin w/nutrient sen. Taining walls per shee	ISITIVE MEDIA PER "BF-2" TTS 6 - 16.
		CONSTRUCT	T SPLASH WALL		GH AT END WEST BOUNDARY.
* 1101.8		<		DRIVEWAY PER SDRSD DS 73' LONG X 2' HIGH MI	
		WITH SPLAS	SH WALL 2' MI	18" DEEP TYPE "D" BROW N. HIGH ALONG WEST BOU MENT OVER 95% COMPAC	
		/		IALL BE AS APPROVED B	
x 1094,3					
7	Ñ				
					
	∐ 30 15 0 30	60	90		WILL BE IN ACCORDANCE WITH ANDARD DRAWINGS DS-8, DS-10,
Hov 1 1	SCALE: 1" = 3	30' r		DS-11 & D-75.	
	RECORD PLA	N	SHEET	COUNTY OF	SAN DIEGO
/ / / / / / / / /	JOSHUA R. ZEIGLER DATE		GRADING I	DEPARTMENT OF	PUBLIC WORKS SHEETS
	R.C.E. No: <u>85413</u> EXPIRES: 9–30–18		 	RESQUE	RANCH ROAD "VIOLATION"
DESCRIPTION:CHI	BENCH MARK			COORDINATE INDEX	326–1767
LOCATION: AT THE	TOP OF PEDRAMP ON S.E. CORNER		WILLIAM I COUNTY) FOR: P. MORGAN ENGINEER	ENGINEER OF WORK: JOSHUA R. ZEIGLER R.C.E. NO. 85413 EXP. 9-30-20
	RRA LINDA DRIVE AND VISTA BONITA 25 CITY OF ESCONDIDO BENCHMARK BOOK 07DATUM: MSL		BY:		GRADING PERMIT NO.PDS2016-LDGRMJ-30067
				T FOR CO	NSTRUCTION"







	CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED	
	CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME	N
	SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF	
	THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY;	
	THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED	
	TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY	
	& HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY,	
	REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT,	
	EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.	
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	COUNTY APPROVED	CHANG	ES	
0.	Description	Approved by		
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GENERAL NOTES

1. REFERENCED STANDARDS

- ASTM C1372-04e2 STANDARD SPECIFICATION FOR SEGMENTAL RETAINING WALL UNITS ASTM C140-07 SAMPLING AND TESTING CONCRETE
- MASONRY UNITS ASTM C145-85 SOLID LOAD BEARING CONCRETE MASONRY
- UNITS ASTM D1557-12 COMPACTION CHARACTERISTICS OF SOIL
- USING MODIFIED EFFORT ASTM D3034-06 PERFORATED PVC DRAINAGE PIPE ICC NO. ESR 2113 FOR KEYSTONE WALLS ASTM D2339-98(2004)
- ASTM D3498-03
- ASTM D572-04
- 2. MATERIAL DELIVERY, STORAGE, AND HANDLING

CONTRACTOR SHALL CHECK MATERIALS UPON DELIVERY TO ASSURE THAT PROPER MATERIALS HAVE BEEN RECEIVED AND ARE NOT DAMAGED. CONTRACTOR SHALL PROTECT MATERIALS FROM DAMAGE DURING STORAGE AND HANDLING AND SHALL PREVENT CONTACT WITH MUD, WET CONCRETE, CHEMICALS, OR ADHESIVES. DAMAGED MATERIAL SHALL NOT BE INCORPORATED INTO THE RETAINING WALL STRUCTURE.

3. REQUIRED SUBMITTALS

- A. LIST OF ALL PRODUCTS PROPOSED FOR USE.
- B. PRODUCT SAMPLES. C. CURRENT MANUFACTURER'S MATERIAL AND INSTALLATION SPECIFICATIONS.
- 4. QUALITY CONTROL

COMPACTION TESTING AND OBSERVATION DURING EARTHWORK OPERATIONS WILL BE PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER.

- MATERIALS
- 5. MASONRY WALL UNITS

MASONRY WALL UNITS SHALL BE KEYSTONE UNITS: STANDARD UNIT III UNIT MEASURING 18"W X 18"D X 8"H AND COUNTRY MANOR UNITS MEASURING 4"-16"W X 10"D X 6"H. WALL UNITS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C1262-07, ASTM C1372-04e2 AND ASTM C140-07. WALL UNIT CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI AND SHALL HAVE A MAXIMUM MOISTURE ABSORPTION OF 6 TO 8%.

6. CONNECTING PINS

WALL UNIT CONNECTING PINS SHALL BE ¹/₂" DIAMETER NON-CORROSIVE FIBERGLASS RODS WITH A MINIMUM FLEXURAL STRENGTH OF 128,000 PSI SHORT BEAM SHEAR OF 6,400 PSI.

7. CAP ADHESIVE

CAP ADHESIVE SHALL BE SRW VOC RETAINING WALL AND PAVER ADHESIVE OR APPROVED EQUIVALENT CONFORMING TO ASTM D2339-98(2004), ASTM D572-04 AND ASTM D3498-03.

8. LEVELING PAD

LEVELING PAD MATERIAL SHALL BE $\frac{3}{4}$ " MINUS CRUSHED ROCK SAND EQUIVALENT (S.E.)>40.

9. UNIT FILL

UNIT DRAINAGE FILL SHALL CONSIST OF CLEAN 1" (25 MM) MINUS CRUSHED STONE OR CRUSHED GRAVEL MEETING THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D-422:

SIEVE SIZE	PERCENT PASSING
1" (25 mm)	100
³ / ₄ " (19 mm)	75 - 100
No. 4 (4.75 mm)	0 - 10
No. 50 (300um)	0 - 5

10. REINFORCED BACKFILL

REINFORCED BACKFILL SHALL BE FREE OF DEBRIS AND MEET THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D-422:

S	SIEVE SIZE	PERCENT PASSING
2	2 inch (50 mm)	100
3	8/4-inch (19 mm)	100-75
Ν	lo. 40 (425 um)	0-60
Ν	lo. 200 (75 um)	0-35
TICT	Y INDEX(PI) <20 and I	LIQUID LIMIT <40 per ASTM D-4318.

PLAST NON-ANGULAR PARTICLES UP TO 3" IN SIZE MAY BE ALLOWED FOR NO MORE THAN 15% OF THE BACKFILL.

11. GEOGRID REINFORCEMENT (IF REQUIRED)

GEOGRID SHALL BE POLYMER COATED WOVEN POLYESTER FABRICATED FOR EARTH REINFORCEMENT. GEOGRID SHALL BE Tensar TPG60 & TPG80. SUBSTITUTE EQUIVALENT GEOGRIDS SHALL BE APPROVED BY THE ENGINEER. A HIGHER STRENGTH GEOGRID OF THE SAME MANUFACTURER MAY BE SUBSTITUTED WITHOUT QUESTION.

12. DRAIN PIPE

DRAIN PIPE SHALL BE 4" PERF SDR 35 PVC OR TRIPLE WALL OR EQUAL DRAIN INSERTED INTO FILTERSOCK, ENCASED IN 1" MINUS CRUSHED ROCK. LOCATE DRAINS AS LOW AS POSSIBLE AND EITHER DAYLIGHT OR CONNECT TO SITE STORM DRAIN SYSTEM.

13. FILTER FABRIC

FOR WALLS DESIGNED WITH STANDARD III UNITS, A MINIMUM 4.0 OUNCE FILTER FABRIC GEOTEXTILE SEPARATOR (MIRAFI 140NC OR EQUIVALENT SHALL BE USED TO CONTAIN THE DRAINAGE FILL WITHIN THE KEYSTONE UNIT ALLOWING PLACEMENT OF SELECT BACKFILL FIRST FOLLOWED BY THE DRAINAGE FILL WITHIN THE UNITS. THIS METHOD SHALL NOT BE USED WITH WALLS DESIGN WITH COMPAC II UNITS ONLY.

EXECUTION

14. EXCAVATION

CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. CONTRACTOR SHALL BE CAREFUL NOT TO DISTURB EMBANKMENT MATERIALS BEYOND LINES SHOWN.

15. FOUNDATION SOIL PREPARATION

EXCAVATED FOUNDATION SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER TO CONFIRM THAT THE ACTUAL FOUNDATION SOIL CONDITIONS ARE CONSISTENT WITH CONDITIONS ASSUMED FOR DESIGN AND IDENTIFIED IN THE REFERENCED GEOTECHNIAL REPORTS. UNACCEPTABLE FOUNDATION SOILS SHALL BE REMOVED AND REPLACED WITH APPROVED COMPACTED BACKFILL MATERIAL. FOUNDATION SOIL SHALL BE PROOF ROLLED PRIOR TO FILL AND GEOGRID PLACEMENT.

16. LEVELING PAD INSTALLATION

LEVELING PAD MATERIALS SHALL CONSIST OF WELL GRADED ROCK $(\frac{3}{4})$ " MAX SIZE), 6" MIN THICKNESS ON COMPACTED ENGINEERED FILL. DIMENSIONS SHOWN ON CONSTRUCTION DRAWINGS. FINISHED LEVELING PAD SHALL HAVE A SMOOTH LEVEL SURFACE TO PROVIDE COMPLETE SUPPORT THE FIRST COURSE OF RETAINING WALL UNITS.

17. WALL UNIT INSTALLATION

THE FIRST COURSE OF CONCRETE WALL UNITS SHALL BE CHECKED FOR LEVELNESS AND ALIGNMENT AND TO ENSURE THAT UNITS ARE IN FULL CONTACT WITH LEVELING PAD. UNITS SHALL BE PLACED SIDE BY SIDE FOR FULL LENGTH OF WALL. ALIGNMENT MAY BE ACCOMPLISHED BY MEANS OF A STRING LINE OR AN OFFSET FROM BASELINE. INSTALL FIBERGLASS CONNECTING PINS. CONTRACTOR MAY STACK KEYSTONE UNITS VERTICALLY IN ROWS BETWEEN GEOGRID LAYERS, BUT NO MORE THAN 3 KEYSTONE UNITS BEFORE FILLING WITH UNIT FILL MATERIAL. FILL ALL VOIDS WITH UNIT FILL MATERIAL. SINCE THE UNIT FILL IS A DRAINAGE MATERIAL AND SELF COMPACTING, NO COMPACTION IS REQUIRED. SWEEP ALL EXCESS MATERIAL FROM TOP OF UNITS AND INSTALL NEXT COURSE(S). ENSURE WALL UNITS OF EACH COURSE ARE COMPLETELY FILLED WITH UNIT FILL MATERIAL AND THAT THE BACKFILL HAS BEEN PLACED AND COMPACTED PRIOR TO PROCEEDING TO NEXT COURSE(S). ENSURE THAT CONNECTING PINS PROTRUDE A MINIMUM OF 1" INTO NEXT COURSE. TWO PINS ARE REQUIRED PER UNIT. PULL UPPER UNIT FORWARD TOWARD THE WALL FACE, AGAINST PINS PROTRUDING FROM THE LOWER COURSE TO ACHIEVE CORRECT UNIT SETBACK SHOWN ON THE CONSTRUCTION DRAWINGS. WHERE THE WALL CHANGES ELEVATION, UNITS SHALL BE STEPPED WITH GRADE OR TURNED INTO THE EMBANKMENT WITH A CONVEX RETURN END. PROVIDE LEVELING PAD FOR UNITS IN AREA OF CONVEX RETURN END. EVERY COURSE OF WALL UNITS SHOULD BE CHECKED FOR LEVELNESS WITH MINOR SHIMMING DONE EVERY COURSE OR TWO, OR AS NEEDED TO INSURE THAT THE UNITS REMAIN TRUE TO DESIGN BATTER. SHIMMING MATERIAL SHOULD BE SOMEWHAT FLEXIBLE. SUCH AS 1/4" NYLON ROPE, TO COMPRESS SLIGHTLY AND DISTRIBUTE LOAD EVENLY WHILE AVOIDING HARD MATERIALS WHICH CAN CREATE LOAD CONCENTRATION POINTS.

18. CAP INSTALLATION

CONSTRUCTION ADHESIVE SHALL BE USED TO PROVIDE PERMANENT CONNECTION OF CAPS TO WALL UNITS. APPLY ADHESIVE TO TOP SURFACE OF LOWER COURSE PRIOR TO PLACING CAP UNIT INTO POSITION. PLACE KEYSTONE CAP UNITS OVER CONNECTING PINS PROJECTING FROM UNITS BELOW. PULL FORWARD TO CORRECT SETBACK POSITION. BACKFILL AND COMPACT TO FINISH GRADE.

19. GEOGRID INSTALLATION (IF REQUIRED)

GEOGRID SHALL BE PLACED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER. GEOGRID SHALL BE ORIENTED WITH THE HIGH STRENGTH DIRECTION (ROLL DIRECTION) PERPENDICULAR TO THE RETAINING WALL ALIGNMENT. CORRECT ORIENTATION OF THE GEOGRID SHALL BE VERIFIED BY THE CONTRACTOR. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND CONNECTED TO THE CONCRETE WALL UNITS BY HOOKING GEOGRID OVER CONNECTING PINS. GEOGRID SHALL BE PULLED TAUT WITH THE BACK EDGE ADEQUATELY ANCHORED TO MAINTAIN TAUTNESS DURING BACKFILL AND COMPACTION. FOLLOW MANUFACTURER GUIDELINES REGARDING OVERLAP REQUIREMENTS. GEOGRID SHOULD NOT BE SKEWED MORE THAN 15 DEGREES UNLESS APPROVED BY THE ENGINEER.

20. BACKFILL PLACEMENT

BACKFILL MATERIAL SHALL BE PLACED IN 8" - 12" LIFTS FOR NON SELECT MATERIAL AND UP TO 24" LIFTS FOR SELECT MATERIAL, AS COORDINATED WITH THE GEOTECHNICAL ENGINEER AND COMPACTED TO MINIMUM 90% OF MAXIMUM DRY DENSITY DETERMINED PER ASTM D1557-12. MOISTURE CONTENT OF BACKFILL SHOULD BE AT OR SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT. ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3' OF THE FACE OF THE RETAINING WALL UNITS AND ANY NUCLEAR COMPACTION TESTING SHALL NOT BE PERFORMED WITHIN THIS ZONE WHERE INCONSISTENT RESULTS WILL OCCUR. BACKFILL SHALL BE PLACED FROM THE WALL REARWARD INTO THE EMBANKMENT TO ENSURE THAT THE GEOGRID REMAINS TAUT. BACKFILL SHALL BE LEVEL SUCH THAT ANY SHALLOW DEPRESSIONS AND HUMPS DO NOT EXCEED 6" IN DEPTH OR HEIGHT. BACKFILL SHALL BE PLACED, SPREAD AND COMPACTED IN SUCH A MANNER TO MINIMIZE THE DEVELOPMENT OF SLACK OR LOSS OF PRE-TENSION OF THE GEOGRID. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOGRID. A MINIMUM UNCOMPACTED BACKFILL THICKNESS OF 6" IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TURNING OF TRACKED VEHICLES SHALL BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING THE GEOGRID. RUBBER-TIRED EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS. LESS THAN 10 MPH. AVOID SUDDEN BRAKING AND SHARP TURNING.

KEYSTONE RETAINING WALL PLAN RESQUE RANCH 15635 PASEO PENASCO ESCONDIDO, CALIFORNIA 92025

SCOPE OF WORH FOUR KEYSTONE & ONE VISTA DSM RETAINING WALL RETAINING OFF OF PASEO PENASCO & HIGHLAND VALLEY ROAD, IN THE COUNTY OF SAN DIEGO, CALIFORNIA.

WALL NO.	LINEAR FEET	SQUARE FEET
1	42	395
2	43	255
3	104	520
4	238	2385
5	234	3135

STATEMENT OF SPECIAL INSPECTION NOTES

- A. THE CONSTRUCTION INSPECTIONS LISTED ARE IN ADDITION TO THE CALLED INSPECTIONS REQUIRED BY CALIFORNIA BUILDING CODE (CBC). THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE IN ADDITION TO, AND NOT A SUBSTITUTE FOR THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY A COUNTY OF SAN DIEGO (COUNTY), DEPARTMENT OF PUBLIC WORKS (DPW), PRIVATE DEVELOPMENT CONSTRUCTION INSPECTION (PDCI) INSPECTOR. SPECIALLY INSPECTED WORK WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE COUNTY PDCI INSPECTOR IS SUBJECT TO REMOVAL OR EXPOSURE.
- B. SPECIAL INSPECTION IS REQUIRED DURING THE PERFORMANCE OF THE WORK PER CBC REFERENCED ABOVE. C. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST TWO WORKING DAYS PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT SPECIAL
- INSPECTION IS SUBJECT TO REMOVAL. D. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE
- DPW PDCI. THE SPECIAL INSPECTOR MUST BE CERTIFIED BY THE COUNTY IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION. THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE COUNTY DPW MATERIALS LABORATORY FOR TESTING OF
- MATERIALS SYSTEMS, COMPONENTS AND EQUIPMENT G. A PROPERTY OWNER'S FINAL REPORT FOR WORK REQUIRED TO HAVE SPECIAL INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT AND/OR ENGINEER OF RECORD AND SUBMITTED TO THE COUNTY DPW PDCI OFFICIAL.

SPECIAL INSPECTION SHOULD BE PERFORMED BY THE ONSITE REPRESENTATIVE OF THE PROJECT'S GEOTECHNICAL FIRM.

SPECIAL INSPECTION (SPECIAL CASES PER 1704.15 & ESR-2113.4.3)

SPECIAL INSPECTION MUST BE PROVIDED IN ACCORDANCE WITH IBC SECTION 1704.5 (IBC AND IRC) AND CBC 2016 AS APPLICABLE. THE INSPECTOR'S RESPONSIBILITIES INCLUDE VERIFYING THE FOLLOWING:

1. THE MODULAR CONCRETE UNIT DIMENSIONS.

PGA_M = 0.389g

- 2. KEYSTONE UNIT IDENTIFICATION COMPLIANCE WITH ASTM C1372-04E2, INCLUDING COMPRESSIVE STRENGTH AND WATER ABSORPTION, AS DESCRIBED IN SECTION 3.1 OF ESR-2113.
- 3. EXCAVATION FOR FOUNDATION, SUBGRADE CONDITION PRIOR TO LEVELING PAD PLACEMENT 4. FOUNDATION PREPARATION: SOIL TYPE, CLASSIFICATION, SHEAR STRENGTH PARAMETERS AND COMPACTION FOR SUBGRADE.
- OBSERVE PLACEMENT & SEATING OF GRAVEL LEVELING PAD.
- KEYSTONE UNIT PLACEMENT, INCLUDING PLACEMENT OF ALIGNMENT PINS (SEE DRAWING, ACTUAL BATTER BY SURVEY OR CIVIL). GEOSYNTHETIC REINFORCEMENT TYPE AND PLACEMENT.
- BACKFILL PLACEMENT AND COMPACTION: SOIL TYPE, CLASSIFICATION, SHEAR STRENGTH PARAMETERS AND COMPACTION FOR BACKFILL 9. COMPACTION OF BACKFILL TO 90% OF MAXIMUM DRY DENSITY PER ASTM D1557-12.
- 10. SOIL TYPE TO MEET MINIMUM DESIGN REQUIREMENTS.
- 11. DRAINAGE PROVISIONS, INCLUDING SUB-DRAIN PLACEMENT. 12. SPECIAL INSPECTION SHALL BE PERFORMED ON A CONTINUOUS BASIS.
- 13. PROVIDE REPORT AT THE COMPLETION OF WALL(S).

DESIGN PARAMETERS FOR KEYSTONE WALL DESIGN:

MINIMUM SOIL PROPERTIES:					
$\frac{\text{FOUNDATION SOIL:}}{\Phi = 34^{\circ}}$ $\gamma = 130 \text{ PCF}$ c = 0 PSF	$\frac{\text{RETAINED SOIL:}}{\Phi = 32^{\circ}}$ $\gamma = 130 \text{ PCF}$ c = 0 PSF	$\frac{\text{REINFORCED SOIL:}}{\Phi = 32^{\circ}}$ $\gamma = 130 \text{ PCF}$ c = 0 PSF			
SEISMIC DESIGN:					

DECLARATION OF RESPONSIBLE CHA I HEREBY DECLARE THAT I AM THE ENGINEER HAVE EXERCISED RESPONSIBLE CHARGE OVER IN SECTION 6703 OF THE BUSINESS & PROFES CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT COUNTY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

BY: NICK SERVIN R.C.E. 33381 EXP. 6/30/20



DESIGN CONSULTANTS

HILLSIDE COMPANIES 4805 5TH STREET #102 FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038

These engineering plans were designed for construction by Hillside Companies and may not be used by any other contractor without written permission by Hillside Companies.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES Description Approved by Date

REFERENCES

KEYSTONE RETAINING WALL SYSTEMS, INC. 2011, KEYSTONE DESIGN MANUAL AND KEYWALL OPERATING GUIDE.

KEYSTONE RETAINING WALL SYSTEMS, INC., KEYWALL, VERSION 3.7.2 BUILD 10, 2012.

NATIONAL CONCRETE MASONRY ASSOCIATION. DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, SECOND EDITION.

2016 CALIFORNIA BUILDING CODE, (CBC 2016)

SPEAR & ASSOCIATES, INC., GRADING PLAN FOR RESQUE RANCH HIGHLAND VALLEY ROAD "VIOLATION", CCI 236-1767, CAD FILE RECEIVED NOVEMBER 10, 2017. UPDATED CAD FILES RECIEVED MARCH 14, 2018.

CONSTRUCTION TESTING & ENGINEERING, INC., INITIAL PRELIMINARY GEOTECHNICAL RECOMMENDATIONS, BARN AND ARENA, APNS 276-30-48 AND 276-030-49 COUNTY OF SAN DIEGO, CALIFORNIA, CTE JOB NO. 10-12385G, DATED MAY 20, 2015.

CONSTRUCTION TESTING & ENGINEERING, INC., INITIAL PRELIMINARY GEOTECHNICAL RECOMMENDATIONS, PROPOSED SEGMENTAL WALL AND ROADWAY AT RESQUE RANCH, COUNTY OF SAN DIEGO, CALIFORNIA, CTE JOB NO. 10-12385G, RECIEVED APRIL 9, 2018.

ICC ESR-2113: REPORT FOR KEYSTONE RETAINING WALL SYSTEMS, **REVISED OCTOBER, 2017**

NOTE:

REFER TO GRADING PLANS PREPARED BY SPEAR & ASSOCIATES, INC. FOR FINISHED GRADE ELEVATIONS AND WALL LOCATION. THE WALL BOTTOM ELEVATION IS BASED ON FINISHED GRADE ELEVATION PLUS EMBEDMENT REQUIRED FOR THE WALL ANY DISCREPANCY IN WALL ELEVATIONS SHOULD BE BROUGHT TO OUR ATTENTION.

RECOMMENDATIONS

- THE KEYSTONE WALLS SHALL BE CONSTRUCTED WITH FULL SPECIAL INSPECTION ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDED PROCEDURES FOR INSTALLATION OF KEYSTONE BLOCKS, FIBERGLASS PINS, AND GEOGRID REINFORCEMENT.
- THE TEMPORARY EXCAVATION BACK-CUT, GRADING, GROUND IMPROVEMENTS, SUB-DRAIN, AND SURFACE DRAINAGE SYSTEM FOR THE KEYSTONE WALLS SHALL BE PER THE PROJECT SOILS AND CIVIL ENGINEER'S RECOMMENDATIONS.
- SOILS ENGINEER SHALL REVIEW THE DESIGN PARAMETERS USED HEREIN FOR CONFORMANCE WITH THEIR RECOMMENDATIONS.
- GLOBAL STABILITY HAS NOT BEEN ANALYZED BY OUR FIRM. IF NECESSARY, GLOBAL STABILITY SHOULD BE PERFORMED BY THE PROJECT SOILS ENGINEER AS RECOMMENDED IN SECTION 5.2.7 OF THE NCMA MANUAL. WALLS SHOULD NOT BE CONSTRUCTED WITHOUT THE APPROVAL OF THE PROJECT SOILS ENGINEER.
- KEYSTONE RETAINING WALL WILL BE CERTIFIED BY EITHER THE ENGINEER OF WORK, GEOTECHNICAL ENGINEER OF RECORD OR THE SPECIAL INSPECTOR AS BEING CONSTRUCTED PER THE MANUFACTURER'S RECOMMENDATIONS

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES ON SITE. AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF AND ANY DAMAGE TO THESE LINES OR STRUCTURES.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

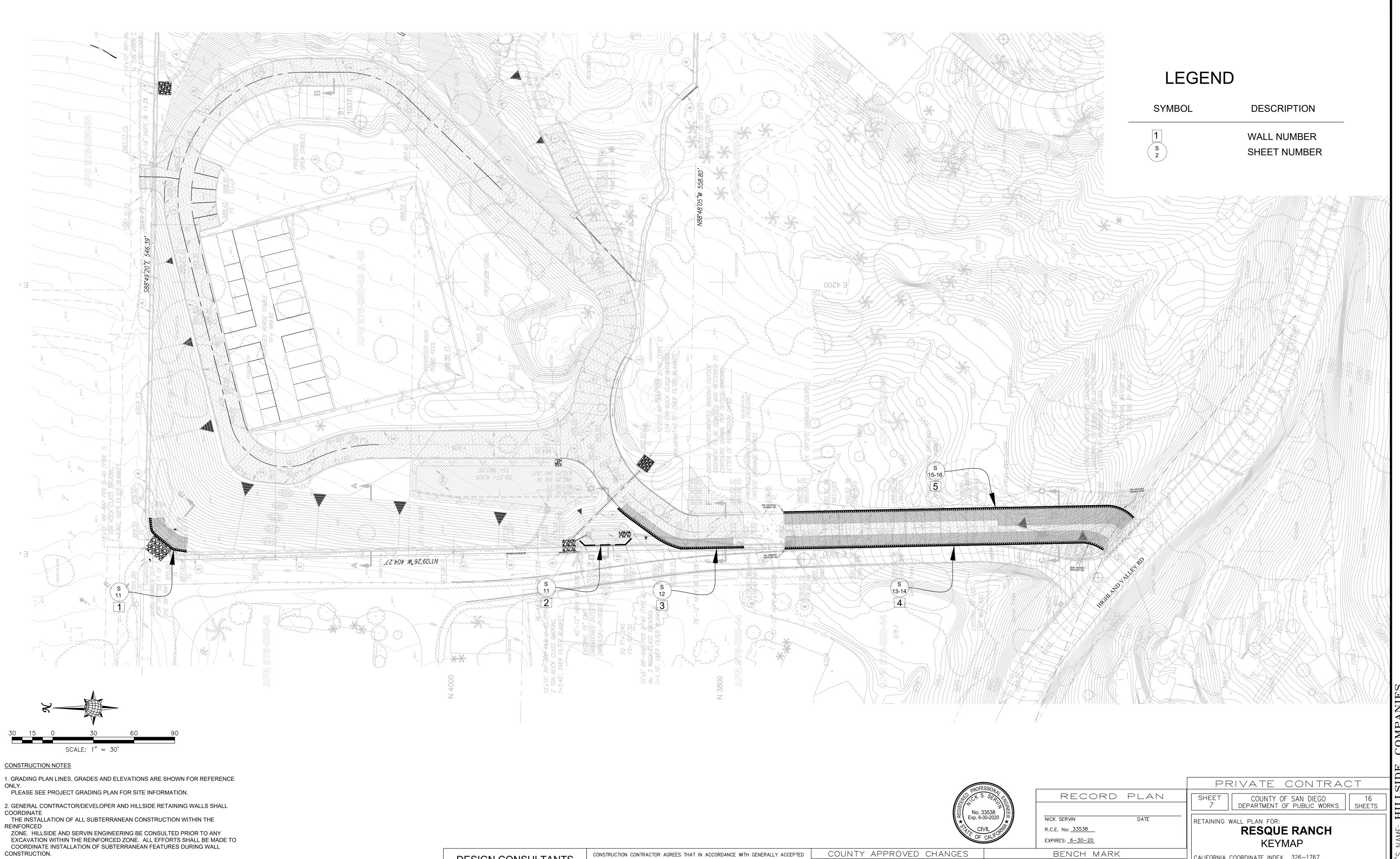
THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT DISCREPANCIES IN PLANS AND/OR FIELD CONDITIONS IMMEDIATELY TO THE DESIGN ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DISCREPANCIES NOT SO REPORTED AND RESOLVED.

DRAWING INDEX

	SHEET	DESCRIPTION
-	6	KEYSTONE WALL NOTES
	7	KEY MAP
	8 - 9	SECTION & DETAILS
	10	DSM NOTES & DETAILS
	11	KEYSTONE WALL 1 PROFILE
IARGE	11	VISTA DSM WALL 2 PROFILE
R OF WORK FOR THIS PROJECT, THAT I R THE DESIGN OF THE PROJECT AS DEFINED	12	KEYSTONE WALL 3 PROFILE
ESSIONS CODE, & THAT THE DESIGN IS	13 - 14	KEYSTONE WALL 4 PROFILE
T DRAWINGS AND SPECIFICATIONS BY THE EVIEW ONLY AND DOES NOT RELIEVE ME.	15 - 16	KEYSTONE WALL 5 PROFILE

DFESSIONAL		PRIVATE CONTRACT
5. SEPTER	RECORD PLAN	SHEETCOUNTY OF SAN DIEGO166DEPARTMENT OF PUBLIC WORKSSHEETS
6-30-2020	NICK SERVIN DATE	RETAINING WALL PLAN FOR:
CIVIL	R.C.E. No: <u>33538</u>	RESQUE RANCH
OF CALIT	EXPIRES: <u>6-30-20</u>	KEYSTONE WALL NOTES
	BENCH MARK	CALIFORNIA COORDINATE INDEX 326-1767
DESCRIPTION: <u>CH</u>		APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20
	TOP OF PEDRAMP ON S.E. CORNER RRA LINDA DRIVE AND VISTA BONITA	NICK SERVIN R.C.E. NO. 33538 EXP. 6–30–20
RECORD FROM: <u>#4</u> ELEVATION: ^{504.}	25 CITY OF ESCONDIDO BENCHMARK BOOK 07 DATUM: MSL	BY: DATE GRADING PDS2016-LDGRMJ-30067

COMPA1-3038 ENGINEER'S NAME: HILLSIDE PHONE NO. (760)-731-



- 3. DURING CONSTRUCTION AND AFTER WALL COMPLETION THE FINISHED GRADE SHALL BE
- GRADED TO DRAIN AWAY FROM THE KEYSTONE RETAINING WALL UNTIL FINAL

DRAINAGE SYSTEM IS COMPLETE. NO STANDING WATER SHALL BE ALLOWED TO POND ABOVE THE KEYSTONE RETAINING WALL.

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DESIGN CONSULTANTS

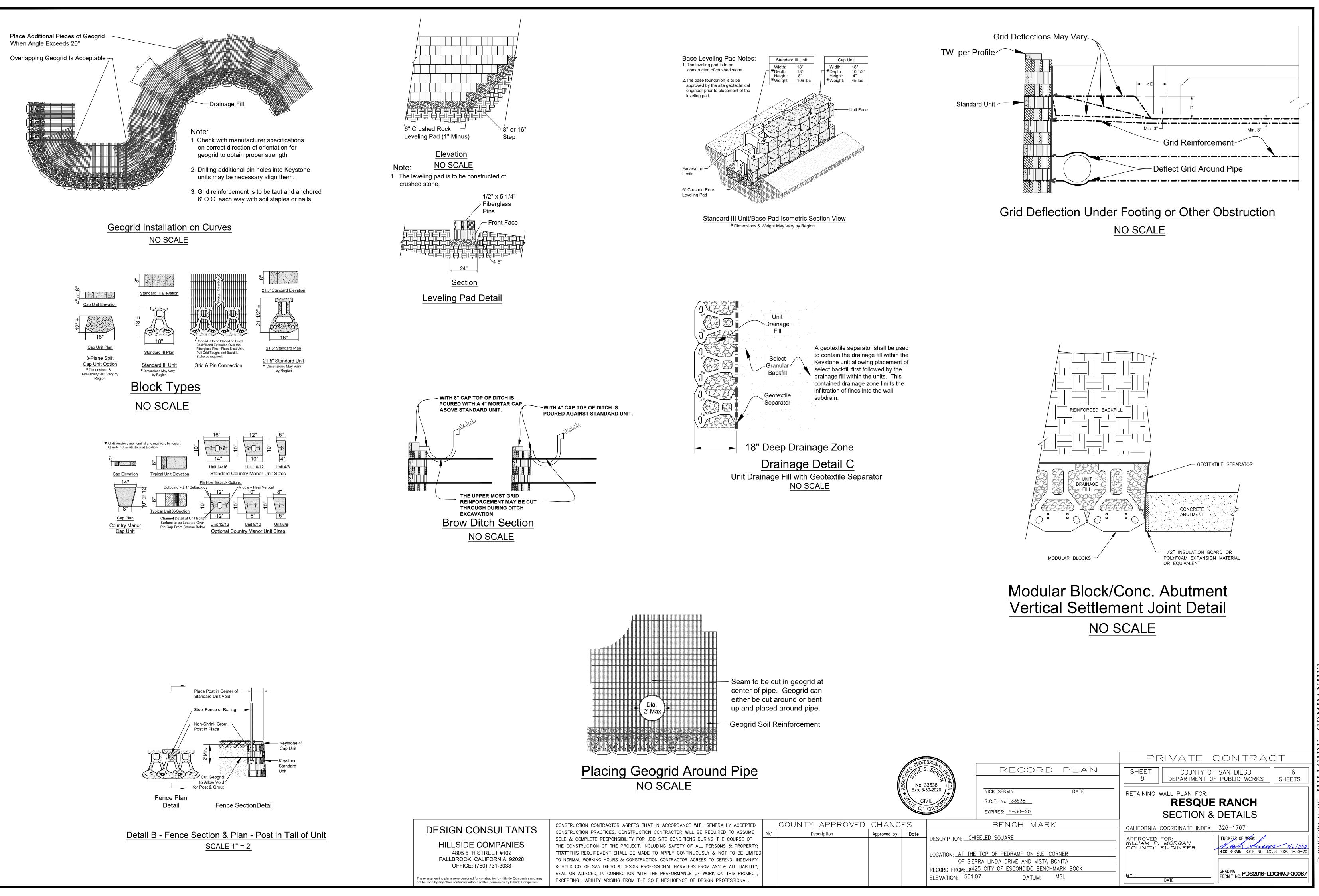
HILLSIDE COMPANIES 4805 5TH STREET #102 FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038

CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

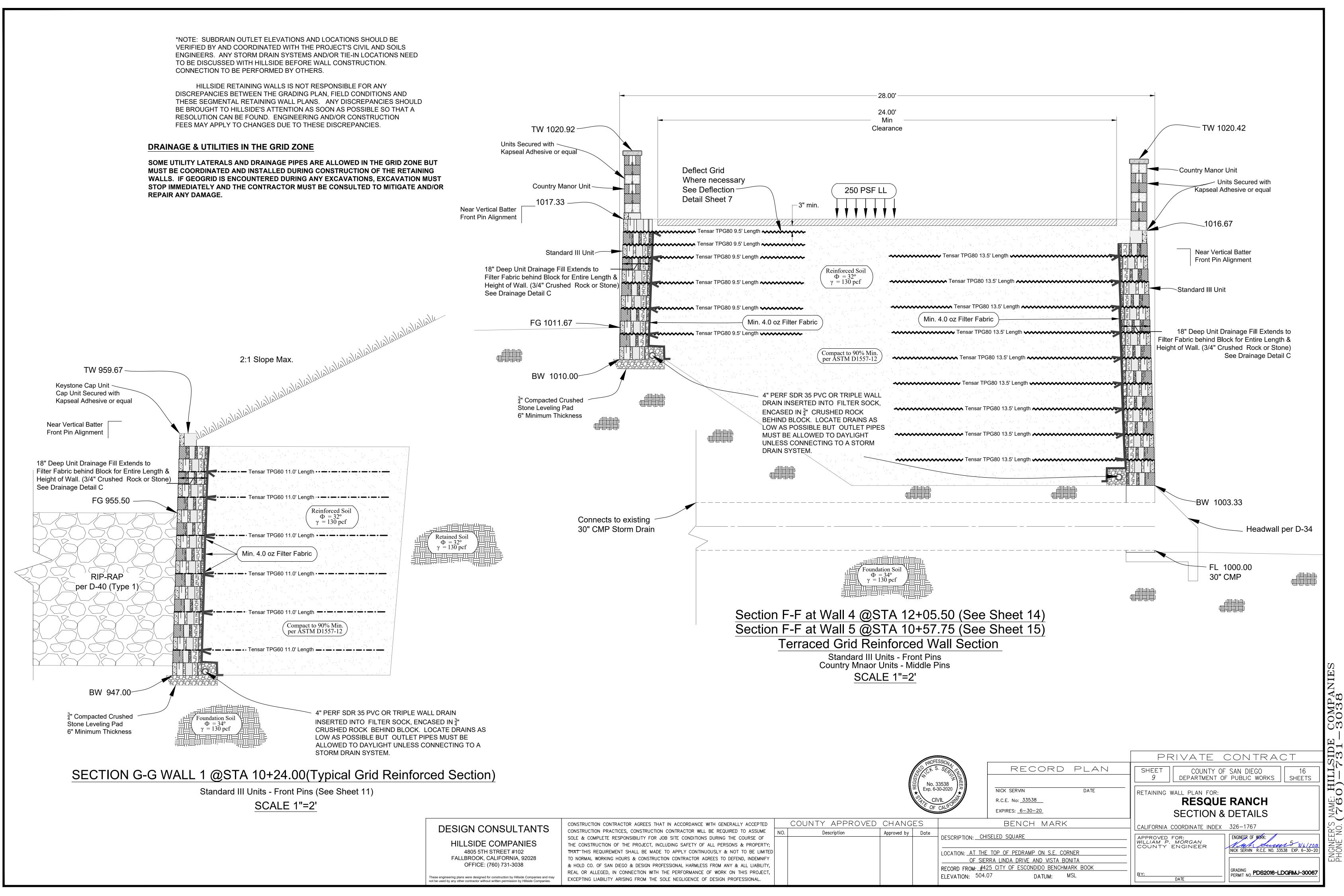
Description Approved by Date NO

SEPTER SEPTER 3538	RECORD PLAN	SHEETCOUNTY OF SAN DIEGO167DEPARTMENT OF PUBLIC WORKSSHEETS
0-2020 ★	NICK SERVIN DATE	RETAINING WALL PLAN FOR:
CALIFOR	R.C.E. No: <u>33538</u>	RESQUE RANCH
CAL	EXPIRES: <u>6-30-20</u>	KEYMAP
	BENCH MARK	CALIFORNIA COORDINATE INDEX 326–1767
DESCRIPTION:	SELED SQUARE	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
	TOP OF PEDRAMP ON S.E. CORNER	NICK SERVIN R.C.E. NO. 33538 EXP. 6–30–20
	RRA LINDA DRIVE AND VISTA BONITA 25 CITY OF ESCONDIDO BENCHMARK BOOK 07 DATUM: MSL	BY: DATE GRADING PDS2016-LDGRMJ-30067

ENGINEER'S NAME: HILLSIDE COMPANIE PHONE NO. (760) - 731 - 3038



ENGINEER'S NAME: HILLSIDE COMPANIES PHONE NO. (760)-731-3038



DSM (DRY STACK MASONRY CMU) MONOLITHICALLY POURED CONCRETE SYSTEM STRUCTURAL NOTES:

GENERAL INFORMATION:

- THE CONTROLLING DESIGN CODE IS THE 2015 IBC AND 2016 CBC
- THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS A. SOI

OIL DESIGN VA	ALUES	
ACTIVE S	OIL BEARING PRES	SURES:
EFP (LEVE	EL):	35 PCF
PASSIVE I	PRESSURE:	250 PCF
FRICTION	:	0.30
UNIT WEI	GHT:	130 PCF
BEARING	PRESSURE:	2500 PSF (W/ $\frac{1}{3}$ SHORT TERM INCREASE)

3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.

SPECIAL INSPECTION:

SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED BY OWNER PER CBC CHAPTER 17.

- SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
- REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION. Α. CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 В.
- YARDS OF CONCRETE POURED, FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 HELD FOR CONTROL. ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ENGINEER AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF C.
- PROJECT COMPLETION TO THE CITY INSPECTOR PRIOR TO OCCUPANCY.
- D. SPECIAL INSPECTION TO BE PERFORMED PER CBC 1704.7 AND ANY SPECIFIC JURISDICTIONAL REQUIREMENTS.

FOUNDATIONS:

1. WALLS TO BE SUPPORTED ON SPREAD FOOTING. SEE SECTIONS FOR REINFORCING AND SIZES. GEOTECHNICAL ENGINEER TO REVIEW ALL EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.

REINFORCING STEEL

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60. AT FOOTINGS PLACE 2-0 X 2-0 BARS MATCHING SIZE AND SPACING AT CORNERS AND INTERSECTIONS.
- AT FOOTINGS ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315.
- AT FOOTINGS AND WALL VERTICALS: LAP ALL REINFORCING BARS PER ACI DETAILING MANUAL. LAP OF HORIZONTAL WALL STEEL IS NOT REQUIRED.
- AT FOOTING, SECURELY TIE ALL REINFORCING PRIOR TO PLACING CONCRETE.
- AT FOOTING, PROVIDE 3" CLEARANCE FOR ALL REINFORCING IN CONCRETE CAST AGAINST EARTH, 2" FOR CONCRETE EXPOSED TO AIR, AND 1 $\frac{1}{2}$ " FOR ALL INTERIOR EXPOSURE. ALL WALL, HORIZONTAL REINFORCING TO BE GALVANIZED OR EPOXY COATED.
- AT WALL, PROVIDE MINIMUM (2) #3 HORIZONTAL BAR AT TOP AND BOTTOM OF WALL AND MINIMUM (1) #3 AT 2'-0" O.C. TYPICAL.
- AT WALL, ALL VERTICAL BARS ARE TO TERMINATE IN FOOTING WITH STANDARD HOOK OR LAPPED TO BAR WITH STANDARD HOOK INTO FOOTING.
- 10. AT WALL, PROVIDE $\frac{1}{2}$ INCH CLEARANCE FOR ALL VERTICAL BARS AND INSIDE FACE OF BLOCK.
- 11. VERTICAL REINFORCING ABOVE VERTICAL DOWEL FROM FOOTING MAY BE "WET-SET" IF PROPER PLACEMENT AND CONCRETE CONSOLIDATION ARE ACHIEVED.

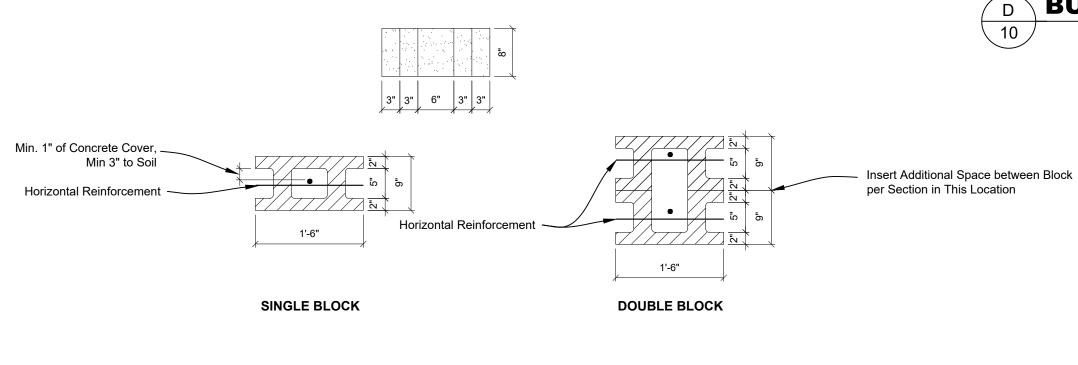
CONCRETE

- ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 5000 PSI. ALL EXPOSED CONCRETE TO HAVE 5% PLUS OR MINUS 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.
- CMU/MASONRY (DRY STACKED MODULAR BLOCK):
- UNITS TO BE 28 DAY STRENGTH OF 3000 PSI OR APPROVED EQUAL.
- ALL DSM RETAINING WALLS TO BE SOLID GROUTED. MAXIMUM GROUT LIFT IS 8 FEET USING A CONCRETE MIX WITH 28 DAY STRENGTH OF 5000 PSI.
- AN EFFLORENSENCE CONTROLLING ADMIXTURE IS RECOMMENDED.
- STEM AND FOOTING MAY BE POURED MONOLITHICALLY 5.

GRADING:

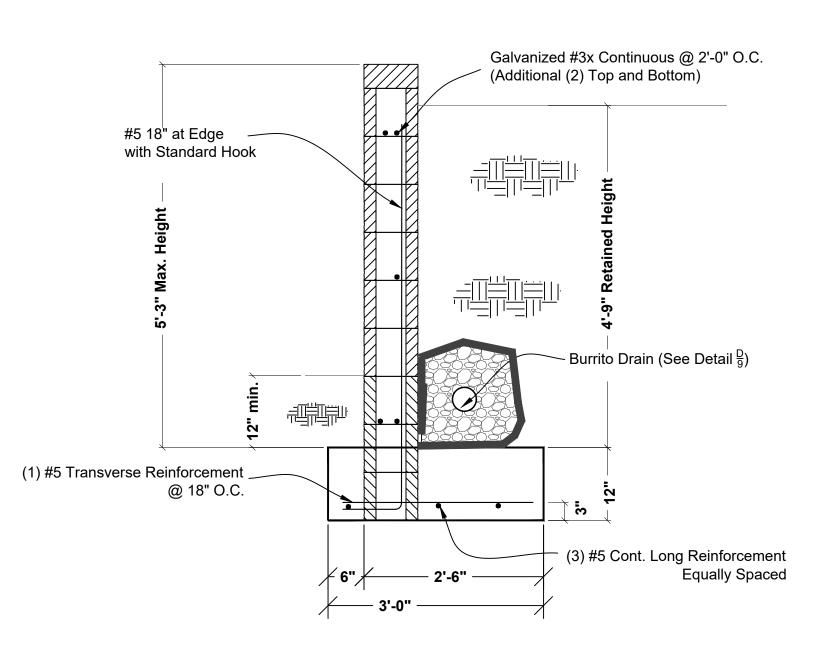
- BACK CUT PER OSHA STANDARDS.
- BACKFILL MATERIAL SHALL BE ONSITE SELECT GRANULAR MATERIAL WITH AN EI<20. BACKFILL COMPACTED TO 90% PER ASTM 1557.

Mirafi 140N Filter Fabric or Equivalent

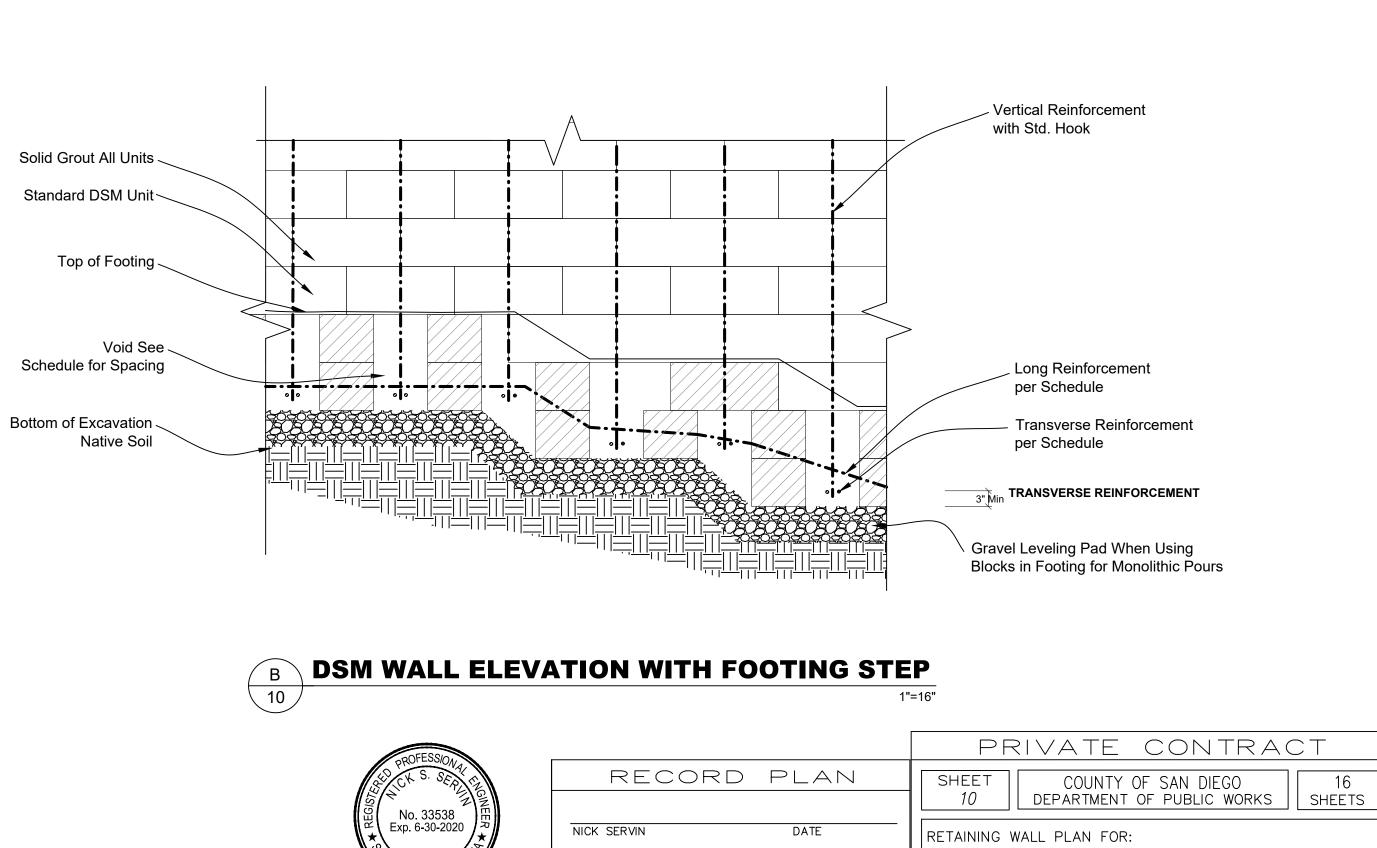


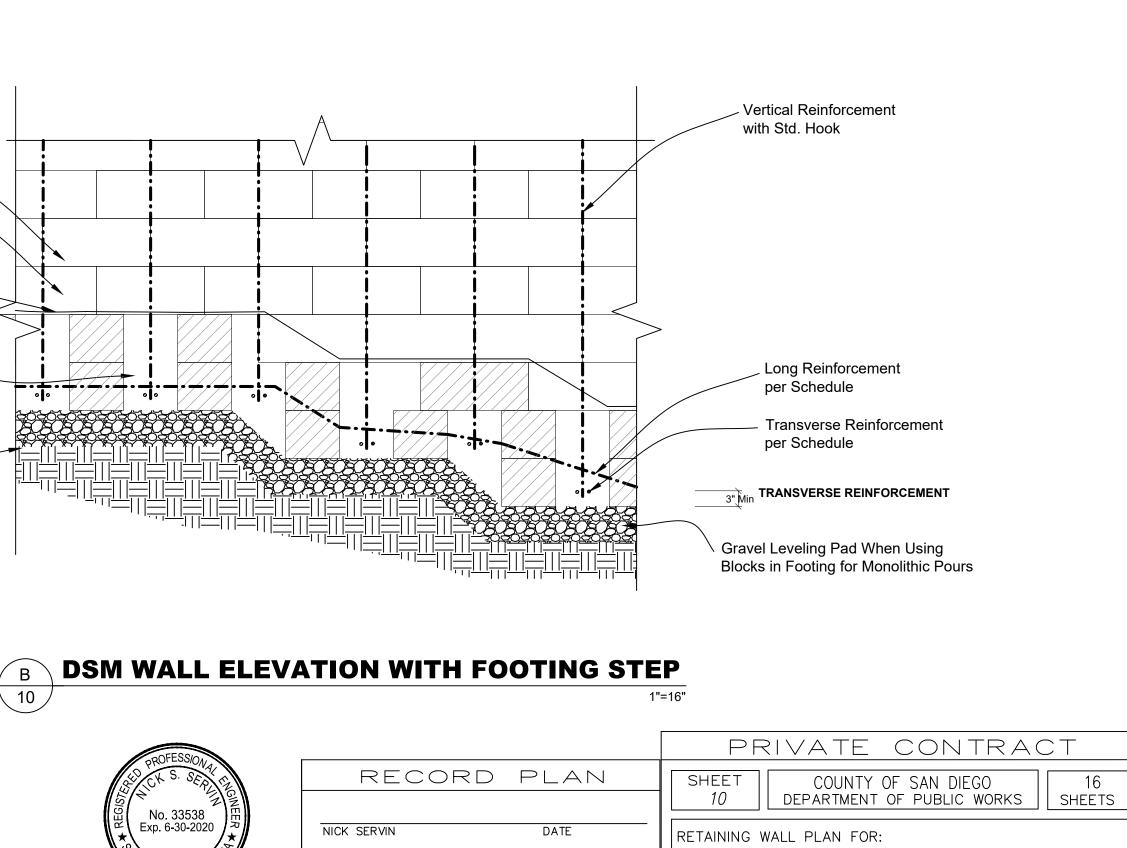


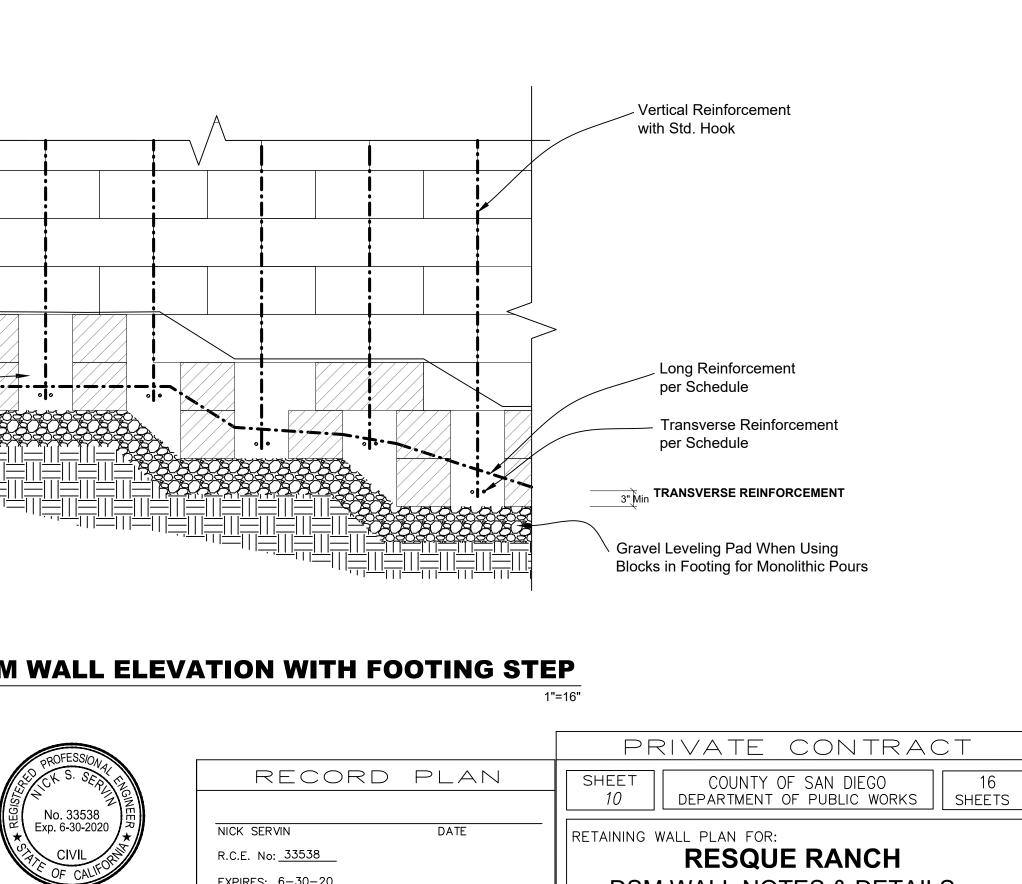
HILLSIDE COMPANIES 4805 5TH STREET #102 FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038











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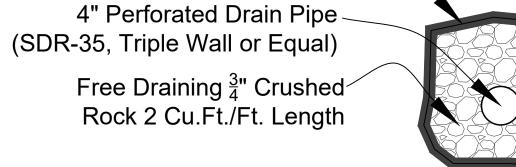
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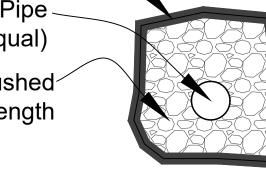
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

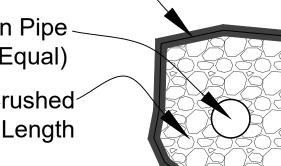
COUNTY APPROVED CHANGES Description Approved by Date

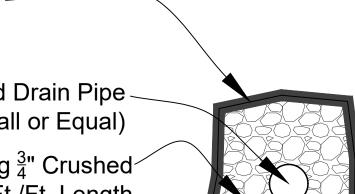
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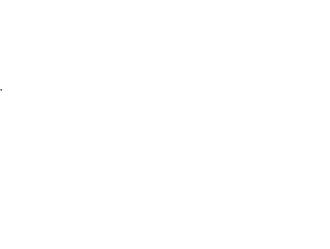
BURRITO DRAIN







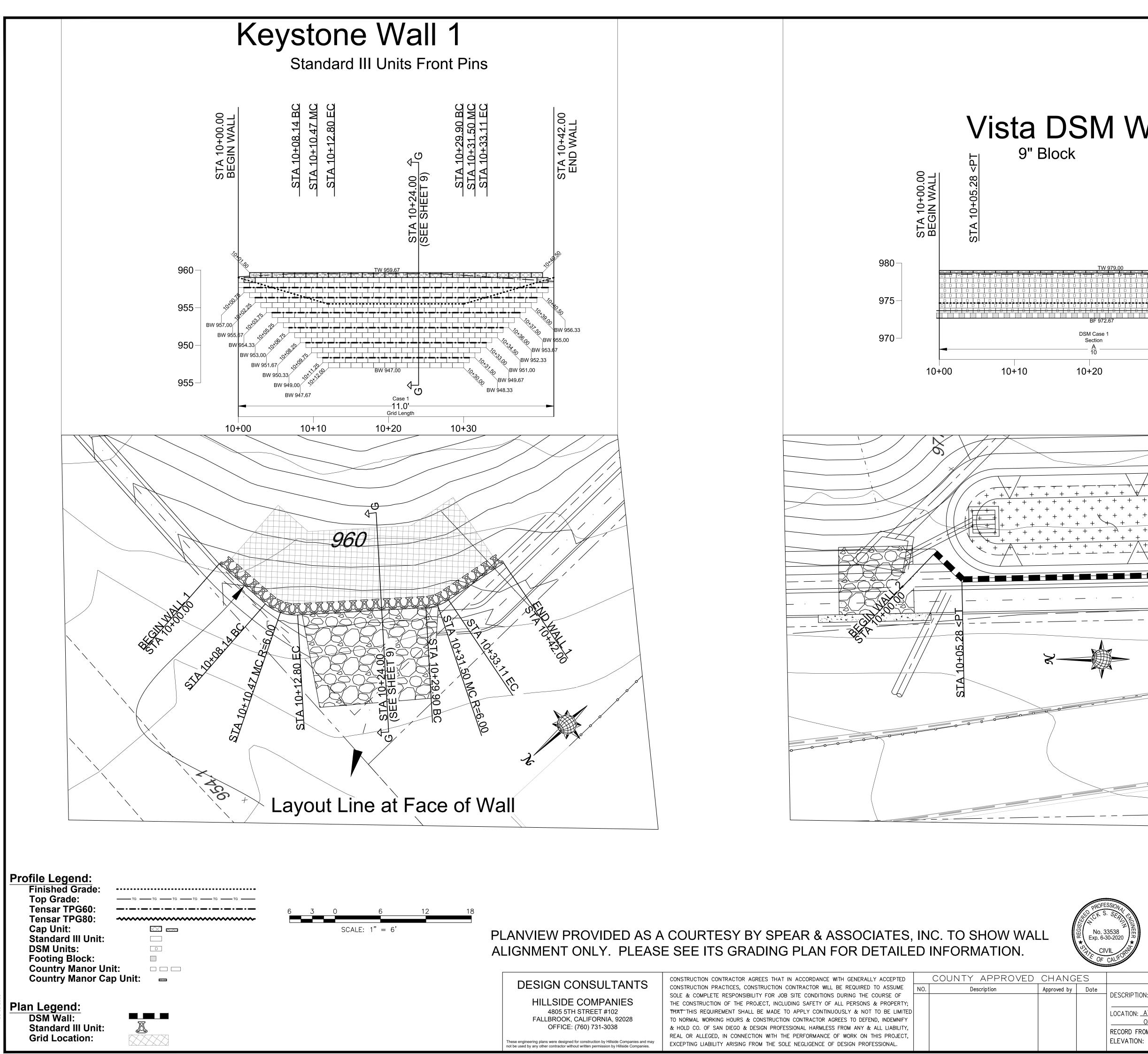


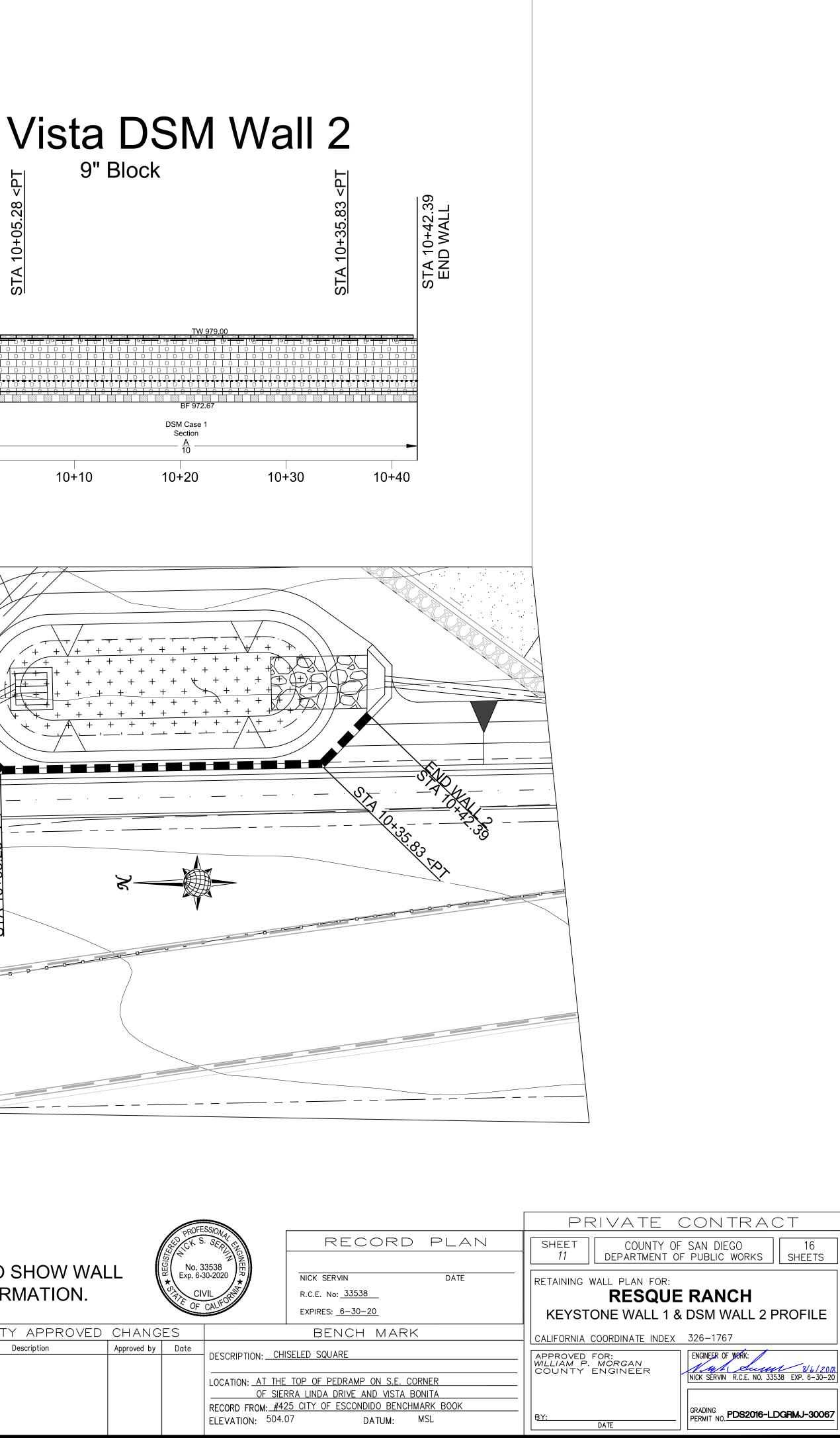


A SECTION - WALL 2 CASE 1 - 5.33' Height 10 DSM (DRY STACK MASONRY) UNTS 1" = 16"

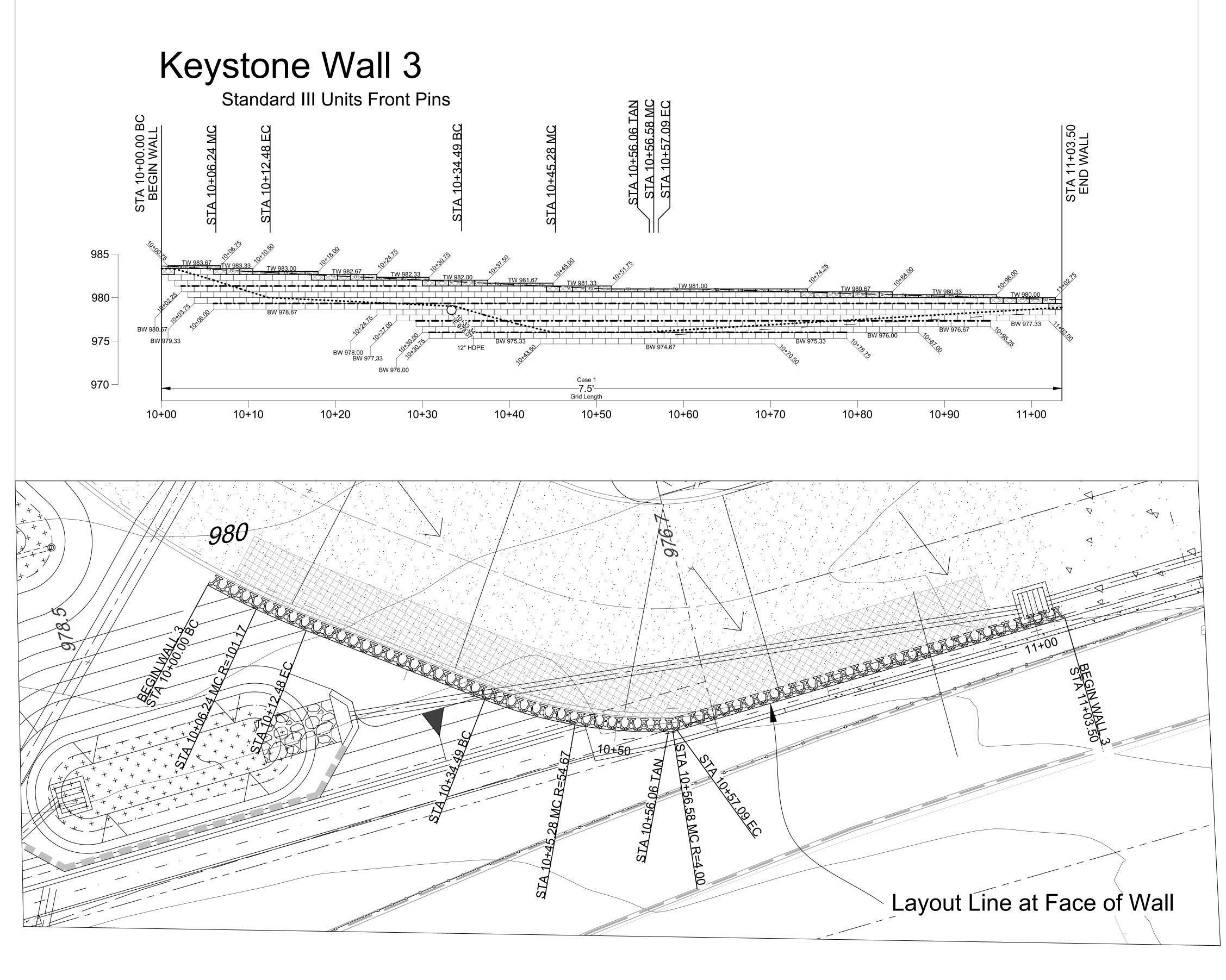
33538 Image: Second state sta	RETAINING WALL PLAN FOR: RESQUE RANCH DSM WALL NOTES & DETAILS
DESCRIPTION: CHISELED SQUARE	CALIFORNIA COORDINATE INDEX 326-1767 APPROVED FOR: WILLIAM P. MORGAN
LOCATION: <u>AT THE TOP OF PEDRAMP ON S.E. CORNER</u> OF SIERRA LINDA DRIVE AND VISTA BONITA RECORD FROM: <u>#425 CITY OF ESCONDIDO BENCHMARK BOOK</u> ELEVATION: 504.07 DATUM: MSL	COUNTY ENGINEER

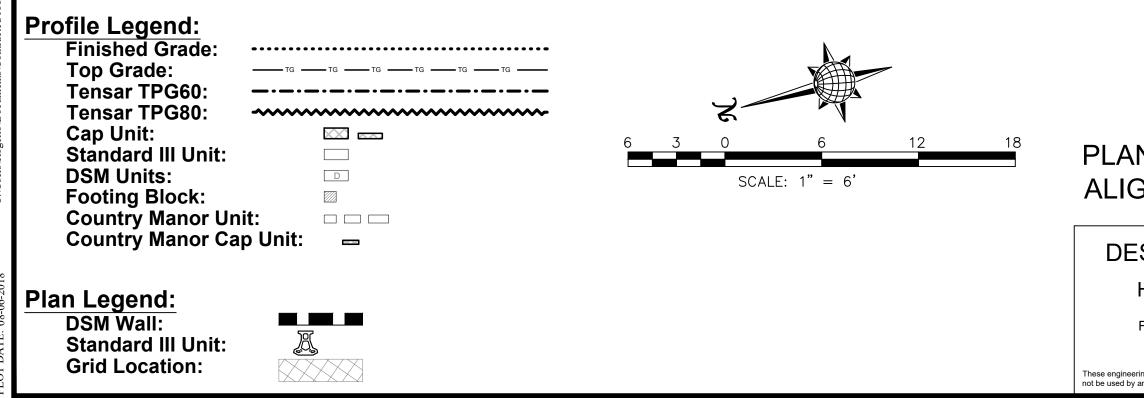
ENGINEER'S NAME: HILLSIDE COMPANIE PHONE NO. (760)-731-3038





	COUNTY	APPROVED	CHANG	ES
NO.	De	scription	Approved by	Date





PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAIL

DESIGN CONSULTANTS HILLSIDE COMPANIES

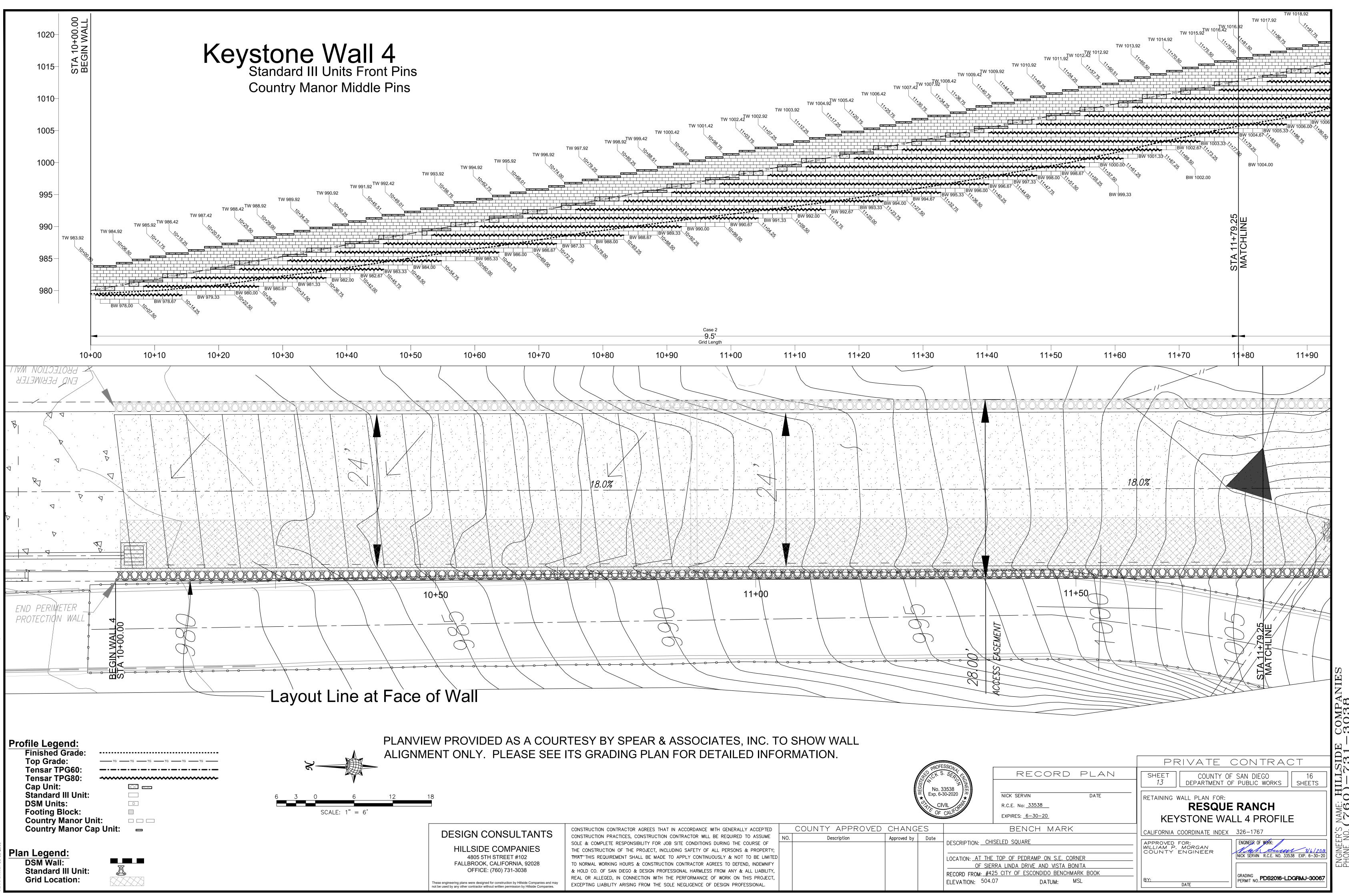
4805 5TH STREET #102 FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038

nese engineering plans were designed for construction by Hillside Companies and ma ithout written permission by Hillside Companie

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			DOFE	59/01			PRIVATE	CONTRACT
		(22 CX S	SEPTER 3538	RECORI	D PLAN		F SAN DIEGO IF PUBLIC WORKS SHEETS
S, INC. TO SHOW WALL			Exp. 6-3	/IL CALIFOR	NICK SERVIN R.C.E. No: <u>33538</u> EXPIRES: <u>6-30-20</u>	DATE	RETAINING WALL PLAN FOR: RESQUE KEYSTONE WA	E RANCH LL 3 PROFILE
COUNTY	APPROVED	CHANG	ES		BENCH MAR	K.	CALIFORNIA COORDINATE INDEX	326–1767
<u>NO.</u> [Description	Approved by	Date	OF SIER	TOP OF PEDRAMP ON S.E. RA LINDA DRIVE AND VISTA 5 CITY OF ESCONDIDO BENC	BONITA	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER BY: DATE	ENGINEER OF WORK: NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20 GRADING PERMIT NO. PDS2016-LDGRMJ-30067

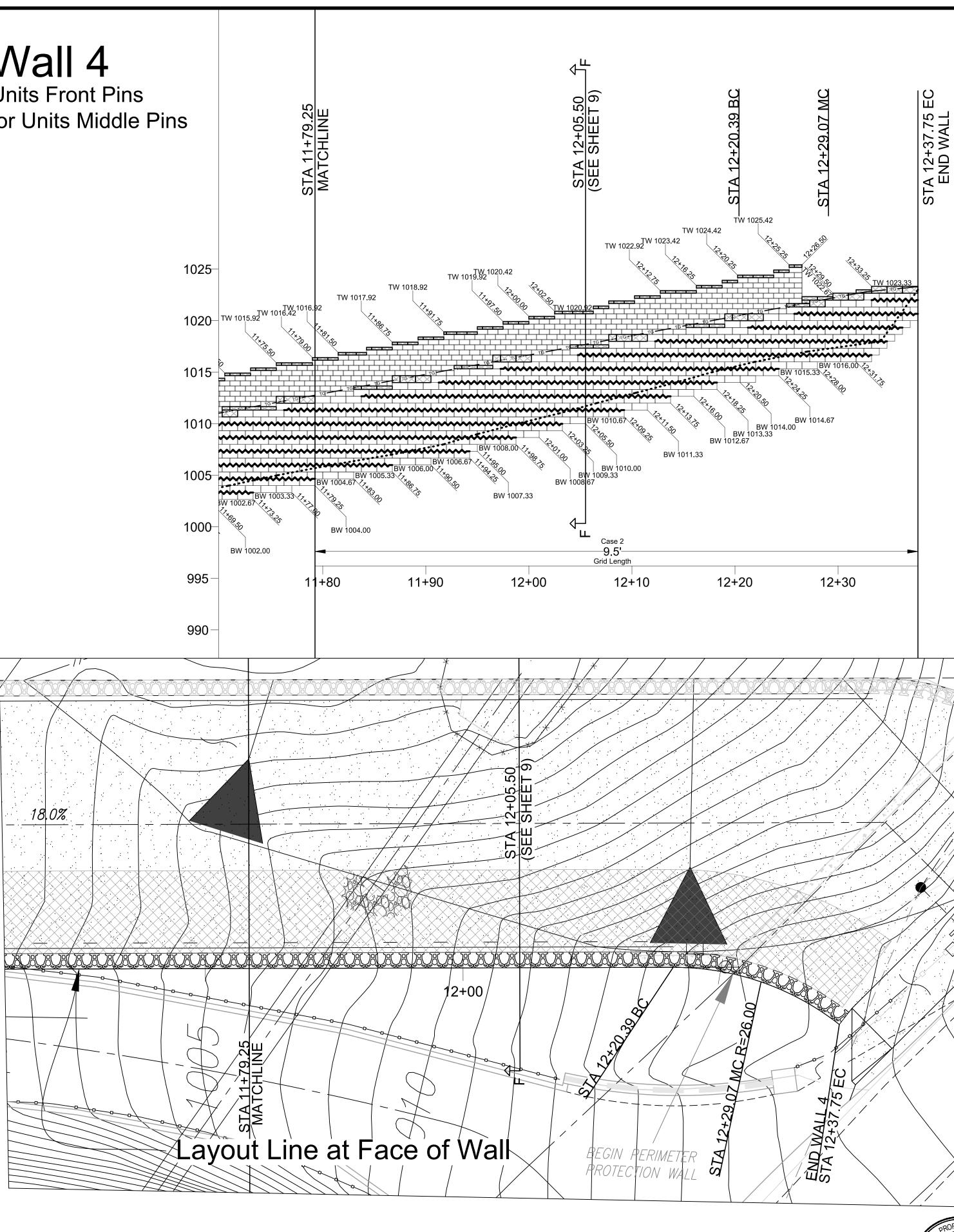
ENGINEER'S NAME: HILLSIDE COMPANIE PHONE NO. (760) - 731 - 3038



CINEER'S NAME: HILLSIDE COMPANIES ONE NO. (760) - 731 - 3038

Keystone Wall 4 Standard III Units Front Pins

Country Manor Units Middle Pins



PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED

ଥି No ଅଧ ★ (CE)

DESIGN CONSULTANTS HILLSIDE COMPANIES 4805 5TH STREET #102

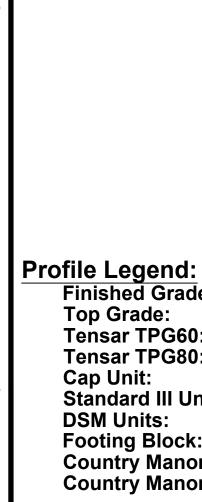
FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038

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COUNTY APPROVED CHANGES Description Approved by Date

RECORD PLAN	PRIVATE CONTRACT SHEET COUNTY OF SAN DIEGO 16 J4 DEPARTMENT OF PUBLIC WORKS SHEETS	
0. 33538 NICK SERVIN DATE NICK SERVIN DATE R.C.E. No: <u>33538</u> EXPIRES: <u>6-30-20</u> BENCH MARK DESCRIPTION: CHISELED SQUARE LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA RECORD FROM: <u>#425 CITY OF ESCONDIDO BENCHMARK BOOK</u> ELEVATION: 504.07	PRIVATE CONTRACT SHEET COUNTY OF SAN DIEGO 16 14 DEPARTMENT OF PUBLIC WORKS 16 RETAINING WALL PLAN FOR: RESQUE RANCH KEYSTONE WALL 4 PROFILE CALIFORNIA COORDINATE INDEX 326–1767 APPROVED FOR: MORGAN COUNTY ENGINEER ENGINEER OF WORK: 8/6/200R BY: DATE GRADING BY: DATE GRADING	



Plan Legend:
DSM Wall:
Standard III Unit
Grid Location:

Finished Grade:

Tensar TPG60:

Tensar TPG80:

Footing Block:

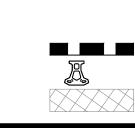
Standard III Unit:

Country Manor Unit: Country Manor Cap Unit:

Top Grade:

Cap Unit:

DSM Units:



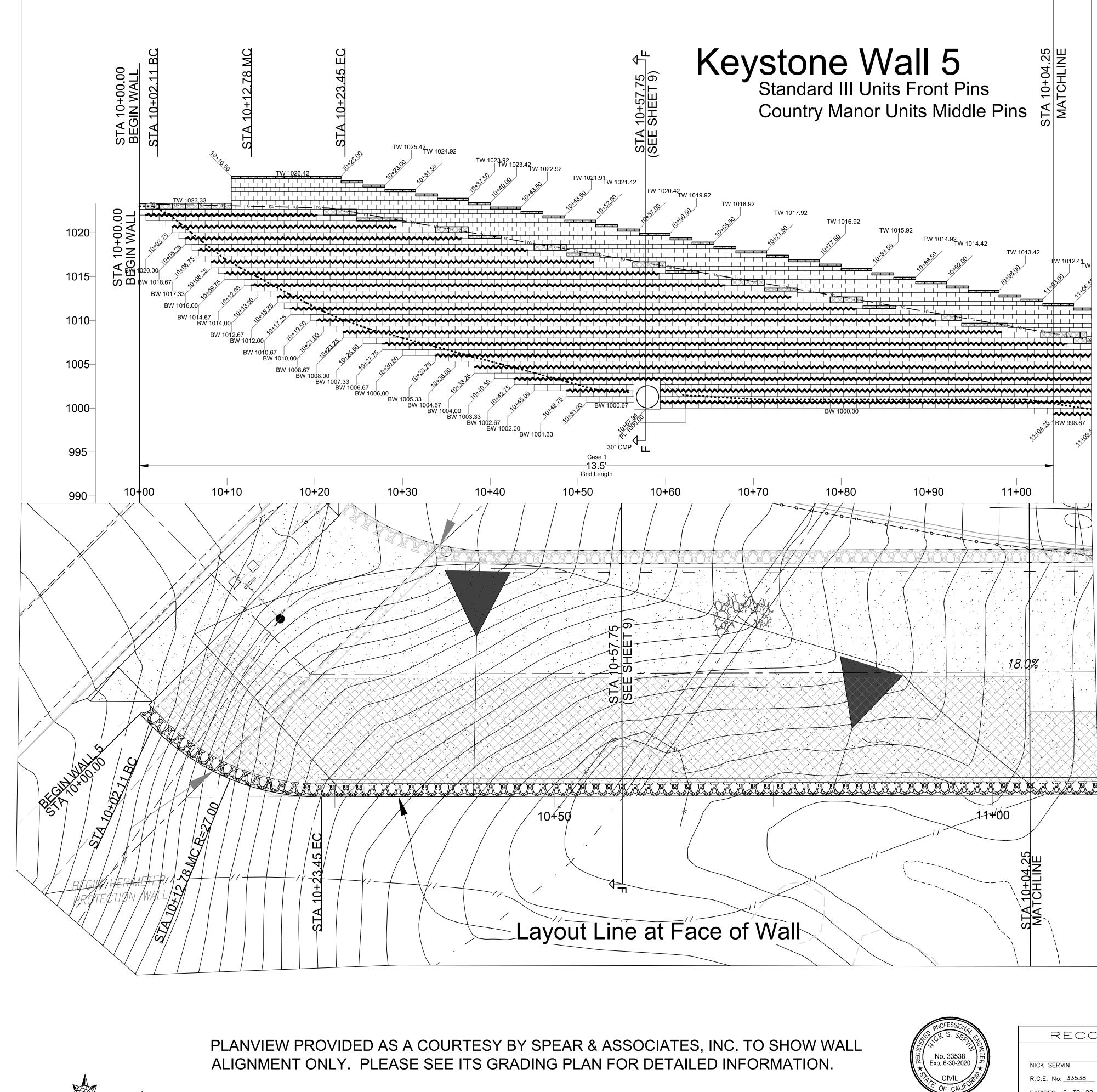
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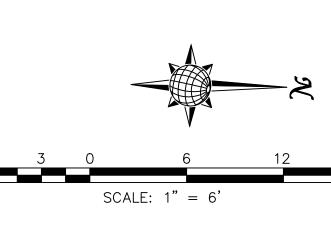
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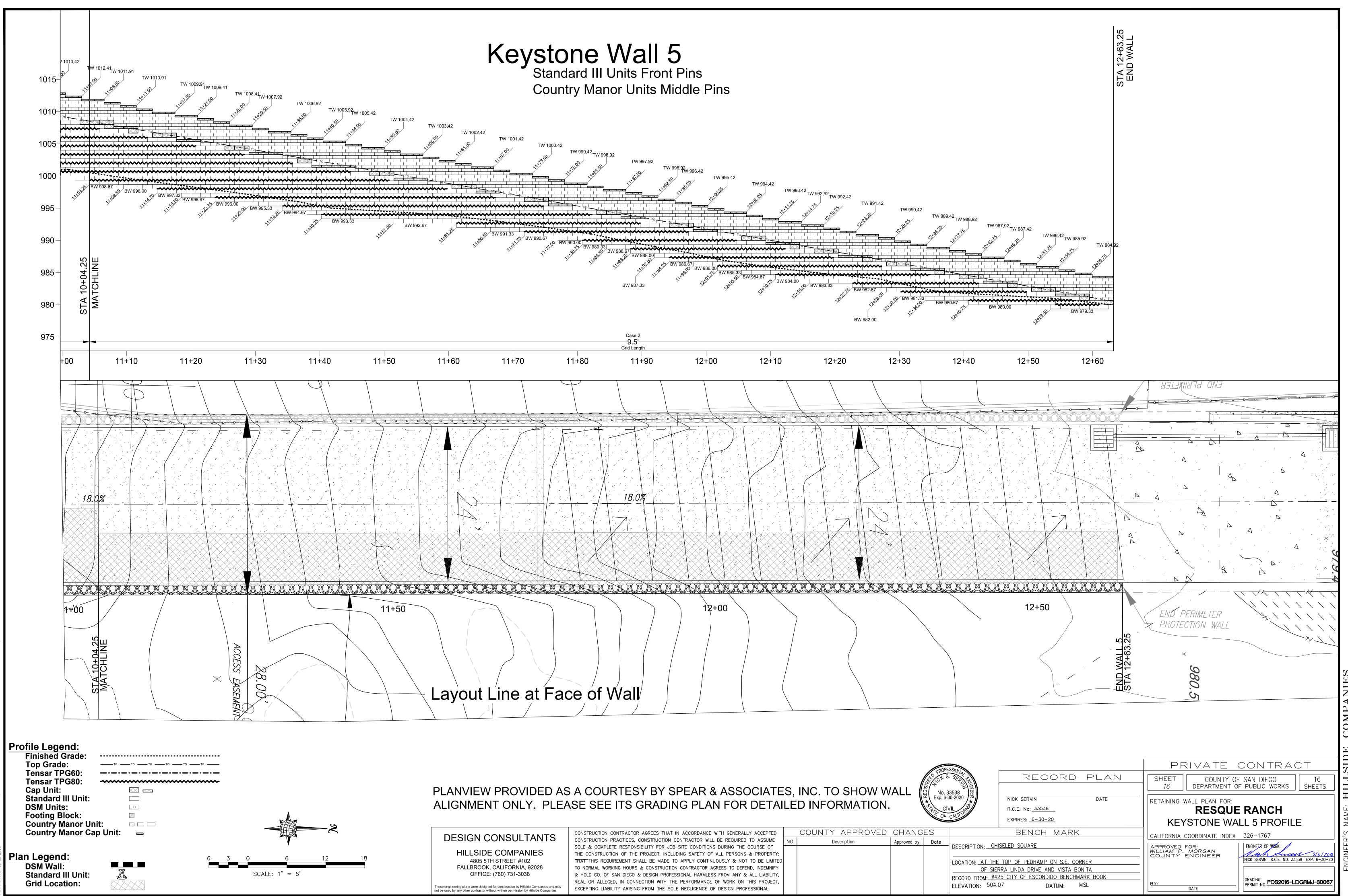
DESIGN CONSULTANTS
HILLSIDE COMPANIES 4805 5TH STREET #102 FALLBROOK, CALIFORNIA, 92028 OFFICE: (760) 731-3038
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C. TO SHOW WALL NFORMATION.		RECORDPLAN RECORDPLAN NICK SERVIN DATE R.C.E. No: <u>33538</u> EXPIRES: <u>6-30-20</u>		PRIVATE CONTRA SHEET COUNTY OF SAN DIEGO 15 DEPARTMENT OF PUBLIC WORKS RETAINING WALL PLAN FOR: RESQUE RANCH KEYSTONE WALL 5 PROFI	16 SHEETS		
	COUNTY APPROVED	INTY APPROVED CHANGES			BENCH MARK	CALIFORNIA COORDINATE INDEX 326–1767	
10.	Description	Approved by	Date	DESCRIPTION:	SELED SQUARE	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER NICK SERVIN R.C.E. NO.	<u>8/6/20/x</u> 33538 EXP. 6-30-20
					RRA LINDA DRIVE AND VISTA BONITA 25 CITY OF ESCONDIDO BENCHMARK BOOK 07 DATUM: MSL	BY: DATE GRADING PDS2016	-LDGRMJ-30067

ENGINEER'S NAME: HILLSIDE COMPANIE: PHONE NO. (760)-731-3038



ER'S NAME: HILLSIDE COMPANIE NO. (760)-731-3038 GINE ДЦ