

# PROJECT EVALUATION (PEF)

JULY 30 2019

PCA No. \_\_\_\_\_

## STATE CLEARINGHOUSE

PROJECT CONCEPT																																																														
PROJECT TITLE Fog Signal Exterior and Fog Horns Rehabilitation	PARK UNIT NAME Pigeon Point																																																													
DISTRICT NAME Santa Cruz District	FACILITY NO. <b>BUILDING 204179</b> 281																																																													
PROJECT MANAGER Service Center	PHONE NO.	EMAIL																																																												
DISTRICT PROJECT MANAGER Linda Hitchcock	PHONE NO. 831 335-6391	EMAIL Linda.Hitchcock@parks.ca.gov																																																												
PROJECT BID DATE 3/2019	CONSTRUCTION START DATE 6/2019	FUNDING SOURCE Cooperating Association																																																												
<p><b><u>PROJECT DESCRIPTION</u></b></p> <p><i>Identify the scope of the project in detail, including its purpose, location, and potential impacts. If the ground is to be disturbed, describe the depth and extent of excavation. Describe the existing site conditions, including previous development. Note if work will impact or extend beyond park property. Indicate if work will be done in conjunction with, or as part of, other projects. (Use additional pages if necessary.)</i></p> <p>This project will complete an exterior repair of the fog signal building and the fog horns at the Pigeon Point lighthouse. This project will repair the exterior walls, siding, windows and drainage to waterproof and repair the fog signal building. This project will remove the rusted braces and fog horns restore them and then put them back on the building.</p>																																																														
<p><b><u>DOCUMENTS ATTACHED</u></b></p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> 7.5 minute (quad) map of project area (<b>Required</b>)</li> <li><input type="checkbox"/> Site Map (<b>Required</b> - Scale should show relationship to existing buildings, roads, landscape features, etc.)</li> <li><input type="checkbox"/> DPR 727 Accessibility Review and Comment Sheet (<b>Required</b> – Attach DPR 727 or emailed project exemption from the Accessibility Section.)</li> <li><input type="checkbox"/> Sea-level Rise Worksheet (for coastal park units)</li> <li><input type="checkbox"/> Graphics (Specify - photos, diagrams, drawings, cross-sections, etc.):</li> <li><input type="checkbox"/> Other (Specify):</li> </ul>																																																														
<p><b><u>REGULATORY REQUIREMENTS</u></b></p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left; padding: 5px;">IS AN APPLICATION, PERMIT, OR CONSULTATION REQUIRED?</th> <th style="text-align: center; padding: 5px;">YES</th> <th style="text-align: center; padding: 5px;">MAYBE</th> <th style="text-align: center; padding: 5px;">NO</th> <th style="text-align: center; padding: 5px;">CONTACT</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Coastal Development Permit</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">DFG Stream Alteration Permit</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">State &amp; Federal Endangered Species Consultation</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">Corps of Engineers 404 Permit</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">RWQCB or NPDES Permit</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">DPR Right to Enter or Temporary Use Permit</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">PRC 5024 Review</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">Stormwater Management Plan</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">Encroachment Permit (Specify Agency):</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">Native American Consultation</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="padding: 5px;">Other (Specify):</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </tbody> </table> <p style="margin-top: 10px;"><b>COMMENTS:</b></p>			IS AN APPLICATION, PERMIT, OR CONSULTATION REQUIRED?	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## DEPARTMENT POLICY COMPLIANCE

	YES	NO
HAS A GENERAL PLAN BEEN APPROVED FOR THE UNIT?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If YES, is the project consistent with the GP?	<input type="checkbox"/>	<input type="checkbox"/>
If NO, what is the project justification?		
Is it a temporary facility? (No permanent resource commitment)	<input type="checkbox"/>	<input type="checkbox"/>
Health and Safety?	<input type="checkbox"/>	<input type="checkbox"/>
Is it a Resource Management Project?	<input type="checkbox"/>	<input type="checkbox"/>
Is it repairing, replacing, or rehabilitating an existing facility?	<input type="checkbox"/>	<input type="checkbox"/>
IS THE PROJECT WITHIN A CLASSIFIED SUBUNIT?		
Natural Preserve	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cultural Preserve	<input type="checkbox"/>	<input checked="" type="checkbox"/>
State Wilderness	<input type="checkbox"/>	<input checked="" type="checkbox"/>
IS THE PROJECT CONSISTENT WITH THE DEPARTMENT'S CULTURAL RESOURCE MANAGEMENT DIRECTIVES?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
IS THE PROJECT CONSISTENT WITH THE DEPARTMENT'S OPERATIONS MANUAL CHAPTER 0300?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMMENTS:

*NECESSARY REPAIRS/NO NEGATIVE IMPACTS*

DISTRICT SUPERINTENDENT PROJECT CONCEPT APPROVAL OR DESIGNEE

TITLE

DATE



*SPSI*

*01/15/19*

## RESOURCES

Explain all 'Yes' or 'Maybe' answers in the "Evaluation and Comments" section (reference by letter and number). Attach additional pages, if necessary.

YES	MAYBE	NO	<b>A. EARTH – WILL THE PROJECT:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Create unstable soil or geologic conditions?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Adversely affect topographic features?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Adversely affect any unusual or significant geologic features?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Increase wind or water erosion?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Adversely affect sand deposition or erosion of a sand beach?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Expose people, property, or facilities to geologic hazards or hazardous waste?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Adversely affect any paleontological resource?

YES	MAYBE	NO	<b>B. AIR – WILL THE PROJECT:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Adversely affect general air quality or climatic patterns?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Introduce airborne pollutants that may affect plant or animal vigor or viability?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Increase levels of dust or smoke?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Adversely affect visibility?

YES	MAYBE	NO	<b>C. WATER – WILL THE PROJECT:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Change or adversely affect movement in marine or fresh waters?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Change or adversely affect drainage patterns or sediment transportation rates?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Adversely affect the quantity or quality of groundwater?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Adversely affect the quantity or quality of surface waters?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Expose people or property to flood waters?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Adversely affect existing or potential aquatic habitat(s)?

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YES	MAYBE	NO																				
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>																				
<input type="checkbox"/> Non-coastal unit																						

# PROJECT EVALUATION (PEF)

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## EVALUATION AND COMMENTS

### ENVIRONMENTAL REVIEW

To Be Completed by Qualified Specialist(s) ONLY  
Attach additional reviews or continuation pages, as necessary

### TRIBAL LIAISON COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

- Reviewer is Designated District/Service Center/Division Tribal Liaison or Designee  
 NAHC Listed Tribe(s) contacted (attach correspondence record for contact and findings)  
 DN 2007-05 Tribal Consultation Only  
 AB52 Consultation Initiated

#### Findings:

- Project action does not have potential to affect "tribal cultural" resources (explain)  
**Check more than one box if tribes provide differing responses, and describe all consultations below.**  
 Tribe(s) did not respond  
 Tribe(s) approved project as written  
 Tribe(s) approved project with treatments or conditions  
 Tribe(s) and DPR unable to reach mutual agreement on project treatments or conditions

Explain *Not a project requiring tribal consultations.*

SIGNATURE

*[Signature]*

PRINTED NAME

*Mark Hylkema*

TITLE

*SCR Dist. Tribal Liaison*

DATE

*12/27/2018*

### ARCHEOLOGIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

#### Findings:

- No PRC 5024 necessary (provide justification)  
 PRC 5024 attached; project approved as written  
 PRC 5024 attached, conditions necessary  
 PRC 5024 attached, mitigations and/or potential significant impacts

Explain *No archaeological resources involved.*

SIGNATURE

*[Signature]*

PRINTED NAME

*Mark Hylkema*

TITLE

*SCR Dist. Archaeologist*

DATE

*12/27/2018*

# PROJECT EVALUATION (PEF)

Project ID No.

PCA No.

## HISTORIAN COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

**Findings:**

- No PRC 5024 necessary (provide justification)
- PRC 5024 attached, project approved as written
- PRC 5024 attached, conditions necessary
- PRC 5024 attached, mitigations and/or potential significant impacts

**Explain**

SIGNATURE

PRINTED NAME

TITLE

DATE

## ENVIRONMENTAL SCIENTIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

**Findings:**

- No Impact **NO NATURAL RESOURCE IMPACTS**
- Impact(s), see conditions/mitigations below or on attached page(s)
- Potential Significant Impact

**Explain** PROJECT WILL INCLUDE A NESTING BIRD SURVEY IF CONSTRUCTION IS SCHEDULED FOR SPRING/SUMMER. NO ACTIVE NESTS WILL BE DISTURBED.

SIGNATURE

PRINTED NAME

TITLE

DATE

## MAINTENANCE CHIEF/SUPERVISOR (REQUIRED FOR ALL FINDINGS)

**COMMENTS:**

Much needed improvements.

SIGNATURE

PRINTED NAME

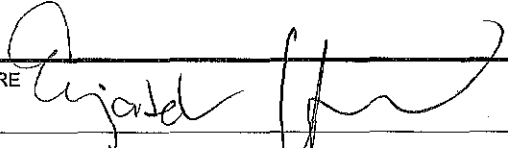
TITLE

DATE

# PROJECT EVALUATION (PEF)

Project ID No.

PCA No.

<b>OTHER COMMENTS (COMMENTER MUST INCLUDE TITLE AND SIGNATURE)</b>		
<i>excellent project!</i>		
SIGNATURE <input checked="" type="checkbox"/>		PRINTED NAME <i>Elizabeth Hammele</i>
TITLE <i>SPT III</i>		DATE <i>1-9-19</i>
<b>OTHER COMMENTS (COMMENTER MUST INCLUDE TITLE AND SIGNATURE)</b>		
SIGNATURE <input checked="" type="checkbox"/>	PRINTED NAME	
TITLE	DATE	
<b>OTHER COMMENTS (COMMENTER MUST INCLUDE TITLE AND SIGNATURE)</b>		
SIGNATURE <input checked="" type="checkbox"/>	PRINTED NAME	
TITLE	DATE	

# PROJECT EVALUATION (PEF)

Project ID No.

PCA No.

## ENVIRONMENTAL COORDINATOR REVIEW

YES	MAYBE	NO	<b>CUMULATIVE IMPACTS</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. Will the project be conducted in conjunction with or at the same time as other projects at the park?
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. Will the project be part of a series of inter-related projects?
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. Are there any other projects that must be completed for any part of this project to become operational?
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4. Are there any other projects (including deferred maintenance) that have been completed or any probable future projects that could contribute to the cumulative impacts of this project?
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. Are any of the projects that relate to the proposed work outside the General Plan?

COMMENTS:

**RECOMMENDATION:**

- Not a project for the purposes of CEQA compliance.
- Project is De Minimus; register in logbook
- The project is exempt. File a Notice of Exemption.
- A Negative Declaration should be prepared.
- A Mitigated Negative Declaration should be prepared.
- An EIR should be prepared.
- AB52 Consultation Initiated. See Tribal Liaison Comment Section above.

SIGNATURE

PRINTED NAME

TITLE

DATE

## DISTRICT SUPERINTENDENT REVIEW

COMMENTS:

***I acknowledge any constraints placed on the project as a result of the specialists' comments above and recommend the project proceed.***

DISTRICT SUPERINTENDENT APPROVAL SIGNATURE













TITLE

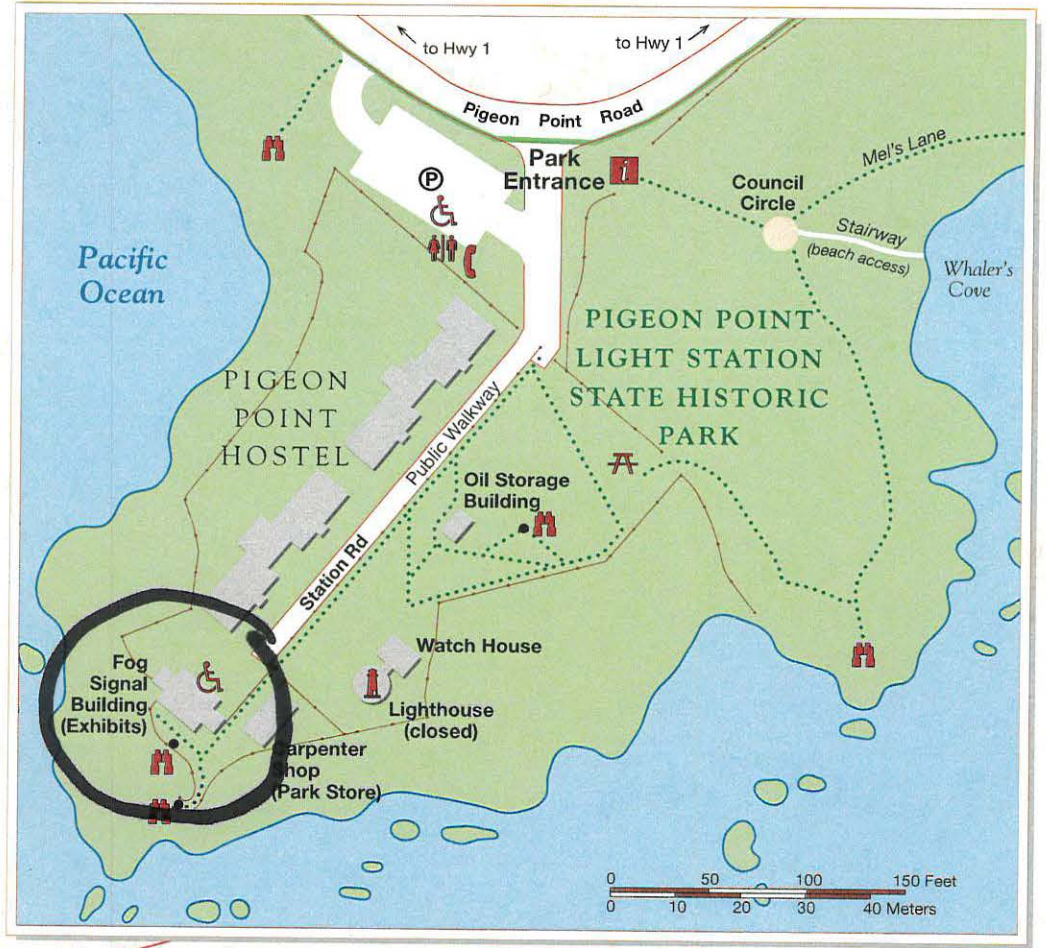
DATE

# Pigeon Point Light Station

## State Historic Park

### Legend

-  Road
-  Trail
-  Fence
-  Park Building
-  Accessible Feature
-  Parking
-  Picnic Area
-  Restrooms
-  Telephone
-  Viewpoint
-  Information
-  Lighthouse







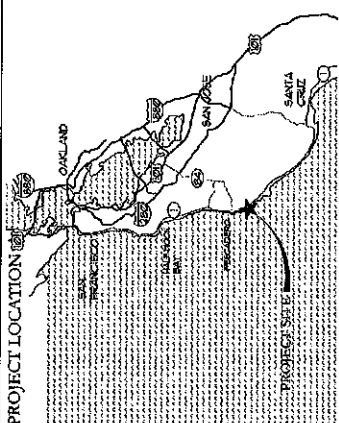
ACQUISITION &  
DEVELOPMENT DIVISION  
1500 CALIFORNIA STREET  
SACRAMENTO, CA  
95814-0250

PIGEON POINT LIGHT STATION STATE HISTORIC PARK  
COVER SHEET  
PROJECT INFORMATION

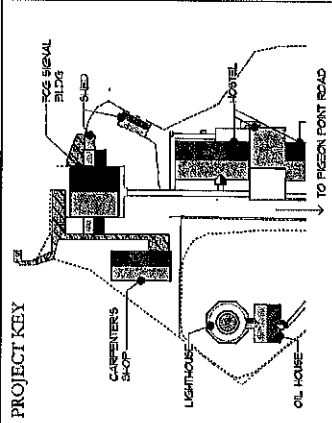
DRAWING NO.  
XXXX-001  
SHEET NO.  
T1.0  
01 of 02

**PROJECT SUMMARY**  
THIS PROJECT IS THE REHABILITATION OF THE FOG HORNS AT THE FOG SIGNAL BUILDING AT THE PIGEON POINT LIGHT STATION. WORK WILL INCLUDE THE REPAIR OF THE HISTORIC CAST IRON AND STEEL FOG HORNS.

**PROJECT TEAM**  
OWNER  
CALIFORNIA STATE PARKS  
SOUTH COAST SECTOR  
30 VELLAS AVENUE  
HALF MOON BAY, CA 94019-1811  
ARCHITECT  
ARCHITECTURAL RESOURCES GROUP  
PERS & THE PHILACADEMOS  
30 VELLAS AVENUE  
SAN FRANCISCO, CA 94109  
CLIENT  
CALIFORNIA STATE PARKS ASSOCIATION  
1180 YEARS CREEK ROAD  
PESCADOR, CA 94060



**DRAWING LIST**  
1 110 PROJECT INFORMATION & COVER SHEET  
2 431 FLOOR PLAN EXTERIOR ELEVATION & DETAIL



**GENERAL NOTES**  
1. CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH UNEXPECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.  
2. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL PREVALING LAWS AND CODES.  
3. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF FINISH. DIMENSIONS AT (N) WORK ARE TO FACE OF FINISH. DIMENSIONS AT (F) DIMENSIONS OF (E) PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH UNEXPECTED WORK.  
4. SAFETY MEASURES: IF THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, MAINTAINING SAFETY OF FIELD IS THE CONTRACTOR'S RESPONSIBILITY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.  
5. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE INSTRUCTED.  
6. ALL WASTE AND BRUITS CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER.  
7. APPLICATION OF FINISH SURFACES PROXIMITY PREPARED BY ANOTHER TRADE SHALL BE INSPECTED AND ACCEPTED BY THE CONTRACTOR BEFORE ANY FINISH SURFACES ARE APPLIED. IF SURFACES ARE NOT ACCEPTABLE, THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSIDERED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.  
8. INSTALL ALL WORK PLUMBLE, LEVEL, AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.  
9. CONTRACTOR SHALL DESIGN AND INSTALL SHORINGS AS REQUIRED TO PERFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTION AND SAFETY OF THE SHORINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
10. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION TO THE DRAWINGS AND SPECIFICATIONS. NOTES AND DETAILS SHALL BE COMPLEMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.  
11. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.  
12. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE IN WRITING UNLESS IT IS CLEARLY NOTED ON THE DRAWING THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".  
13. THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "E", ITEMS THAT ARE NEW OR TO BE INDICATED AS "NEW" OR "N".  
14. HAZARDOUS MATERIALS  
ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.  
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONS WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

**APPLICABLE BUILDING CODES**  
THE SECRETARY OF THE INTERIORS STANDARDS AND ILLUSTRATED GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS, REVISED 1992 (36 CFR 67)  
CALIFORNIA CODE OF REGULATIONS TITLE 24, 2006 CALIFORNIA BUILDING CODE, INCLUDING:  
PART 1 CALIFORNIA ELECTRICAL CODE  
PART 2 CALIFORNIA MECHANICAL CODE  
PART 3 CALIFORNIA PLUMBING CODE  
PART 4 CALIFORNIA ENERGY CODE  
PART 5 CALIFORNIA FIRE CODE  
PART 6 CALIFORNIA HISTORIC BUILDING CODE  
PART 7 CALIFORNIA HISTORIC BUILDING CODE  
PART 8 CALIFORNIA HISTORIC BUILDING CODE  
PART 9 CALIFORNIA HISTORIC BUILDING CODE  
PART 10 CALIFORNIA HISTORIC BUILDING CODE  
ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:  
CALIFORNIA BUILDING CODE, CHAPTER 11  
UNITED STATES ACCESS BOARD, AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT, ACCESSIBILITY GUIDELINES, JULY 23, 2004

**SYMBOL LEGEND**

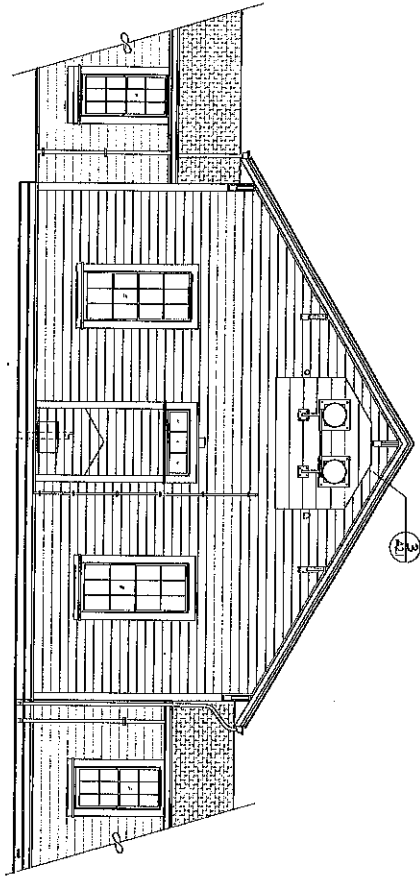
DOOR SYMBOL  
1/2" x 1/2" x 1/2" DOOR NUMBER  
UNLOCK SYMBOL  
1/2" x 1/2" x 1/2" UNLOCK NUMBER  
ENTRY SYMBOL  
1/2" x 1/2" x 1/2" ENTRY NUMBER  
ROOM SYMBOL  
1/2" x 1/2" x 1/2" ROOM NUMBER  
WALL TYPE SYMBOL  
1/2" x 1/2" x 1/2" WALL TYPE  
SHEET NOTE SYMBOL  
1/2" x 1/2" x 1/2" SHEET NOTE  
DETAIL SYMBOL  
1/2" x 1/2" x 1/2" DETAIL SYMBOL  
1/2" x 1/2" x 1/2" DETAIL NUMBER  
1/2" x 1/2" x 1/2" SHEET NUMBER  
1/2" x 1/2" x 1/2" DETAIL CORNER

**ABBREVIATIONS**

1	AND	10	CONCRETE	20	FR	30	FR	40	FR
2	ANGLE	11	CONCRETE	21	FR	31	FR	41	FR
3	ARCH	12	CONCRETE	22	FR	32	FR	42	FR
4	AT	13	CONCRETE	23	FR	33	FR	43	FR
5	CENTLINE	14	CONCRETE	24	FR	34	FR	44	FR
6	CHAMFER	15	CONCRETE	25	FR	35	FR	45	FR
7	CORNER	16	CONCRETE	26	FR	36	FR	46	FR
8	DIAMETER	17	CONCRETE	27	FR	37	FR	47	FR
9	DRAIN	18	CONCRETE	28	FR	38	FR	48	FR
10	DRY	19	CONCRETE	29	FR	39	FR	49	FR
11	ELEVATION	20	CONCRETE	30	FR	40	FR	50	FR
12	EXPANSION JOINT	21	CONCRETE	31	FR	41	FR	51	FR
13	FINISH	22	CONCRETE	32	FR	42	FR	52	FR
14	FLOOR	23	CONCRETE	33	FR	43	FR	53	FR
15	FOUNDATION	24	CONCRETE	34	FR	44	FR	54	FR
16	GLASS	25	CONCRETE	35	FR	45	FR	55	FR
17	GRID	26	CONCRETE	36	FR	46	FR	56	FR
18	HORIZONTAL	27	CONCRETE	37	FR	47	FR	57	FR
19	INSIDE	28	CONCRETE	38	FR	48	FR	58	FR
20	INTERIOR	29	CONCRETE	39	FR	49	FR	59	FR
21	LABORATORY	30	CONCRETE	40	FR	50	FR	60	FR
22	LAMP	31	CONCRETE	41	FR	51	FR	61	FR
23	LAVATORY	32	CONCRETE	42	FR	52	FR	62	FR
24	LAZY	33	CONCRETE	43	FR	53	FR	63	FR
25	LEADER	34	CONCRETE	44	FR	54	FR	64	FR
26	LEVEL	35	CONCRETE	45	FR	55	FR	65	FR
27	LINE	36	CONCRETE	46	FR	56	FR	66	FR
28	LOADING	37	CONCRETE	47	FR	57	FR	67	FR
29	LOCK	38	CONCRETE	48	FR	58	FR	68	FR
30	LOCKER	39	CONCRETE	49	FR	59	FR	69	FR
31	LOADING	40	CONCRETE	50	FR	60	FR	70	FR
32	LOADING	41	CONCRETE	51	FR	61	FR	71	FR
33	LOADING	42	CONCRETE	52	FR	62	FR	72	FR
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55	LOADING	64	CONCRETE	74	FR	84	FR	94	FR
56	LOADING	65	CONCRETE	75	FR	85	FR	95	FR
57	LOADING	66	CONCRETE	76	FR	86	FR	96	FR
58	LOADING	67	CONCRETE	77	FR	87	FR	97	FR
59	LOADING	68	CONCRETE	78	FR	88	FR	98	FR
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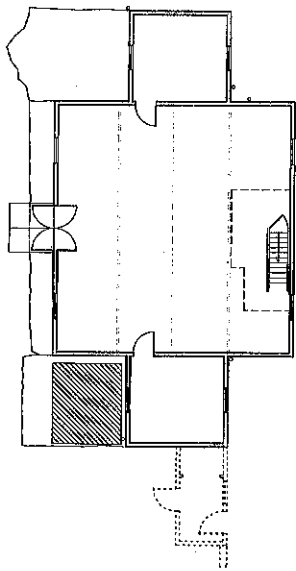
**DETAIL NUMBERING**

THE NUMBERING SYSTEM USED FOR DETAILS ON THE DRAWINGS IS AS SHOWN IN THE FOLLOWING DIAGRAM:

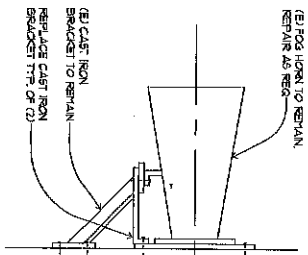


WEST ELEVATION

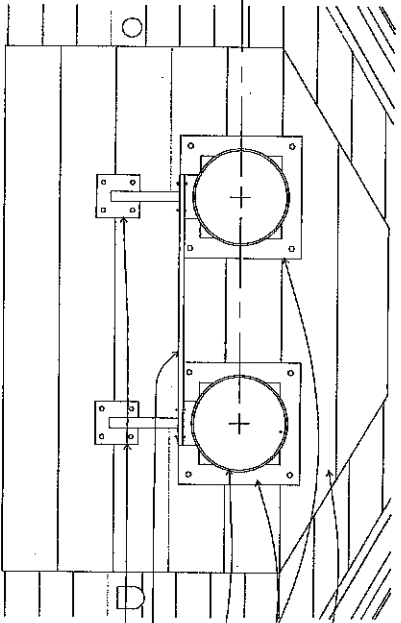
1 EXTERIOR ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



(E) FOG HORN TO REMAIN  
REPAIR AS REQ.  
(E) CAST IRON BRACKET TO REMAIN  
REPLACE CAST IRON BRACKET TYP. OF (E)



(E) UP BOARD TO REMAIN  
(E) CAST IRON BASE PLATE TO REMAIN TYP. OF (E) REPAIR AS REQ.  
(E) FOG HORN TO REMAIN TYP. OF (E) REPAIR AS REQ.  
REPLACE CAST IRON STRUT  
(E) CAST IRON BRACKET TO REMAIN REPAIR AS REQ.

3 FOG HORN REPAIR DETAIL  
SCALE: 1" = 1'-0"

3/28/2017 m.jones



ACQUISITION & DEVELOPMENT DIVISION  
CPM DESIGN  
SACRAMENTO, CA  
95814-5229

DESIGNED: KNIFE  
DRAWN: AN  
CHECKED: JN  
DATE: 07/24/2017

REVISIONS: DATE

PIGEON POINT LIGHT STATION STATE HISTORIC PARK  
PIGEON POINT FOG SIGNAL BUILDING REHABILITATION

**FLOOR PLAN, EXTERIOR ELEVATION & DETAIL**

DRAWING NO. XXXX.001  
SHEET NO. A2.1  
02 OF 05





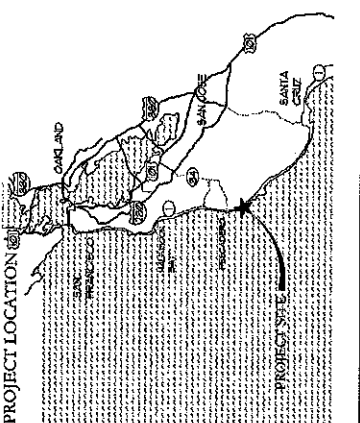
ACQUISITION & DIVISION  
DEVELOPMENT  
One Capitol Mall  
Sacramento, CA  
95834-0229

PROJECT INFORMATION  
PIGEON POINT LIGHT STATION STATE HISTORIC PARK  
COVER SHEET

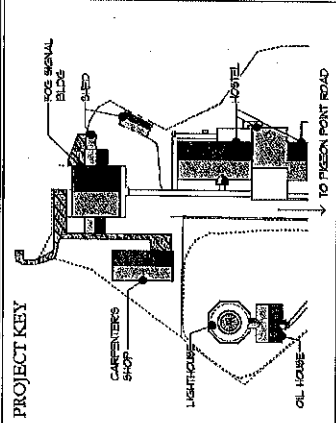
DRAWING NO.  
XXXX001  
SHEET NO.  
T1.0  
01 OF 02

**PROJECT SUMMARY**  
THIS PROJECT IS THE REHABILITATION OF THE FOG HORNS AT THE FOG SIGNAL BUILDING AT THE PIGEON POINT LIGHT STATION. WORK WILL INCLUDE THE REPAIR OF THE HISTORIC CAST IRON AND STEEL FOG HORNS.

**PROJECT TEAM**  
CLIENT: CALIFORNIA STATE PARKS, CALIFORNIA STATE PARKS DIVISION, SACRAMENTO, CA  
ARCHITECT: ARCHITECTURAL RESOURCES GROUP, 1000 MARKET STREET, SUITE 300, SAN FRANCISCO, CA 94102  
GENERAL CONTRACTOR: CALIFORNIA STATE PARKS ASSOCIATION, 1580 YEARS CREEK ROAD, PESCIADERO, CA 94060



**DRAWING LIST**  
1 T10 PROJECT INFORMATION & COVER SHEET  
2 A01 FLOOR PLAN EXTERIOR ELEVATION & DETAIL

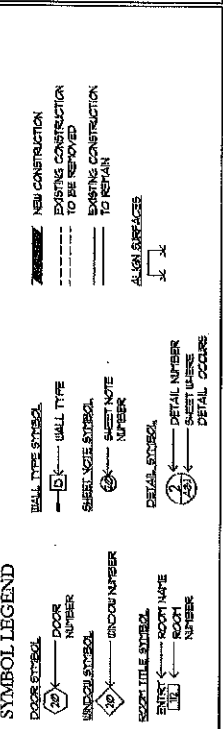


**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFIXED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL PREVAILING LAWS AND CODES.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHOWN AT (E) CONDITIONS ARE FOR INFORMATION ONLY. DIMENSIONS AT (F) CONDITIONS ARE TO FACE OF FINISH. DIMENSIONS AT (F) CONDITIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. PROVIDE CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFIXED WORK.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT'S SITE VISITS ARE NOT INTENDED TO VERIFY THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE INSTRUCTED.
- ALL WASTE AND DEBRIS CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER.
- APPLICATION OF FINISH MATERIALS PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE ANY SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONTINUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE SURFACE UPON WHICH IT IS APPLIED.
- INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- CONTRACTOR SHALL DESIGN AND INSTALL SHOWERS AS REQUIRED TO PERFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONTRACTOR AND SAFETY OF THE SHOWERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS UNLESS SPECIFICALLY CALLED OUT OR NOT.
- THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "E", ITEMS WHICH WOULD BE NEW OR NEW CONSTRUCTION, WERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW OR N".

**HAZARDOUS MATERIALS**  
ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.  
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

**APPLICABLE BUILDING CODES**  
THE REQUIREMENTS OF THE INTERCITY STANDARDS AND ILLUSTRATED GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS, REVISED 1994 (S.A. 01-24)  
CALIFORNIA CODE OF REGULATIONS TITLE 24, 2006 CALIFORNIA BUILDING CODE, INCLUDING:  
PART 2 CALIFORNIA ELECTRICAL CODE  
PART 3 CALIFORNIA MECHANICAL CODE  
PART 4 CALIFORNIA PLUMBING CODE  
PART 5 CALIFORNIA FIRE CODE  
PART 6 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE  
PART 7 CALIFORNIA HISTORIC BUILDING CODE  
PART 8 CALIFORNIA FIRE CODE  
PART 9 CALIFORNIA EXISTING BUILDING CODE  
ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:  
CALIFORNIA STATE BUILDING CODE CHAPTER 11  
UNIFORM BUILDING CODE (UBC) 2003, AMENDMENTS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, JULY 23, 2004



ABBREVIATIONS	DESCRIPTION	ABBREVIATIONS	DESCRIPTION	ABBREVIATIONS	DESCRIPTION
1	ANGLE	1	LOCKER	1	SOFT SALVAGE
2	ARCHITECTURAL	2	LOCKER LIGHT	2	SALLY
3	BOARD	3	MACHINERY	3	SOLID CORE
4	BUILDING	4	MACHINE BOLT	4	SEAT COVER
5	CENTRAL	5	MACHINERY	5	SEALANT
6	CENTRAL	6	MACHINERY	6	SEALANT
7	CEILING	7	MACHINERY	7	SEALANT
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98	CEILING	98	MACHINERY	98	SEALANT
99	CEILING	99	MACHINERY	99	SEALANT
100	CEILING	100	MACHINERY	100	SEALANT

**DETAIL NUMBERING**

THE NUMBERING SYSTEM USED FOR DETAILS ON THE DRAWINGS IS SHOWN IN THE FOLLOWING DIAGRAM:

1	2	3
10	11	12
101	102	103

WHEN MORE THAN ONE BLOCK IS USED FOR A SINGLE DETAIL, THE NUMBER OF THE LOWEST DETAIL NUMBER IS USED. THESE NUMBERS ARE ALIGNED IN THE SAME LOCATION ON THE SHEET.









ACQUISITION &  
DEVELOPMENT DIVISION  
SACRAMENTO, CA  
8691-1-0229

PIGEON POINT LIGHT STATION STATE HISTORIC PARK  
WINDOW SCHEDULE  
& DETAILS

DRAWING NO.  
XXXX.001

SHEET NO.  
A2.2

03 OF 05

GENERAL WINDOW NOTES

1. CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
2. WINDOW SIZES NOTICED ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
3. ALL WINDOW JOINTS TO BE REPAIRED TO OTHER OBSOLETE HARDWARE UON. FILL HOLES AND OBJECTS IN WOOD WHERE COASTS TO MATCH JOINTS.
4. PROVIDE TYPICAL MAINTENANCE FOR ALL WINDOWS.
5. RESTORE (E) HARDWARE TO PROPER WORKING ORDER UON. PREPARE WINDOW FOR FINISH AND WEATHERSTRIPING TO ALL WINDOWS.
6. (E) WINDOWS SHALL BE MAINTAINED AT INT. AND EXG. TYP.
7. (E) WINDOWS SHALL MATCH (E) SASH DIMENSIONS, TYP.
8. REMOVE LOOSE OR FLAKING PAINT AT WINDOW SASH AND FRAME. PREPARE SURFACES FOR (E) PAINT.

WINDOW REPAIR LEGEND

SEE WINDOW SCHEDULE REMARKS AND SPECIFICATIONS FOR DETAILED DESCRIPTION OF REPAIR ITEMS.

GENERAL REPAIRS

GROUP 1 - WINDOW ASSEMBLY AND HARDWARE IN GOOD CONDITION

- TYP MAINTENANCE FOR DOUBLE HING WINDOW.
- REPAIR SASH LOCKS AND SASH PULLS. REPLACE IN KIND WHERE MISSING.
- WINDOW PAINT REPAIRED BUT NOT TOUCHING OVER FULL LENGTH OF TRACK.
- REPLACE CRACKED OR DETERIORATED GLAZING PUTTY.
- REPLACE PARTING BEADS WHERE REQUIRED.
- REPLACE SASH CORD WHERE REQUIRED.
- REINSTALL WINDOW AND RETURN UPPER + LOWER SASH TO EASILY OPERABLE CONDITION.

WINDOW ABBREVIATIONS

- SOURCE: (E) EXISTING (N) NEW (R) RELOCATED (U) UP (D) DOWN (PT) PAINT (ST) STAIN (G) CLEAR FLOAT GLASS (SG) SAFETY GLASS

WINDOW TYPES

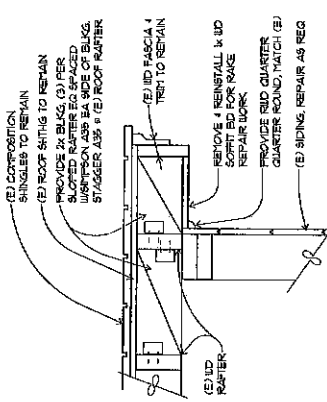


A DOUBLE HING

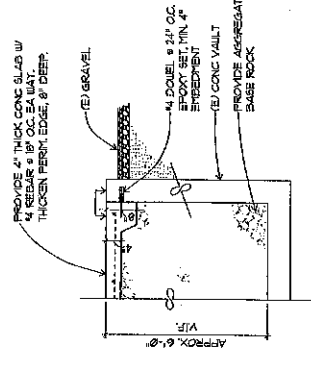


B FIXED

WINDOW NO.	LOCATION	REMARKS/TYPE	WINDOW APPROX. SIZE (W x H)	FRAME MAT.	FINISH	GLAZING	REPAIR LEVEL	REMARKS
01	EAST ELEVATION	(E) A	2'-10 1/2" x 8'-1/2"	UD	PT	(E) PT	GROUP 1	
02	EAST ELEVATION	(E) A	3'-3 1/2" x 1'-1"	UD	PT	(E) PT	GROUP 1	
03	EAST ELEVATION	(E) A	2'-0 1/2" x 3'-5"	UD	PT	(E) PT	GROUP 1	
04	EAST ELEVATION	(E) A	2'-0 1/2" x 3'-5"	UD	PT	(E) PT	GROUP 1	
05	EAST ELEVATION	(E) A	3'-3 1/2" x 1'-1"	UD	PT	(E) PT	GROUP 1	
06	EAST ELEVATION	(E) A	2'-10 1/2" x 8'-1/2"	UD	PT	(E) PT	GROUP 1	
07	EAST ELEVATION	(E) B	3'-10 1/2" x 1'-1"	UD	PT	(E) PT	GROUP 1	
08	WEST ELEVATION	(E) A	2'-10 1/2" x 8'-1/2"	UD	PT	(E) PT	GROUP 1	
09	WEST ELEVATION	(E) A	3'-3 1/2" x 1'-1"	UD	PT	(E) PT	GROUP 1	
10	WEST ELEVATION	(E) A	2'-10 1/2" x 8'-1/2"	UD	PT	(E) PT	GROUP 1	
11	WEST ELEVATION	(E) B	3'-10 1/2" x 1'-1"	UD	PT	(E) PT	GROUP 1	



1. ROOF RAKE REPAIR SCALE: 1/2" = 1'-0"



2. CONCRETE VAULT REPAIR SCALE: 3/8" = 1'-0"



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CALIFORNIA STATE PARKS  
SACRAMENTO, CA  
95814-5223

EXTERIOR ELEVATIONS

PIGEON POINT LIGHT STATION BUILDING REHABILITATION

DRAWING NO.  
XXXXX.001

SHEET NO.

A3.1

04 of 05

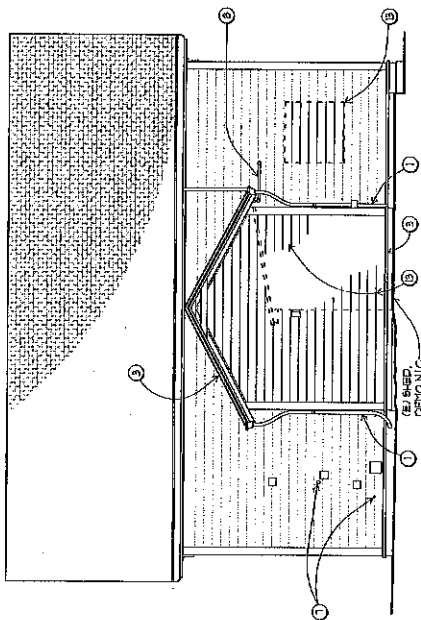
ELEVATION GENERAL NOTES

1. GENERAL NOTE: TYPICAL ALL ELEVATIONS
2. GENERAL NOTE: REMOVE ALL EXISTING SIDING FROM ALL WALL SURFACES. REPAIR WOOD SIDING AND TRIM AS NOTED ON ELEVATIONS AND IN SPECIFICATIONS. PREP AND REPAINT.
3. PAINT COLORS TO MATCH (E) WORK.

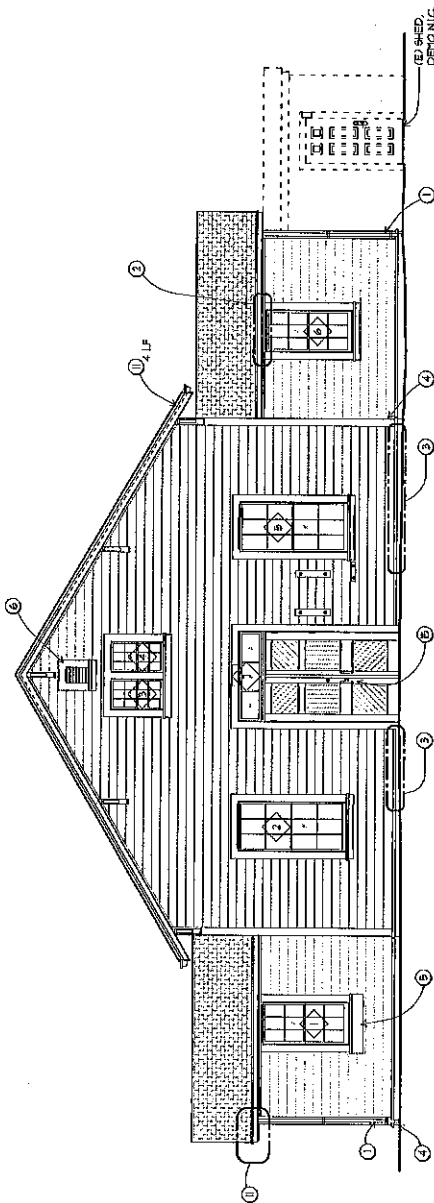
ELEVATION KEY NOTES

NOT ALL NOTES APPEAR ON SHEET.

- 1 (E) DISCONNECT TO REMAIN, RECONNECT WHERE DISLOCATED.
- 2 REPLACE MISSING TRIM OR POORLY PATCHED WOOD TRIM, SEE WINDOW SCHEDULE.
- 3 REPAIR OR PATCH BROKEN, DETERIORATED OR MISSING WOOD TRIM OR SIDING TO MATCH ADJ.
- 4 REPAIR OPEN JOINT AT CORNER.
- 5 REMOVE (E) WINDOW BOX AND REPAIR WOOD SIDING & FORMER ATTACHMENT LOCATIONS.
- 6 INSTALL INSECT/ROD SCREEN BEHIND LOWER.
- 1 PATCH 2 HOLES TO MATCH ADJ. THIS ELEVATION. (E) METAL PLATES TO REMAIN, PREP AND PAINT.
- 8 (E) PROPANE LINE TO REMAIN
- 9 SECURE (E) WOOD SOFFIT TO FASCIA.
- 10 REMOVE (E) WOOD ATTACHMENT, REPAIR WOOD TRIM UNDERNEATH.
- 11 REPLACE DETERIORATED & WOOD SOFFIT.
- 12 REMOVE (E) WOOD BRACKETS FOR DISCARD, SEE (A) FOR REPAIR.
- 13 REMOVE (E) WOOD BRACKETS FOR DISCARD, SEE (A) FOR REPAIR.
- 14 REMOVE & REINSTALL (E) WOOD SOFFIT FOR ROOT STRUC. REPAIR WORK.
- 15 PATCH BORINGS & HOLES IN (E) WOOD.
- 16 TREATMENT OF FOG HORNS N.L.C.



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"







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SACRAMENTO OFFICE  
SACRAMENTO, CA  
95814-5228

EXTERIOR ELEVATIONS  
PIGEON POINT LIGHT STATION BUILDING REHABILITATION

DRAWING NO.  
XXXX.DOT

SHEET NO.

A3.2

05 of 05

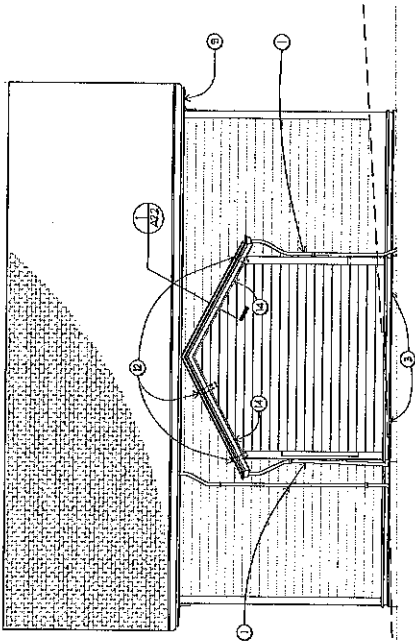
ELEVATION GENERAL NOTES

- GENERAL NOTES APPLY TO ALL ELEVATIONS.
- ALL PAINT LAYERS AND FINISHES TO BE REMOVED FROM ALL WALL SURFACES. REPAIR WOOD SIDING AND TRIM AS NOTED ON ELEVATIONS AND IN SPECIFICATIONS. PREP AND REPAINT. PAINT COLORS TO MATCH (E) UDL.
- PAINT COLORS TO MATCH (E) UDL.

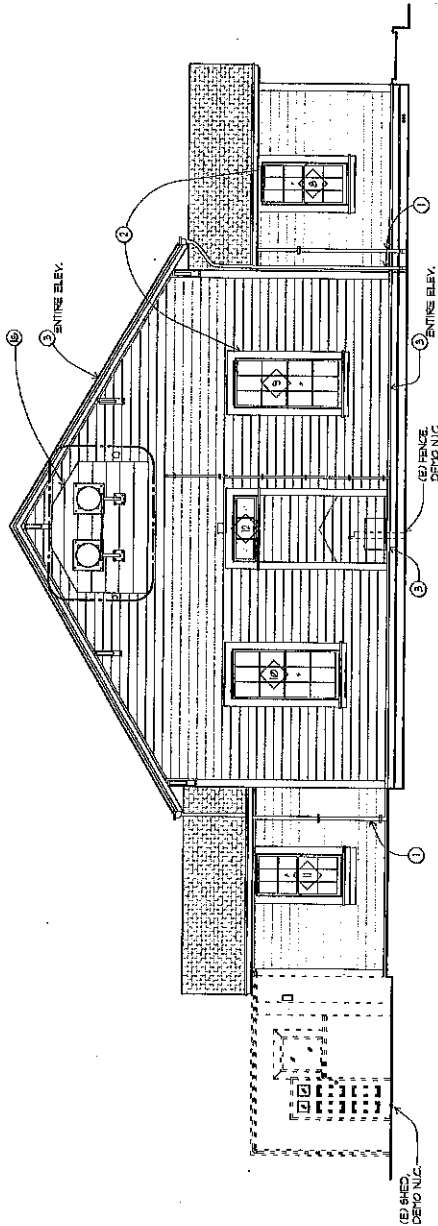
ELEVATION KEY NOTES

NOT ALL NOTES APPEAR ON SHEET.

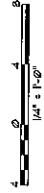
- (E) DOWNPOUT TO REMAIN, RECONNECT WHERE DISLOCATED.
- REPLACE MISSING TRIM OR POORLY PATCHED WOOD TRIM. SEE UNCAL SCHEDULE.
- REPAIR OR PATCH BROKEN, DETERIORATED OR MISSING WOOD TRIM OR SIDING TO MATCH ADJ.
- REPAIR OPEN JOINT AT CORNER.
- REMOVE (E) WINDOW BOX AND REPAIR WOOD SIDING • FORMER ATTACHMENT LOCATIONS.
- INSTALL INSECT/ROD SCREEN BEHIND LOWER.
- PATCH 7 HOLES TO MATCH ADJ. THIS ELEVATION. (E) METAL PLATES TO REMAIN, PREP AND PAINT.
- (E) PROPANE LINE TO REMAIN
- SECURE (E) WOOD SORTIE TO FASCIA.
- REMOVE (E) WOOD ATTACHMENT, REPAIR WOOD TRIM UNDERNEATH.
- REPLACE DETERIORATED (E) WOOD SORTIE.
- REMOVE (E) UD BRACKETS FOR DISCARD. SEE (A)Z) FOR REPAIR.
- REMOVE (E) UD, REPAIR SIDING AS REQUIRED.
- REMOVE (E) REINSTALL (E) UD SORTIE FOR ROOF STRUC. REPAIR WORK.
- PATCH BORINGS & HOLES IN (E) UD OR
- TREATMENT OF FOG HORNS NLC.



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"  
NORTH ARROW



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"  
NORTH ARROW



# Pigeon Point Fog Signal Building & Fog Horn Rehabilitation

## Cost Plan

Pescadero, California

## Based on review & analysis of:

Draft Construction Documents

## Report Prepared for:

Architectural Resources Group

August 16, 2017

*more value, less risk*

[www.tbdconsultants.com](http://www.tbdconsultants.com)



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COMPONENT SUMMARY	5
FOG BUILDING COMPONENT DETAIL	5
FOG HORNS COMPONENT SUMMARY	8
FOG HORNS COMPONENT DETAIL	9

**BASIS OF ESTIMATE**

**REFERENCE DOCUMENTATION**

This Construction Cost Estimate was produced from the following documentation. Design and engineering changes occurring subsequent to the issue of these documents have not been incorporated in this estimate.

<u>Document</u>	<u>Date</u>
Pigeon Point Fog Signal Building Draft CD's	7/27/2017
Pigeon Point Fog Signal Building Draft Specs	7/27/2017
Pigeon Point Fog Horns Draft CD's	7/27/2017
Pigeon Point Fog Horns Draft Specs	7/27/2017

**PROJECT DESCRIPTION**

This report consists of two separate projects: one comprising rehabilitation of the exterior of the Fog Building, and the second comprising rehabilitation of the two existing fog horns and their mountings.

**BASIS FOR PRICING**

This estimate reflects the fair construction value for this project and should not be construed as a prediction of low bid. Prices are based on local prevailing wage construction costs at the time the estimate was prepared. Pricing assumes a procurement process with competitive bidding for all sub-trades of the construction work, which is to mean a minimum of 3 bids for all subcontractors and materials/equipment suppliers. If fewer bids are solicited or received, prices can be expected to be higher. Conversely in the current competitive market should a larger number of sub-bids be received (i.e. 6 and above) pricing can be expected to be lower than the current estimate.

Subcontractor's markups have been included in each line item unit price. Markups cover the cost of field overhead, home office overhead and subcontractor's profit. Subcontractor's markups typically range from 15% to 25% of the unit price depending on market conditions.

General Contractor's/Construction Manager's Site Requirement costs are calculated on a percentage basis. General Contractor's/Construction Manager's Jobsite Management costs are also calculated on a percentage basis.

<b>Site Requirements</b>	2.0%
<b>Jobsite Management</b>	40.0%
<b>Phasing</b>	0.0%

General Contractor's/Construction Manager's overhead and fees are based on a percentage of the total direct costs plus general conditions, and covers the contractor's bond, insurance, site office overheads and profit.

<b>Insurance &amp; Bonding</b>	2.2%
General Contractor Bonding	
Sub-Contractor Bonding	
OSIP	

<b>Fee (G.C. Profit)</b>	25.0%
--------------------------	-------

**Additional conditions of construction**

- The general contract will be by CM/GC method or competitively bid with qualified general and main subcontractors
- The entire scope of work for fog horn rehabilitation will be bid separately from the exterior building rehabilitation
- There will not be small business set-aside and equal opportunity employment requirements
- The contractor will be required to pay prevailing wages

Unless identified otherwise, the cost of such items as overtime, shift premiums and construction phasing are not included in the line item unit price.

This cost estimate is based on standard industry practice, professional experience and knowledge of the local construction market costs. TBD Consultants have no control over the material and labor costs, contractors methods of establishing prices or the market and bidding conditions at the time of bid. Therefore TBD Consultants do not guarantee that the bids received will not vary from this cost estimate.

**CONTINGENCY**

<b>Design Contingency</b>	20.0%
---------------------------	-------

**BASIS OF ESTIMATE**

The Design Contingency is carried to cover scope that lacks definition and scope that is *anticipated* to be added to the Design. As the Design becomes more complete the Design Contingency will reduce.

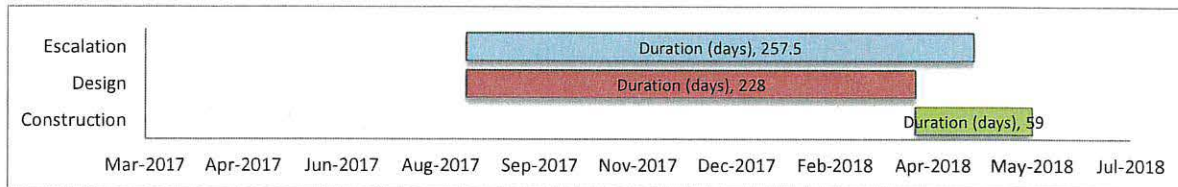
**Construction Contingency** 0.0% *Carried else where in owners budget*

The Construction Contingency has not been carried to cover the unforeseen during construction execution and Risks that do not currently have mitigation plans. (As Risks are mitigated, Construction Contingency can be reduce, but should not be eliminated.)

An owners contingency has not been included in this construction cost estimate, but it is advised that the owner carry additional contingency to cover scope change, bidding conditions, claims and delays.

**CONSTRUCTION SCHEDULE**

The following schedule is for the exterior building renovation:



Construction Start Date	Apr-2018	Construction End Date	May-2018
Mid-date of Construction		Construction Duration	2 months
Escalation Period	8 months	Escalation End Date	Construction Mid-Point

**ESCALATION**

*Escalation is excluded*

<b>Escalation:</b>	4.19%	<i>Compounded Rate</i>
Year 1	6.00%	
Year 2	6.00%	
Year 3	5.50%	
Year 4	5.00%	
Year 5	4.00%	
Beyond 5 Years	3.50%	

This calculation does not account for adverse bidding conditions and a separate Bid Contingency should be carried if there are limited qualified bidders or if a market research study indicates.

**EXCLUSIONS**

- Preconstruction services
- Utility connection fees and charges
- Soil remediation
- Site scope of work with exception of existing vault
- Interior work except patching/touch up adjacent to windows & door
- Furniture, fixtures and equipment (FF&E)
- Site surveys, existing condition reports and soils investigation costs
- Abatement of lead-based paint to wood components; lead-safe methods only
- Permits
- Owner's contingency
- Design Fees

OVERALL SUMMARY

LIBRARY OPTIONS	SF AREA	\$/SF	CONSTRUCTION COST \$	COMMENTS
Pigeon Point Fog Signal Building	1,424	\$75.84	108,000	Start Date April 2018
Pigeon Point Fog Horn Treatment	1,424	\$53.33	75,945	Start Date April 2018

KEY CRITERIA

AREA TABULATION

Floor	REMODEL	COVERED	PERIMETER	HEIGHT	COMMENTS
<b>Pigeon Point Fog Signal Building</b>					
First Floor	1,424		178		
Upper Floor	Unknown				
<b>Subtotal</b>	<b>1,424 SF</b>				

<b>Pigeon Point Fog Signal Building -</b>					
<b>C104GSF Not Incl. 50% Covered Area</b>		<b>1,424 SF</b>			

Approximate Control Quantities

Gross Wall Area	2,793	SF		1.961
Retaining Wall Area	0	SF		0.000
Finished Wall Area	2,793	SF		1.961
Glazing Area	194	SF	6.95%	0.136
Roof Area	1,680	SF		1.180
Interior Partition Length	26	LF		0.018

PIGEON POINT FOG SIGNAL BUILDING - UNIFORMAT II SUMMARY

GSF : 1,424

SECTION	%	TOTAL	\$ / SF	COMMENTS
10 FOUNDATIONS				
20 BASEMENT CONSTRUCTION				
<b>A SUBSTRUCTURE</b>				
10 SUPERSTRUCTURE	1.3%	600	\$0.42	
20 EXTERIOR ENCLOSURE	68.8%	32,769	\$23.01	
30 ROOFING	3.1%	1,500	\$1.05	
<b>B SHELL</b>	<b>73.2%</b>	<b>34,869</b>	<b>\$24.49</b>	
10 INTERIOR CONSTRUCTION				
20 STAIRS				
30 INTERIOR FINISHES				
<b>C INTERIORS</b>				
10 CONVEYING				
20 PLUMBING				
30 HVAC				
40 FIRE PROTECTION				
50 ELECTRICAL				
<b>D SERVICES</b>				
10 EQUIPMENT				
20 FURNISHINGS				
<b>E EQUIPMENT + FURNISHINGS</b>				
10 SPECIAL CONSTRUCTION				
20 SELECTIVE BUILDING DEMOLITION				
<b>F SPECIAL CONSTRUCTION + DEMOLITION</b>				
10 SITE PREPARATION	20.1%	9,596	\$6.74	
20 SITE IMPROVEMENTS	6.6%	3,165	\$2.22	
30 SITE MECHANICAL UTILITIES				
40 SITE ELECTRICAL UTILITIES				
50 OTHER SITE CONSTRUCTION				
<b>G BUILDING SITEWORK</b>	<b>26.8%</b>	<b>12,761</b>	<b>\$8.96</b>	
<b>DIRECT COSTS</b>		<b>47,630</b>	<b>\$33.45</b>	
SITE REQUIREMENTS	2.0%	953	\$0.67	
JOBSITE MANAGEMENT	40.0%	19,052	\$13.38	
PHASING OR SHIFT PREMIUM				NIC
<b>ESTIMATE SUB-TOTAL</b>		<b>67,634</b>	<b>\$47.50</b>	
INSURANCE + BONDING	2.2%	1,488	\$1.04	
FEE	25.0%	16,909	\$11.87	
<b>ESTIMATE SUB-TOTAL</b>		<b>86,031</b>	<b>\$60.41</b>	
DESIGN CONTINGENCY	20.0%	17,206	\$12.08	
CONSTRUCTION CONTINGENCY				Carried by Owner
<b>ESTIMATE SUB-TOTAL</b>		<b>103,237</b>	<b>\$72.50</b>	
ESCALATION	4.2%	4,324	\$3.04	Start Date April 2018
<b>ESTIMATE TOTAL</b>		<b>107,561</b>	<b>\$75.53</b>	total add-ons 125.83%





PIGEON POINT FOG HORNS - ESTIMATE SUMMARY

GSF : 1,424

REF	MF	DESCRIPTION	UoM	UNIT RATE	TOTAL	COMMENTS
1						
2		<b>Superstructure</b>				
3		Provide 2x blocking at two bays, 3 per sloped rafter with A35 each side of each block	12 EA	50.00	600	South elevation
4						
5						
6		<b>SUPERSTRUCTURE</b>			<b>600</b>	<b>\$0.42 / SF</b>
7						
8		<b>Exterior Enclosure</b>				
9						
10		<u>Exterior Walls</u>				
11		Repair/patch/replace trim or siding to match adjacent, north, south, east elevations, including repair of open joints at corner	7 LOC	250.00	1,750	
12		Repair/patch/replace trim or siding to match adjacent west elevation	951 SF	1.25	1,189	
13		Remove window box & repair siding	1 EA	250.00	250	
14		Patch two holes north elevation	1 LS	125.00	125	
15		Remove existing wood attachment, repair wood trim beneath	1 LS	125.00	125	Mark 10
16		Remove wood brackets & repair siding	3 LOC	110.00	330	Mark 12
17		Remove plywood & repair siding	70 SF	25.00	1,750	
18		Prep & paint exterior wood siding & trim	2,545 SF	5.00	12,725	
19						
20		<u>Windows &amp; Glazing</u>				
21		Repair & replace sash locks & pulls, parting beads, sash cords, as required	10 EA	300.00	3,000	
22		Ensure operability & wax window tracks	10 EA	125.00	1,250	
23		Prep & paint windows, including glazing putty as required	12 EA	300.00	3,600	
24		Weatherstrip all windows	12 EA	150.00	1,800	
25		Replace selected wood trim	3 EA	300.00	900	10,550
26						
27		Install window screen behind louver	1 EA	300.00	300	
28						
29		<u>Interior face of Exterior Wall</u>				
30		Patch/touch up wall & trim adjacent to windows & door	1 LS	975.00	975	
31						
32		<u>Soffits</u>				
33		Paint raked soffits	122 SF	5.00	610	
34		Paint eaves	162 SF	5.00	810	
35		Secure wood soffit to fascia	1 LS	75.00	75	Mark 9
36		Replace deteriorated wood soffit	20 LF	20.00	400	Mark 11
37		Remove & replace soffit for blocking	17 LF	15.00	255	Mark 14
38						
39		<u>Exterior Doors</u>				
40		Patch boring holes in double door	1 LS	150.00	150	Mark 15
41		Paint door	1 PR	400.00	400	
42						
43		<u>Canopies</u>				
44						
45						
46		<b>EXTERIOR ENCLOSURE</b>			<b>32,769</b>	<b>\$23.01 / SF</b>
47						
48		<b>Roofing</b>				
49						
50		<u>Roof Coverings</u>				
51						
52		Remove & replace metal downspouts & wood gutters as required; paint	1 LS	1,500.00	1,500	
53						
54						
55		<b>ROOFING</b>			<b>1,500</b>	<b>\$1.05 / SF</b>

PIGEON POINT FOG HORNS - ESTIMATE SUMMARY

GSF : 1,424

REF	MF	DESCRIPTION	UoM	UNIT RATE	TOTAL	COMMENTS
56						
57		<u>Site Preparation</u>				
58		Site Area	2,000	SF		Includes building footprint
59						
60		Protect existing features	1	LS	5,000.00	5,000
61		Construction fencing	250	LF	10.00	2,500
62		SWPPP	1	LS	2,000.00	2,000
63						
64		<u>Site Clearing</u>				
65		Remove & discard plywood	96	SF	1.00	96
66		All other site clearing & demolition				NIC
67						
68						
69		<b>SITE PREPARATION</b>			<b>9,596</b>	<b>\$6.74 / SF</b>
70						
71		<u>Site Improvements</u>				
72						
73		<u>Vehicular Paving and Curbs</u>				
74						
75		<u>Pedestrian Paving</u>				
76						
77		<u>Landscaping &amp; Irrigation</u>				
78						
79		<u>Site Structures</u>				
80		Concrete slab 4 thick at top of existing vault, #4 at 18" o.c.e.w. & thickened edge	96	SF	15.00	1,440
81		Dowels @ 24" o.c. at perimeter	20	EA	30.00	600
82		Fill vault with aggregate base rock	15	CY	75.00	1,125
83						
84		<u>Site Furnishings</u>				
85						
86		<u>Site Signage</u>				
87						
88						
89		<b>SITE IMPROVEMENTS</b>			<b>3,165</b>	<b>\$2.22 / SF</b>



GSF : 1,424

SECTION	%	TOTAL	\$ / SF	COMMENTS
10 FOUNDATIONS				
20 BASEMENT CONSTRUCTION				
<b>A SUBSTRUCTURE</b>				
10 SUPERSTRUCTURE				
20 EXTERIOR ENCLOSURE	71.8%	24,130	\$16.95	
30 ROOFING				
<b>B SHELL</b>	<b>71.8%</b>	<b>24,130</b>	<b>\$16.95</b>	
10 INTERIOR CONSTRUCTION				
20 STAIRS				
30 INTERIOR FINISHES				
<b>C INTERIORS</b>				
10 CONVEYING				
20 PLUMBING				
30 HVAC				
40 FIRE PROTECTION				
50 ELECTRICAL				
<b>D SERVICES</b>				
10 EQUIPMENT				
20 FURNISHINGS				
<b>E EQUIPMENT + FURNISHINGS</b>				
10 SPECIAL CONSTRUCTION				
20 SELECTIVE BUILDING DEMOLITION	10.4%	3,500	\$2.46	
<b>F SPECIAL CONSTRUCTION + DEMOLITION</b>	<b>10.4%</b>	<b>3,500</b>	<b>\$2.46</b>	
10 SITE PREPARATION	17.8%	6,000	\$4.21	
20 SITE IMPROVEMENTS				
30 SITE MECHANICAL UTILITIES				
40 SITE ELECTRICAL UTILITIES				
50 OTHER SITE CONSTRUCTION				
<b>G BUILDING SITEWORK</b>	<b>17.8%</b>	<b>6,000</b>	<b>\$4.21</b>	
<b>DIRECT COSTS</b>		<b>33,630</b>	<b>\$23.62</b>	
SITE REQUIREMENTS	2.0%	673	\$0.47	
JOBSITE MANAGEMENT	40.0%	13,452	\$9.45	
PHASING OR SHIFT PREMIUM				NIC
<b>ESTIMATE SUB-TOTAL</b>		<b>47,755</b>	<b>\$33.54</b>	
INSURANCE + BONDING	2.2%	1,051	\$0.74	
FEE	25.0%	11,939	\$8.38	
<b>ESTIMATE SUB-TOTAL</b>		<b>60,744</b>	<b>\$42.66</b>	
DESIGN CONTINGENCY	20.0%	12,149	\$8.53	
CONSTRUCTION CONTINGENCY				Carried by Owner
<b>ESTIMATE SUB-TOTAL</b>		<b>72,893</b>	<b>\$51.19</b>	
ESCALATION	4.2%	3,053	\$2.14	Start Date April 2018
<b>ESTIMATE TOTAL</b>		<b>75,945</b>	<b>\$53.33</b>	total add-ons 125.83%

PIGEON POINT FOG HORNS - UNIFORMAT II SUMMARY

GSF : 1,424

REF	MF	DESCRIPTION	UoM	UNIT RATE	TOTAL	COMMENTS
1						
2		<b>Exterior Enclosure</b>				
3						
4		<b>Exterior Walls</b>				
5		Prep & paint wood backing board	200 SF	5.00	1,000	
6						
7		Pattern & cast replacement cast iron bracket	1 EA	4,800.00	4,800	
8		Pattern & cast replacement cast iron strut	1 EA	2,500.00	2,500	
9		Allowance for minor repair of remaining components	1 LS	1,000.00	1,000	
10						
11		<b>Metallize</b>				
12		Coat cast iron base plates	2 EA	220.00	440	
13		Brackets	2 EA	220.00	440	
14		Strut	1 EA	175.00	175	
15		Fog horns	2 EA	700.00	1,400	
16						
17		<b>Primer, followed by 3 coats tneimic</b>				
18		Coat cast iron base plates	2 EA	262.50	525	
19		Brackets	2 EA	262.50	525	
20		Strut	1 EA	175.00	175	
21		Fog horns	2 EA	875.00	1,750	
22						
23		Testing & engineering of components	40 HRS	175.00	7,000	
24		Reassemble on site with new stainless steel fasteners	1 LS	2,400.00	2,400	
25						
26		<b>Windows &amp; Glazing</b>				
27						
28		<b>Interior face of Exterior Wall</b>				
29						
30		<b>Soffits</b>				
31						
32		<b>Exterior Doors</b>				
33						
34		<b>Canopies</b>				
35						
36						
37		<b>EXTERIOR ENCLOSURE</b>			<b>24,130</b>	<b>\$16.95 / SF</b>
38						
39		<b>Selective Building Demolition</b>				
40						
41		<b>Building Elements Demolition</b>				
42		Remove cast iron brackets, strut, & fog horns & backing plate; document existing conditions	1 LS	2,000.00	2,000	
43						
44		<b>Hazardous Components Abatement</b>				
45		Strip all components to bare metal	1 LS	1,500.00	1,500	
46						
47						
48		<b>SELECTIVE BUILDING DEMOLITION</b>			<b>3,500</b>	<b>\$2.46 / SF</b>
49						
50		<b>Site Preparation</b>				
51		Site Area	500 SF			
52						
53		Protect existing features	1 LS	3,500.00	3,500	
54		Construction fencing	150 LF	10.00	1,500	
55		SWPPP	1 LS	1,000.00	1,000	
56						
57		<b>Site Clearing</b>				NIC
58						
59						
60		<b>SITE PREPARATION</b>			<b>6,000</b>	<b>\$4.21 / SF</b>