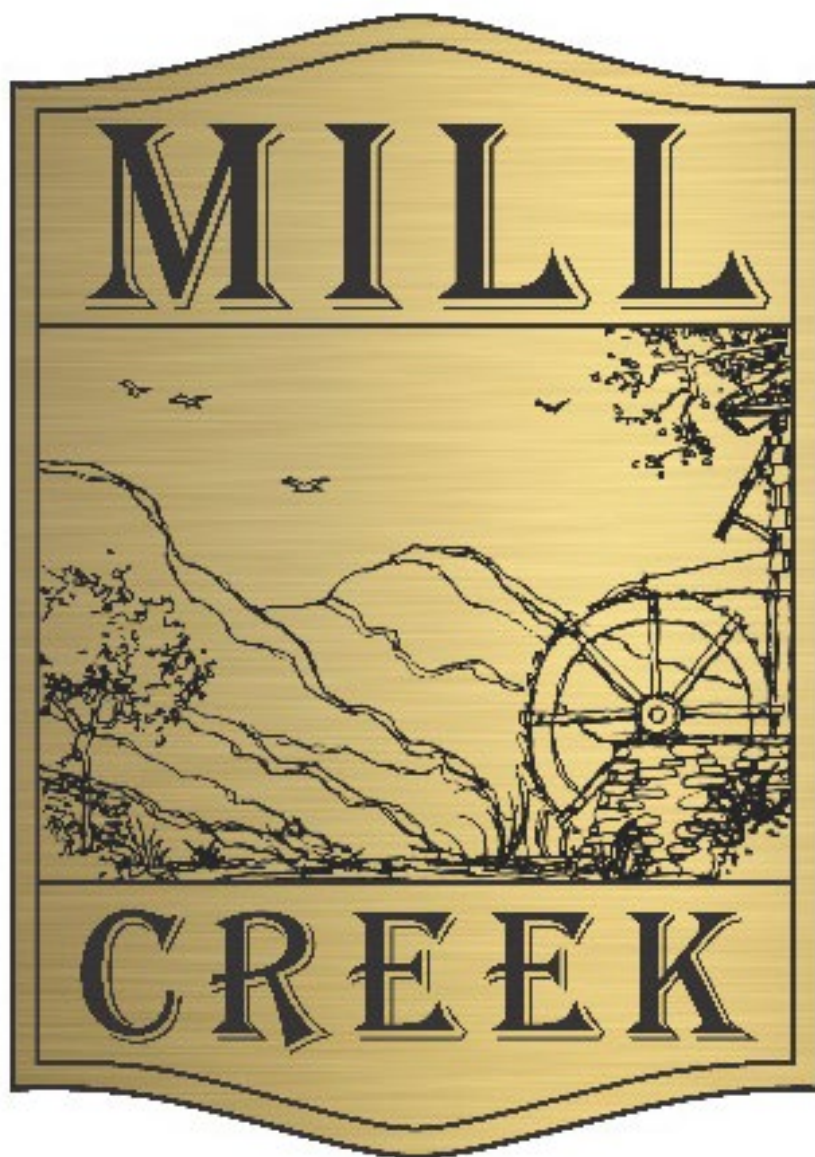


APPENDIX 11

Mill Creek Promenade Specific Plan

Mill Creek Promenade

Specific Plan No. 2016-246

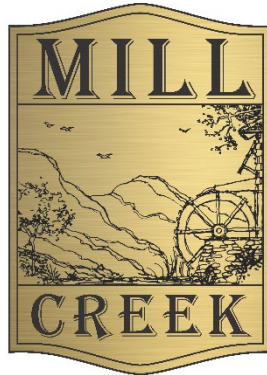


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Mill Creek Promenade

Specific Plan No. 2016-246



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I. INTRODUCTION

A. Introduction

The Mill Creek Promenade Specific Plan (Specific Plan) is a comprehensive plan that will be comprised of commercial, light industrial, residential uses, combined with parks, functional open space areas, a multi-purpose trail system, and road improvements on approximately 58.5 acres of contiguous, undeveloped land. The Specific Plan site is located on the south side of Garbani Road, between Sherman Road to the west and Haun Road to the east, in the southeast quarter of Section 15, T6S R3W, San Bernardino Baseline and Meridian in Menifee, California.

This Specific Plan includes single- and multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner: Planning Area 1 – Rancho Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community (Trails), Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space. The Project plans envision creek-side trails and pedestrian pathways connecting the different development areas to each other.

- Planning Area 1 - The Rancho Bonito Multi-Family Townhome Community: 194 units on approximately 13.82-acres [14.0 dwelling units/acre (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, three playground areas, a basketball court, a volleyball court, community garden, walking trails, and multiple open space areas.
- Planning Area 2 - The Mill Creek Promenade Single-Family Community: 204 units on approximately 20.51-acres [9.9 dwelling units/acres (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, tot lots, picnic areas with gazebos, basin with trail and benches, and a creek-side trail.
- Planning Area 3 - The Mill Creek Promenade Shopping Center: 87,485 square feet (SF) of net retail buildings, 22,154 SF of available office space, and a 7,606 SF restaurant on approximately 14.85 acres.
- Planning Area 4 – Business Park: a 33,171 SF net of single story industrial center on a 2.79-acre site.
- Planning Area 5 – Open Space: a 1.69-acre open space conservation area.

B. Purpose of the Specific Plan

This Specific Plan is a comprehensive document that will guide the future development of the proposed community. The document sets forth a comprehensive set of plans, development standards, design guidelines, and implementation programs that have been designed to produce a project that is consistent with the goals, objectives, and policies of the General Plan and the Economic Development Corridor (EDC). According to Section 9.28.060 of the City's Municipal Code, which is under the "EDC" heading, project complexities or other nuances may require the development of a specific plan for the proposed land use or development.

While the Specific Plan is generally consistent with the EDC Municipal Code requirements, some site/Project specific modifications to the EDC setback requirements are needed for

Project implementation. These are contained in Section IV, *Development Standards*, of this Specific Plan.

This Specific Plan establishes standards and guidelines for the master-planning of the community. A specific plan is defined by government code as a tool for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. To an extent, the range of issues that is contained in a specific plan is left to the discretion of the decision-making body. However, all specific plans, whether prepared by a general law city or county, must comply with §65450 - 65457 of the Government Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent subdivision and parcel maps, all development, all public works projects, and zoning ordinances within an area covered by a specific plan must be consistent with the specific plan.

C. Authority and Scope

This Specific Plan is established through the authority granted to the City of Menifee by the California Government Code, Title 7, Division 1, Chapter 3, Sections 65450 through 65457 which sets forth the minimum requirements and review procedures for specific plans as follows:

“A specific plan shall include a text and diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area and needed to support the land uses described in the plan.
- Standards and criteria by which improvements will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures to implement all of the above.
- The relationship of the specific plan to the general plan.

The specific plan may address other subjects that, in the judgment of the planning agency, are necessary or desirable for implementation of the general plan.”

State law permits a specific plan to be prepared, adopted, or amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance, and may be amended as often as is deemed necessary by the legislative body and must be consistent with a city's general plan. A Planning Commission hearing and City Council hearing are required, and specific plans must be adopted by the City Council.

It is the intent of the City to adopt this Specific Plan by ordinance as a regulatory zoning

document.

This Specific Plan has been prepared to provide the essential link to the policies of the City of Menifee General Plan and the EDC. By functioning as a regulatory document, the Specific Plan provides a means of implementing and detailing the City's General Plan and the EDC. In this regard, all future development plans or other similar entitlements shall be consistent with regulations set forth in this document and applicable City regulations. The Specific Plan is designed to address site-specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as circulation and provisions for utilities. The Specific Plan also ensures that development shall meet standards for environmental safety and infrastructure, while balancing aesthetic quality and community identity.

D. Specific Plan Organization

This Specific Plan has been prepared in a collaborative effort by a multi-disciplinary design team, and is organized as follows:

Chapter I: Introduction. Establishes the purpose, intent, authority and scope of the Specific Plan.

Chapter II: Planning Context and Existing Conditions. Provides planning context and existing site conditions.

Chapter III: Community Development Plan. Establishes the vision for the Specific Plan, implementing strategies and general and residential development standards applicable to the proposed land uses. It begins with the land use plan and subsequently describes major development components (i.e. circulation plan, drainage plan, water and sewer plans, grading plan, and phasing plan).

Chapter IV: Development Standards. Establishes the general and residential development standards that apply specifically to individual planning areas, which include setbacks, height limitations, permitted, conditionally permitted, and prohibited uses, as well as parking standards.

Chapter V: Design Guidelines. Establishes landscape design and architectural design guidelines for the community.

Chapter VI: Administration, Implementation, and Maintenance. Describes administration procedures for implementation of the Mill Creek Promenade Specific Plan including financing mechanisms and maintenance procedures.

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II. PLANNING CONTEXT AND EXISTING CONDITIONS

A. Planning Context

The City of Menifee (City) is centrally located in southwestern Riverside County approximately 30 miles southeast of the City of Riverside. The City encompasses approximately 46.6 square miles with an overall population of 88,531 persons (as of the 2016 Census). As shown in Figure II-1, *Regional Location Map*, the City is bordered to the north by the City of Perris, to the south by the City of Murrieta, to the west by the Cities of Canyon Lake and Lake Elsinore and to the east by unincorporated County territory.

The City of Menifee offers a variety of distinctive living environments defined by topography, history, and rural-suburban settings. Early development of the City of Menifee began with Sun City in the early 1960's as a master planned retirement community that was envisioned by Del Webb. The Menifee area began to grow further in 1989 with the development of the master planned community of Menifee Lakes, and continues to be one of the fastest growing communities in California. Quail Valley is a semi-rural residential community in the northwestern portion of the City, and Romoland is a residential and commercial community located in the northeastern section of the City. Bell Mountain and other areas south of Garbani Road offer residents a more rural setting. And the Paloma Valley encompasses master-planned communities in Menifee.

Until 2009, Menifee was a census-designated place (CDP) within the County of Riverside. On June 3, 2008, the residents of the communities encompassing the City of Menifee voted to incorporate Menifee into Riverside County's twenty-sixth city. The City of Menifee was officially established on October 1, 2008.

B. Project Location

As illustrated in Figure II-2, *Project Location Map*, Mill Creek Promenade is located in the southwest portion of the City approximately ½-mile northwest of Scott Road and Interstate 215 (I-215), which provides local and regional access to the Project area. The site is located south of Garbani Road, north of Wickerd Road, east of Sherman Road and west of Haun Road.

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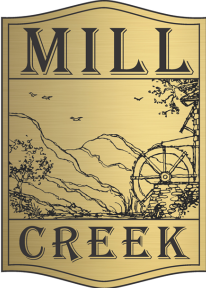
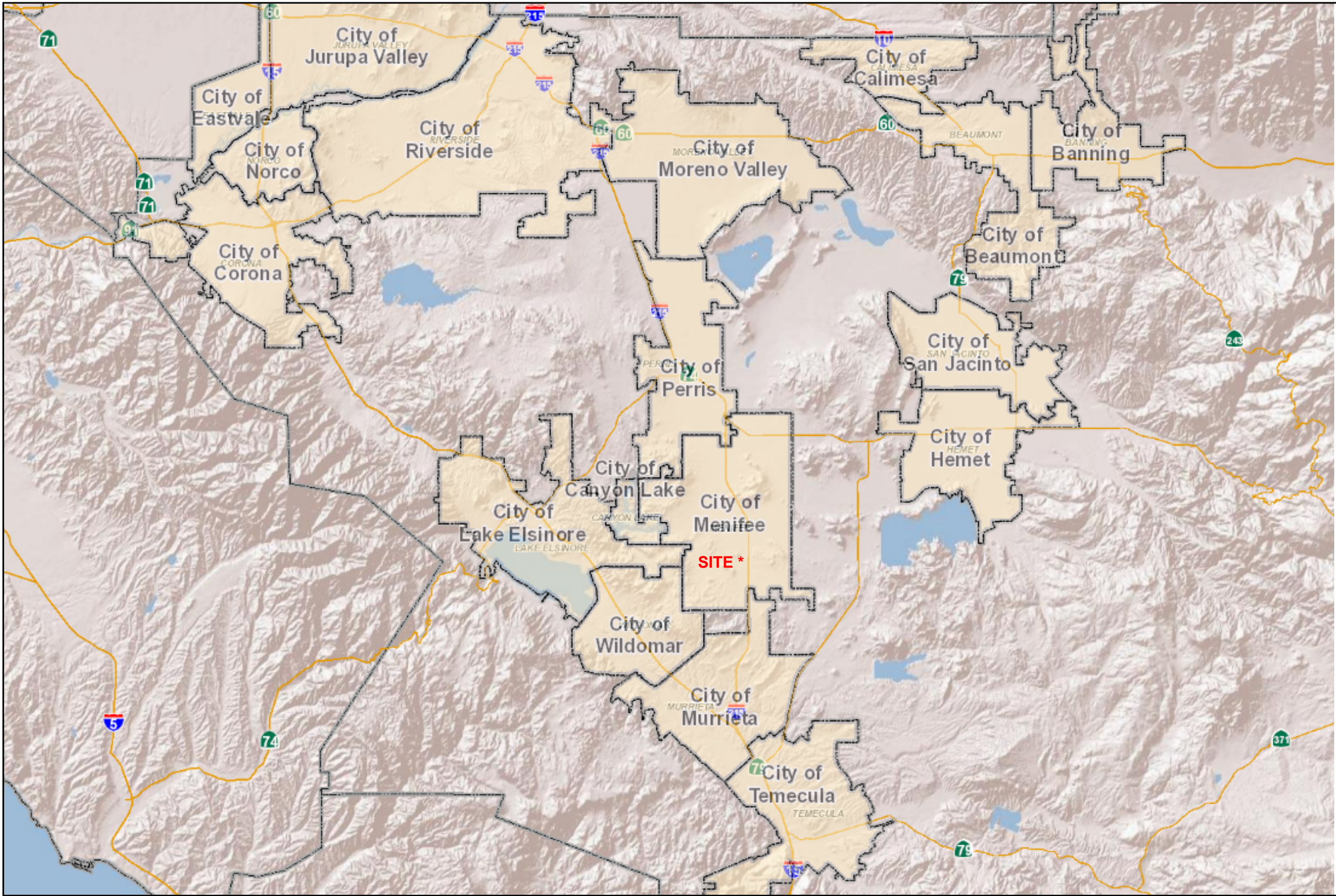
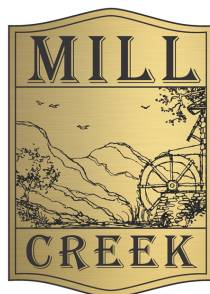


FIGURE II-1
REGIONAL LOCATION MAP



**FIGURE II-2
PROJECT LOCATION MAP**



C. Existing Setting/Surrounding Land Uses

The following is an overview of the environmental setting of the Specific Plan site. The Specific Plan site is located on a rectangular-shaped set of parcels that are currently fallow agricultural land. The site is situated in an area of mixed open space and single-family residential uses of varying density with scattered commercial development. Some of the property in the immediate project area is planted for dry farming while other areas are not actively farmed and have a cover of non-native weeds/plants. Surrounding land uses include the following:

- North: Immediately by Garbani Road and single-family residential properties.
- East: Immediately by Haun Road, vacant property, and a storage facility.
- South: Immediately by vacant property and a Verizon Facility
- West: Immediately by Sherman Road, vacant property, and one residence.

Please reference Figure II-3, *Surrounding Land Uses*.

Elevations on the Specific Plan site range from approximately from 1,470 feet to 1,500 feet above mean sea level. The terrain is relatively level, with a gradual incline towards a large hill located approximately 450 feet to the west of the site. Drainage within the property generally flows to the north. Under present circumstances the site is undeveloped and the on-site soils have historically been used to support dry farming activities. Most vegetation has been removed from the site by past activities; there is a light regrowth of Russian thistle and buckwheat. The site soil contains a substantial amount of small to large rocks, with the highest concentrations of rocks located in the northeast corner of the property. A small drainage **course** crosses through the southern portion of the site and continues along the eastern edge of the property before exiting to the east across Haun Road.

D. Existing General Plan Land Uses and Zoning

On December 20, 2013, the City of Menifee City Council approved the City's General Plan and supporting Environmental Impact Report (EIR). Adoption of the General Plan freed the City from operating under the Riverside County Integrated Project, which was the General Plan in place before the City incorporated in 2008.

The General Plan land use of the site is Economic Development Corridor (EDC) as shown in Figure II-4, *Existing and Proposed General Plan Land Use*. As discussed in greater detail in Chapter III.A, *Land Use Plan*, Appendix B, *General Plan Policies/Consistency Analysis*, and Appendix C, *EDC Policies/Consistency Analysis*, the proposed Land Use Plan for the Specific Plan is consistent with the underlying General Plan land use designation.

According to the General Plan:

“Freeways are prominent public spaces that exert significant and lasting impacts on the neighborhoods, cities, and regions they traverse. Interstate 215 bisects the City of Menifee and is a primary transportation corridor for city residents and businesses. The city has identified the properties next to I-215 as Economic Development Corridors that provide important opportunities to stimulate new economic development opportunities and provide a positive visual image of Menifee. These areas are a "window" into the community and can reflect the economic success and vitality of the city. The properties

were identified as areas that could accommodate new growth desired by the city, which would also help to ensure that the rural and residential nature of Menifee's existing neighborhoods can be preserved.

Because the EDC designation spans approximately 2,600 acres distributed throughout the city, it is important that each area develop a distinct identity from the others. To prevent nondescript, disjointed development of EDC areas, additional guidance has been provided in the Land Use Background Document and Definitions and Exhibit LU-b2a, Economic Development Corridor Subareas, to illustrate the preferred mix of uses envisioned for each area.”

The General Plan identifies a citywide preferred land use mix for all property designated as EDC, but it also identifies a preferred mix of uses for each of the City's five EDC subareas.¹ The Specific Plan site is located in area identified as the “Southern Gateway” which consists of 832 acres of EDC land. The General Plan envisions the Specific Plan area as commercial, residential, and office uses as a transitional area to the Town Center located to the north, where civic and entertainment, commercial retail uses, and higher density housing options that encourage walkability and reduce the use of the automobile will be promoted. The City Code of Ordinances envisions the west side of the EDC Southern Gateway, within which the Specific Plan site is located, with light industrial, office uses compatible with the medical uses located to the south in the City of Murrieta and/or rural-oriented venues that serve the historic development pattern of the area.²

The City has adopted the Riverside County Zoning Map until the City updates the zoning to reflect the recently adopted General Plan. The existing zoning of the site is Economic Development Corridor – Southern Gateway (EDC-SG). As shown in Figure II-5, *Existing and Proposed Zoning Designations*.

E. Existing Roadways and Project Access

Garbani Road is the northern boundary of the Specific Plan and will provide access to Planning Area 1 (PA1) and Planning Area 3 (PA3). Sherman Road runs along the western boundary of the Specific Plan, and will provide access to Planning Area 2 (PA2). PA2 can also be accessed via on-site circulation through PA3. Haun Road is located to the east of the site and will provide the access to PA3 and Planning Area 4 (PA4). The vehicular and non-vehicular circulation for the Project is discussed in greater detail in Chapter III.B, *Circulation Plan*. The aforementioned roadways are shown on Figure III-10, *Vehicular Circulation Plan* and on Figure III-11, *Roadway Cross Sections*. Non-vehicular circulation is depicted on Figure III-13, *Non-Vehicular Circulation Plan*.

¹ <https://www.cityofmenifee.us/DocumentCenter/View/3648>

² [http://library.amlegal.com/nxt/gateway.dll/California/menifee_ca/cityofmenifeecaliforniacodeofordinances?f=templates\\$fn=default.htm\\$3.0\\$vid=amlegal:menifee_ca](http://library.amlegal.com/nxt/gateway.dll/California/menifee_ca/cityofmenifeecaliforniacodeofordinances?f=templates$fn=default.htm$3.0$vid=amlegal:menifee_ca)



**FIGURE II-3
SURROUNDING LAND USES**

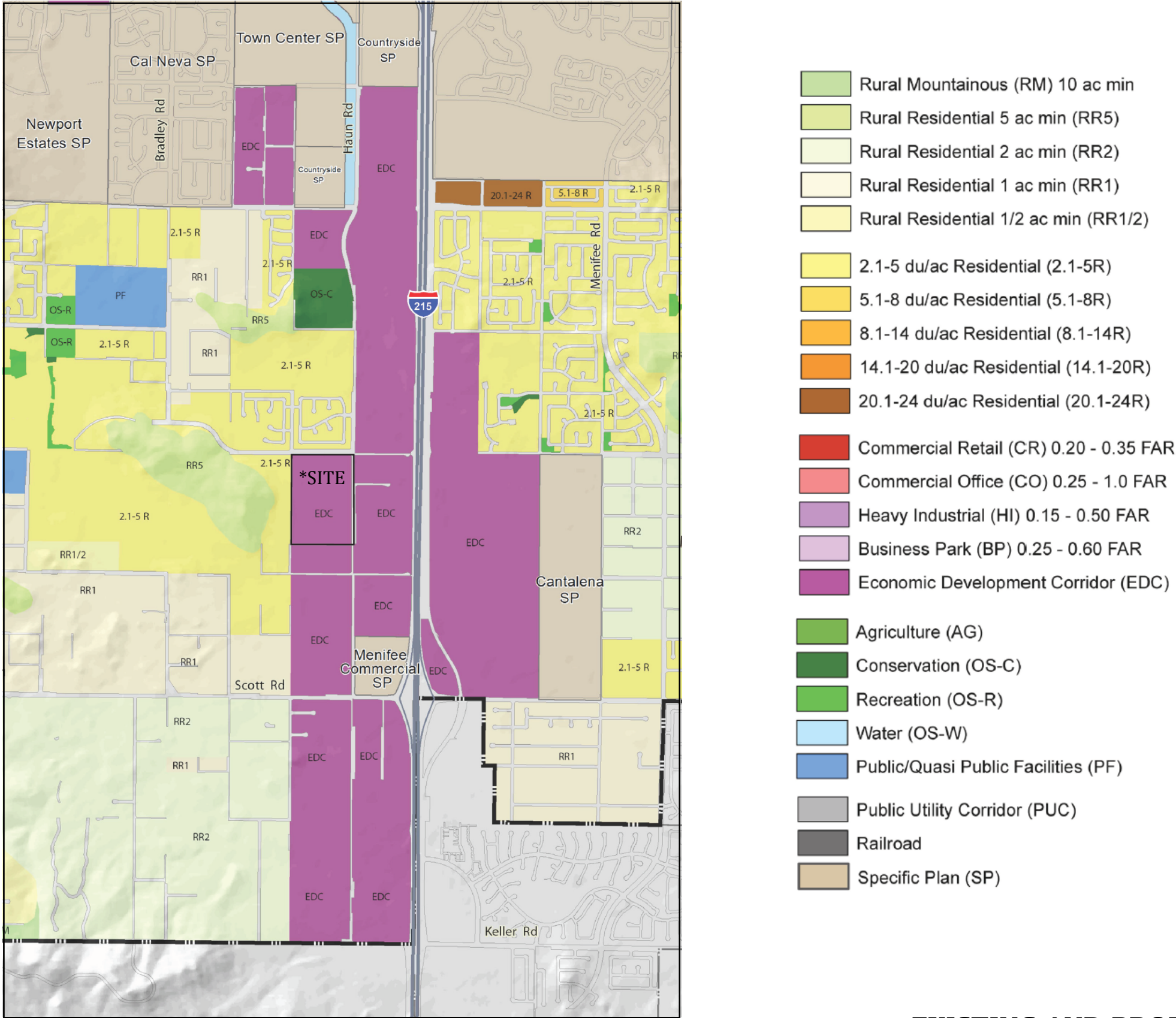
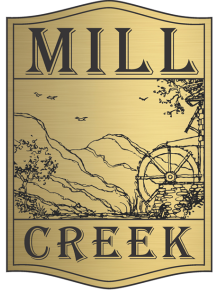
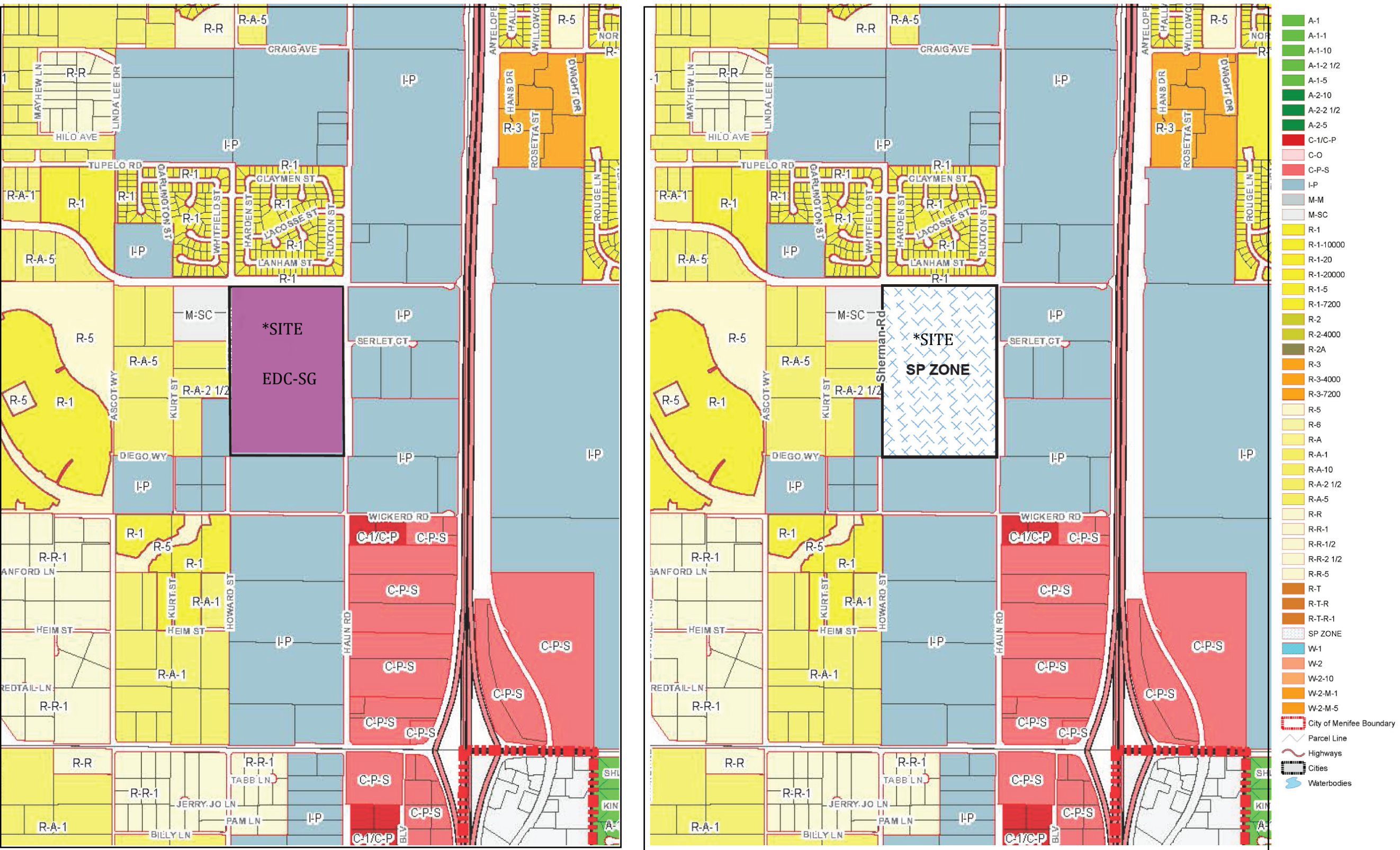


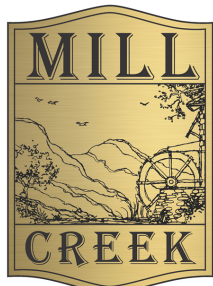
FIGURE II-4
EXISTING AND PROPOSED GENERAL
PLAN LAND USE DESIGNATIONS





The existing zoning of the site is Economic Development Corridor – Southern Gateway (EDC-SG).
The proposed Zoning is Specific Plan (SP).

FIGURE II-5
EXISTING AND PROPOSED
ZONING DESIGNATIONS



III. COMMUNITY DEVELOPMENT PLAN

1. Project Wide Planning Standards

This Chapter presents the state mandated and optional plans and standards that will govern the major aspects of the future development of the Mill Creek Promenade Specific Plan (Specific Plan). This Chapter introduces the land use plan, and subsequently describes major development components (i.e. circulation, water, sewer, drainage grading, and project phasing). Planning standards that apply specifically to individual planning areas will be discussed in Chapter IV, *Development Standards*. Chapter V, *Design Guidelines*, discusses architectural and landscape design guidelines that will govern the design character of the community.

2. Planning Approach

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market conditions, economic viability, consistency with the General Plan, Economic Development Corridor (EDC), and local community concerns were all considered during the planning process. In addition, creative approaches in the utilization of land to accomplish a more efficient, aesthetic and desirable development were also considered. As a result of that process, specific goals and objectives for the Specific Plan were established.

The ultimate project that will be developed consists of single-family and multi-family residential units with on-site infrastructure to support these residences; recreational areas to meet project specific needs; commercial retail, office, restaurant, and industrial development, and off-site infrastructure to support the Specific Plan.

Economic Development Corridors (EDCs) are land areas that, because of their location, current evolution of land uses, and ease of access, provide the most favorable environment for the aggregation of similar economic drivers (i.e., commercial, general business, industrial, and retail venues). The EDC designation gives the area special emphasis, while serving to optimize the services these venues provide to the general public.

The Specific Plan is located in the EDC Southern Gateway (EDC-SG). According to Section 9.28.030(E) of the City's Municipal Code:

“This district serves as a buffer and transition between the land uses south and east of the district and the residential uses located within and outside Menifee to the south, west and east of the district. The EDC area east of the I-215, north of Scott Road to Craig Avenue, is envisioned to be a mix of commercial uses near the Scott Road/I-215 interchange transitioning to office and minimal residential extending north toward Craig Avenue. The EDC area on the west side of I-215 extends north from Keller Road to Garbani Road. The EDC-SG west side will feature a business park style of development consisting of light industrial and office uses, with commercial use opportunities. Small independent commercial and service venues, which may be rural-oriented, will be included in the EDC-SG area where found appropriate on a case-by-case review of the Director that will both allow development while preserving the rural character of the Southern Gateway area. The EDC-SG area should include the potential for economic driver themes that shall include a mix of industrial and professional business park uses which would complement and be compatible with the

Medical uses to the south in Murrieta. The City encourages the development of an auto mall in that portion of the Southern Gateway district, between the I-215 Freeway and Haun Road, north of Scott Road (see § 9.28.040 "Design Flexibility" for creative opportunities in the design of any proposed mall)."

The vision for Specific Plan will be achieved through application of the following EDC Goals and Policies:

- **Goal LU-2:** Thriving Economic Development Corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.
- **Policy LU-2.1:** Promote infill development that complements existing neighborhoods and surrounding areas. Infill development and future growth in Menifee is strongly encouraged to locate within EDC areas to preserve the rural character of rural, estate, and small estate residential uses.
- **Policy LU-2.2:** Encourage vertical and horizontal integration of uses where feasible on properties in EDCs.
- **Policy LU-2.3:** Identify opportunities to link the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center, to complementary uses in EDCs.
- **Policy LU-2.4:** Actively support development of cultural, education, and entertainment facilities in EDCs and utilize these venues to generate a unique identity for the city in Southwest Riverside County.

This represents a general discussion/overview of the General Plan and EDC goals and policies. A more comprehensive discussion of Specific Plan consistency with the City's General Plan and the EDC goals and policies are contained within Appendices "B" and "C," respectively.

The vision for Specific Plan will also be achieved through application of the following objectives:

- **Quality of Life:** The Specific Plan has been designed with an array of recreational amenities such as active/passive parks and pedestrian friendly trails to ensure a high quality of life for residents and visitors.
- **Balance:** The Specific Plan has been designed to provide a balanced mix of residential product types at appropriate densities, with active and passive recreational opportunities that will complement the surrounding neighborhoods and create a viable community, as well as ample commercial and industrial uses for shopping and working opportunities.
- **Community Design:** The Specific Plan will establish a strong community identity through the integration of design and architectural standards in the Specific Plan that will contain a rich pattern of landscaping, streetscape, signage, and architecture to create attractive, walkable, and distinctive neighborhoods with a strong sense of place.
- **Recreation:** The Specific Plan will provide areas for active and passive recreation that will be accessible by an integrated trail and sidewalk system both on-site and connected to off-site recreational resources.
- **Housing Opportunities:** The Specific Plan will provide a mix of housing types that can accommodate a broad range of the market spectrum, including first-time homebuyers, move-up buyers, growing families, young professionals, and active adults.

The Specific Plan has been tailored to the needs of the Project; however, consistent with the Municipal Code, the Specific Plan does include minor deviations from strict adherence to the

Municipal Code. According to Section 9.28.040(A) of the Municipal Code:

“A primary goal of the Economic Development Corridor districts is to achieve high quality development within the major corridors and significant areas of the community. To assure this high quality while promoting development within the EDC districts, flexibility in both development standards and allowed land uses shall be allowed. The Director may allow minor deviations to the development standards of this Chapter and allow land uses not listed within Table 9.28-A "Conditional and Permitted Uses" that are similar to list permitted uses.”

A. Land Use Plan

1. Introduction

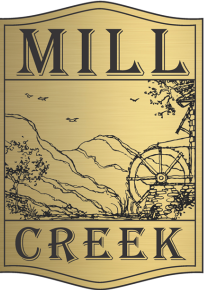
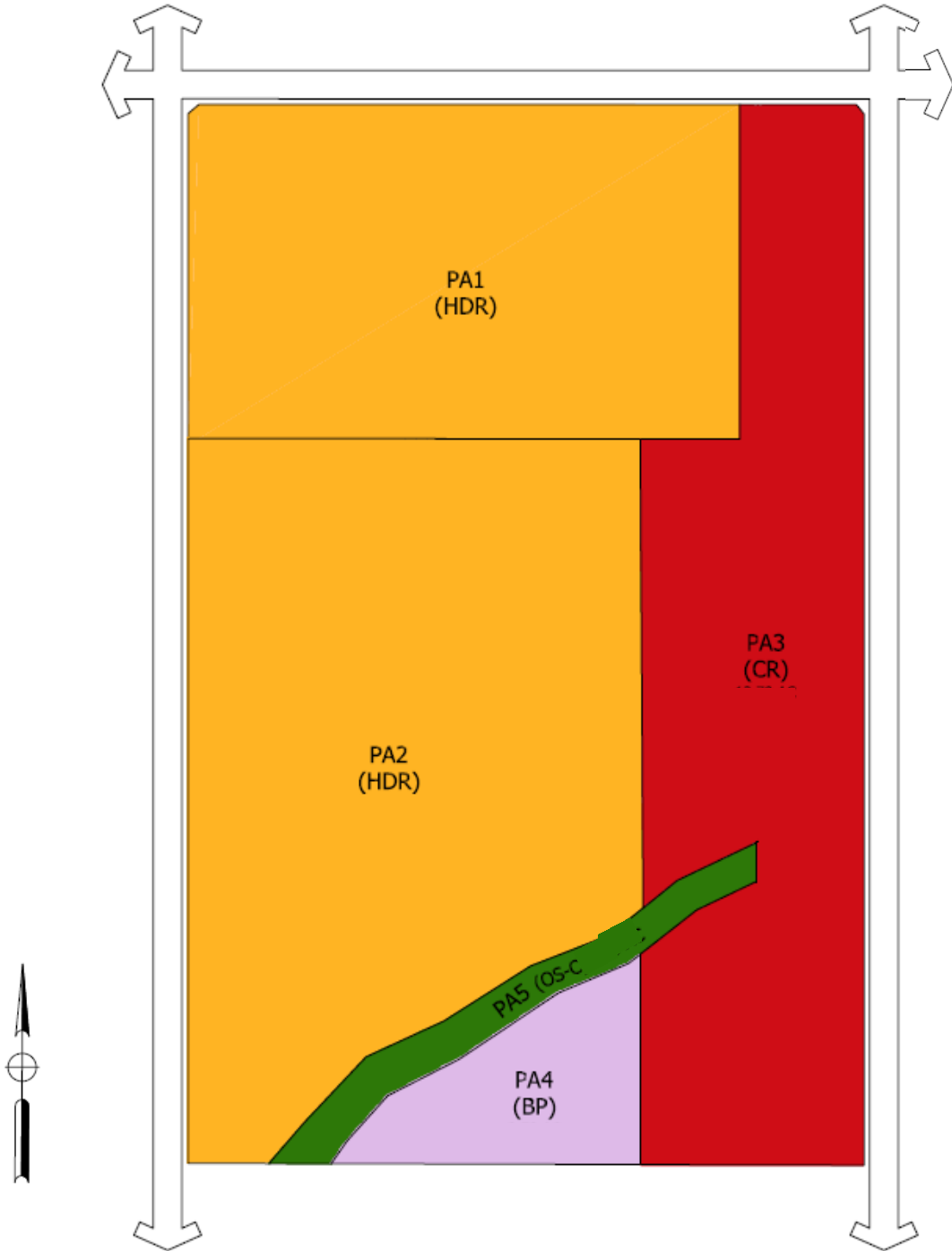
The design for the Specific Plan as a walkable community is physically realized in its land use plan which incorporates a mixture of land uses situated in proximity to one another. Within the community, residents, visitors, and workers will be able to utilize an integrated system of pedestrian paths, sidewalks, and bike lanes to access recreational amenities. Meandering sidewalks and paths throughout the community will connect to each other within the Project and are designed to connect to the City at large.

This Specific Plan includes multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner: Planning Area 1 – Rancho Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community (Trails), Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space Conservation. The Project plans envision creek-side paths and pedestrian sidewalks connecting the different development areas to each other.

- Planning Area 1 - The Rancho Bonito Multi-Family Townhome Community: 194 units on approximately 13.82-acres [14.0 dwelling units/acre (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, three playground areas, a basketball court, a volleyball court, community garden, walking trails, and multiple open space areas.
- Planning Area 2 - The Mill Creek Promenade Single-Family Community: 204 units on approximately 20.51-acres [9.9 dwelling units/acres (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, tot lots, picnic areas with gazebos, basin with trail and benches, and a creek-side trail.
- Planning Area 3 - The Mill Creek Promenade Shopping Center: 87,485 square feet (SF) of net retail buildings, 22,154 SF of available office space, and a 7,606 SF restaurant on approximately 14.85 acres.
- Planning Area 4 – Business Park: a 33,171 SF net of single story industrial center on a 2.79-acre site.
- Planning Area 5 – Open Space: a 1.69-acre open space conservation area.

Please reference Figure III-1, *Land Use Plan*.

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Land Use	Acres (Net/Gross)	Percentage of Specific Plan Area ⁴	Target Density	Target Dwelling Units	Dwelling Units/Acre
High Density Residential – PA1 ¹	13.82/15.62	23.6%	8.1-14.0	194	14.0
High Density Residential – PA2 ²	20.51/21.63	35.1%	8.1-14.0	204	9.9
- Residential Subtotals	34.33/37.25	58.7%	---	398	---
Open Space – Recreation – PA1 <i>Recreation Areas, Parks, Paseos</i>	4.02	N/A	---	---	N/A
Open Space – Recreation – PA2 <i>Recreation Areas, Parks, Paseos</i>	2.42	N/A	---	---	N/A
Commercial Retail – PA3 <i>Commercial and Professional Office</i>	14.85/16.78	25.4%	---	---	N/A
Business Park – PA4 <i>Light Industrial and Business Park</i>	2.79/2.79	4.8%	---	---	N/A
Open Space – Conservation – PA5 <i>Open Space</i>	1.69/1.69	2.8%	---	---	N/A
Major Circulation <i>Garbani Road, Haun Road, Sherman Road</i>	4.85	8.3%	---	---	N/A
- Non-Residential Subtotals	24.18³	41.3%	---	---	N/A
Project Totals	58.51	100%		398	

1 Includes Open Space – Recreation PA1 4.02 acres.
2 Includes Open Space – Recreation PA2 2.42 acres.
3 Does not include Open Space – Recreation in PA1 and PA2.
4 Based on net acreage.

- LEGEND**
- PA1 - 13.82 AC (HDR)
 - PA2 - 20.51 AC (HDR)
 - PA3 - 14.85 AC (CR)
 - PA4 - 2.79 AC (BP)
 - PA5 - 1.69 AC (OS-C)

FIGURE III-1
LAND USE PLAN

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2. Proposed Land Uses

The Land Use Plan, as shown in Figure III-1, *Land Use Plan*, depicts the overall land use pattern within the Specific Plan. Table III-1, *Land Use Summary*, provides a summary of the proposed land uses for each of the individual planning areas.

**Table III-1
Land Use Summary**

Land Use	Acres (Net/Gross)	Percentage of Specific Plan Area ⁴	Target Density	Target Dwelling Units	Dwelling Units/Acre
High Density Residential – PA1 ¹	13.82/15.62	23.6%	8.1-14.0	194	14.0
High Density Residential – PA2 ²	20.51/21.63	35.1%	8.1-14.0	204	9.9
- Residential Subtotals	34.33/37.25	58.7%	---	398	---
Open Space – Recreation – PA1 <i>Recreation Areas, Parks, Paseos</i>	4.02	N/A	---	---	N/A
Open Space – Recreation – PA2 <i>Recreation Areas, Parks, Paseos</i>	2.42	N/A	---	---	N/A
Commercial Retail – PA3 <i>Commercial and Professional Office</i>	14.85/16.78	25.4%	---	---	N/A
Business Park – PA4 <i>Light Industrial and Business Park</i>	2.79/2.79	4.8%	---	---	N/A
Open Space – Conservation – PA5 <i>Open Space</i>	1.69/1.69	2.8%	---	---	N/A
Major Circulation <i>Garbani Road, Haun Road, Sherman Road</i>	4.85	8.3%	---	---	N/A
- Non-Residential Subtotals	24.18³	41.3%	---	---	N/A
Project Totals	58.51	100%		398	

¹ Includes Open Space – Recreation PA1 4.02 acres.

² Includes Open Space – Recreation PA2 2.42 acres.

³ Does not include Open Space – Recreation in PA1 and PA2.

⁴ Based on net acreage.

3. Residential Land Uses

Both PA1 and PA2 of the Specific Plan will allow for High Density Residential, HDR (8.1–14.0 du/ac) development. Residential planning areas account for 34.33 acres, or approximately 58.7 percent of the total land uses of the Specific Plan. These neighborhoods are discussed in greater detail in Chapter IV, *Development Standards*, of this Specific Plan.

Six (6) housing types are allowed in the Specific Plan:

- Multi-Family Attached Townhome;
- Multi-Family Attached Apartments;
- Multi-Family Attached Duplex/Triplex;
- Multi-Family Attached Courtyards;

- Single-Family Detached Traditional; and
- Single-Family Detached Motor Court.

To provide flexibility within the Specific Plan, and to create interest in the residential neighborhoods, three (3) architectural styles are provided. Architectural styles, which are applicable to all housing types, are further defined in Chapter V, *Design Guidelines*, of this Specific Plan.

4. Commercial Retail Land Uses

Planning Area 3 (PA3) is located in the northeastern portion of the Specific Plan, along Haun Road and Garbani Road. PA3 provides for the development of 14.85 acres designated as Commercial Retail, as an integral component of the land use plan. PA3 allows for commercial, retail, and office, and will serve as the focal point of the Specific Plan, while also providing jobs for community residents. It is anticipated that the first floor will accommodate the commercial and retail uses, while the office uses will be primarily located on the second floor.

5. Business Park Land Uses

Planning Areas 4 (PA4) will allow for business park uses on 2.79 acres. The business park planning uses will be tailored as part of the Specific Plan to insure consistency when adjacent to existing and proposed residential development.

6. Open Space and Recreational Land Uses

Planning Area 5 (PA5) is designated as Open Space Conservation (OS-C). This open space, which will be for conservation, does not include any potential private open space uses/acreage that will be located in the residential planning areas - PA's 1 and 2.

An important element of Mill Creek Promenade is the provision of recreation and open spaces to enhance the quality of living for residents of the community. As outlined in Table III-1, *Land Use Summary*, Mill Creek Promenade includes a network of community parks, pocket parks, Water natural open space areas, and water quality basins. Individual components of the open space system are discussed and graphically depicted on the following pages. Concept plans of the open space and recreation areas are provided to present initial designs that could be included in future design proposals. All of these open space and recreational uses will be connected via a comprehensive non-vehicular circulation plan. This is discussed in subsequent Chapters below.

Open Space Recreation

As shown in Figure III-2, *Open Space and Recreation Plan*, the Specific Plan will provide opportunities throughout the site for passive and active recreation. The placement of each recreational area was chosen in order to maximize its accessibility and ensure that all future residents will be within a comfortable walking distance to a recreational amenity.

PA1 provides three private recreational areas, (2.57 acres), along with numerous paseos (1.45 acres), for a total of 4.02 acres of recreational area and paseo uses (Refer to Figure III-2). As illustrated in Figure III-3, *PA1 High Density Residential Recreation Area 1*, anticipated

recreational components may include shade trees, walkways, picnic areas, turf areas, basketball court, sand volleyball court, picnic pavilion, benches and BBQ areas.

As shown in Figure III-4, *PA1 High Density Residential Recreation Area 2*, anticipated recreational components may include a clubhouse, pool, tot lot, shade trees, walkways, picnic areas, and turf areas.

As shown in Figure III-5, *PA1 High Density Residential Recreation Area 3*, anticipated recreational components may include tot lots (2), shade trees, walkways, picnic areas, turf areas, and a community garden.

PA2 provides one main private recreational area, (1.22 acres), along with a trail (adjacent to PA5) (0.44 acres), and a basin that provides a trail and benches (0.76), for a total of 2.42 acres of recreational area and trail uses (Refer to Figure III-2). As illustrated in Figure III-6, *PA2 High Density Residential Recreation Area*, anticipated recreational components shall include a pool, spa, clubhouse, shade trees, play areas, walkways, picnic areas with gazebos, and turf areas. A basketball half court and a volleyball court are also proposed.

Typical tot lots/play areas and passive recreational areas with gazebos are shown in Figure III-7, *Typical Tot Lot*, and Figure III-8, *Typical Gazebos*, respectively. The PA2 basin with trail and benches will provide recreational use for residents of both PA1 and PA2 to utilize. The basin is illustrated in Figure III-9, *PA2 Basin Concept*.

Careful thought and consideration have been given to the location of each park to ensure that all future residents can benefit from their use.



The Quimby Act permits local jurisdictions to require dedication of land, payment of fees, or both, to provide up to five acres of parkland per 1,000 residents in new developments. The City of Menifee General Plan utilizes a standard of five acres of parkland per 1,000 persons (City of Menifee General Plan, Open Space and Recreation Element, Policy 1.2). In addition, the City adopted Ordinance No. 2014-160 which amended the City's Municipal Code by adding Chapter 9.55 to require the dedication of land or the payment of fees in-lieu thereof for park and recreational purposes as a condition of approval for residential developments.

As shown below in Table III-2, *State Quimby Required Parkland and Proposed Parkland*, 4.55 acres of combined recreation/park space will be provided by the Specific Plan; however, it will not fulfill the State Quimby Act requirements. Using a population factor of 3.164 persons per

household, the Specific Plan would generate approximately 1,259 residents. Applying the State Quimby Act and General Plan requirements of 5 acres per 1,000 persons, the Specific Plan would be required to set aside approximately 6.3 acres of park area. The Project will be required to provide a payment in-lieu-of pursuant to City Municipal Code Section 9.55 to offset the 6.3 acres of required parkland. Private open space is not eligible for any Quimby credit.

**Table III-2
State Quimby Required Parkland and Proposed Parkland**

Total Number of Units	House Size	Population	Assessment Factor (Acre/Resident)	Required Quimby Acres	Total Parkland Proposed
398	3.164 ¹	1,259	5/1000	6.3	4.55 ²

¹ The population factor of 3.164 persons per household was provided by City staff. The calculation to determine the population is as follows: (398 dwelling units) x (3.164 persons per dwelling unit) = 1,259 persons generated.

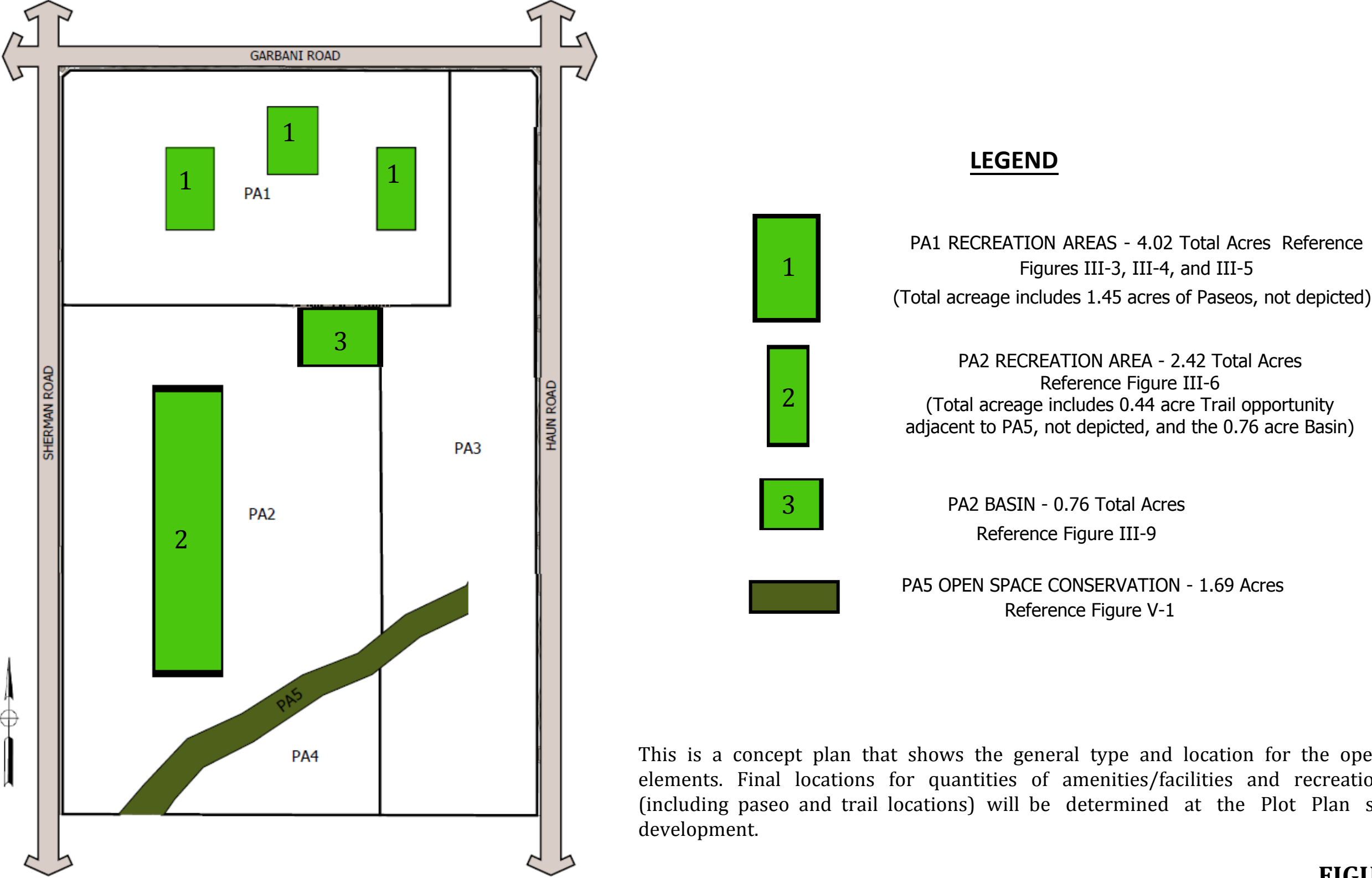
² Open space provided is "private open space".

Water Quality Basin

PA2 has a one (1) water quality basin totaling 0.76 acres. Water quality basins are an allowable land use in the residential land use category and are calculated on the Land Use Plan and in the land use tables above as having an underlying land use designation of High Density Residential (HDR). Therefore, the water quality basins are counted within the total acreage for the HDR land use category.

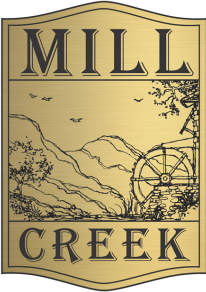
This basin serves as a detention basin during large storm events and facilitate drainage across the community. Additional basins may be required as individual implementing projects are forwarded for PA 1-4. Additional Basins, if needed, will be planted with bio-sensitive plant material and will blend in well with the surrounding landscape. Rock outcroppings may be added (if permitted by design); however, no trail or benches are required. Basins will be attractive from the streets and public views, yet they are not intended to function as an amenity – they are simply functional drainage elements. A conceptual basin layout for the known basin is depicted in Figure III-9, *PA2 Basin Concept*.

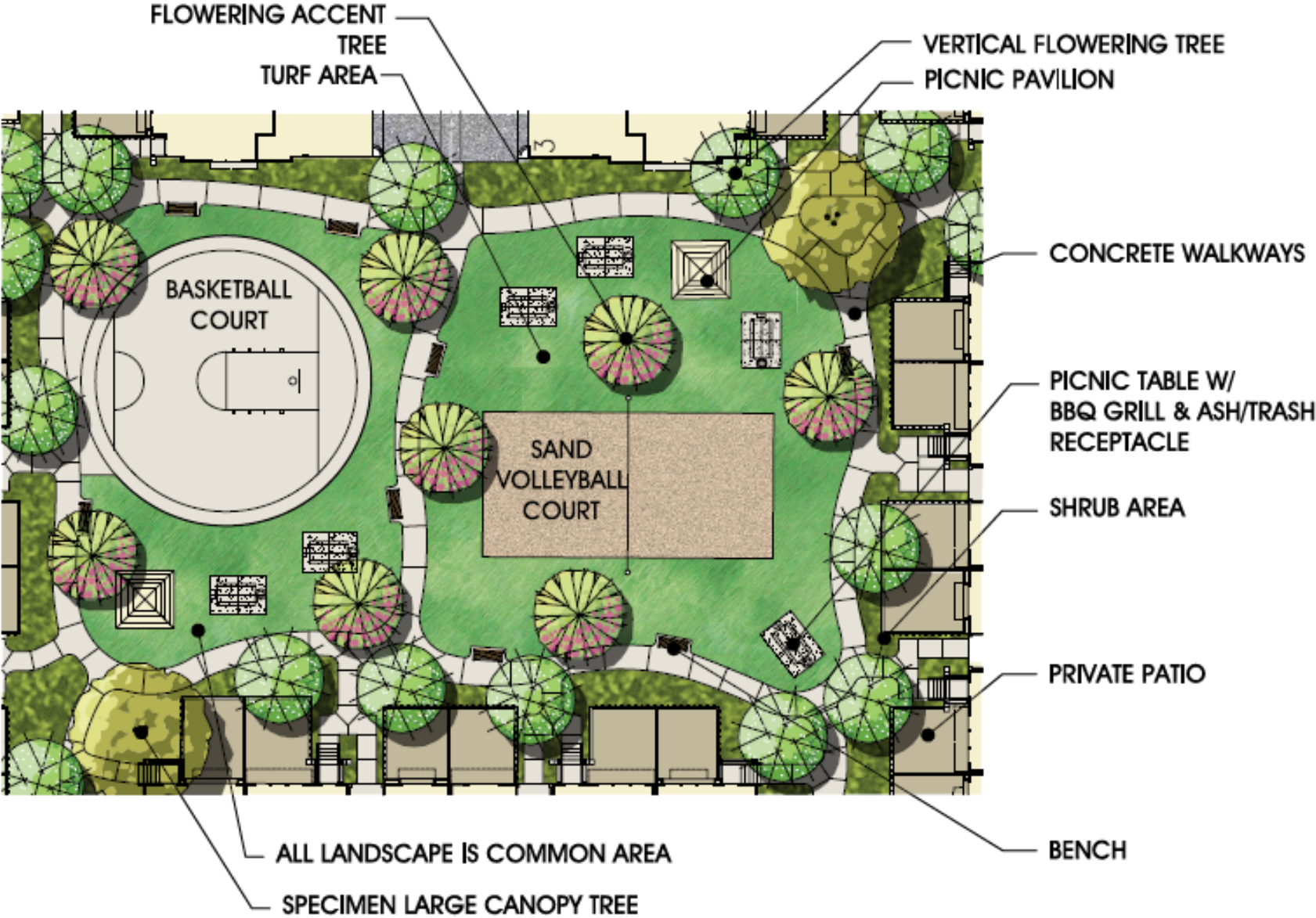




This is a concept plan that shows the general type and location for the open space elements. Final locations for quantities of amenities/facilities and recreation areas (including paseo and trail locations) will be determined at the Plot Plan stage of development.

FIGURE III-2
OPEN SPACE AND RECREATION PLAN





BASKETBALL COURT



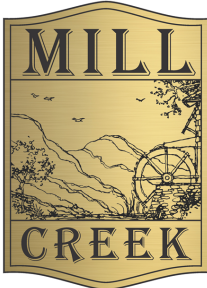
PICNIC TABLE



PICNIC PAVILION

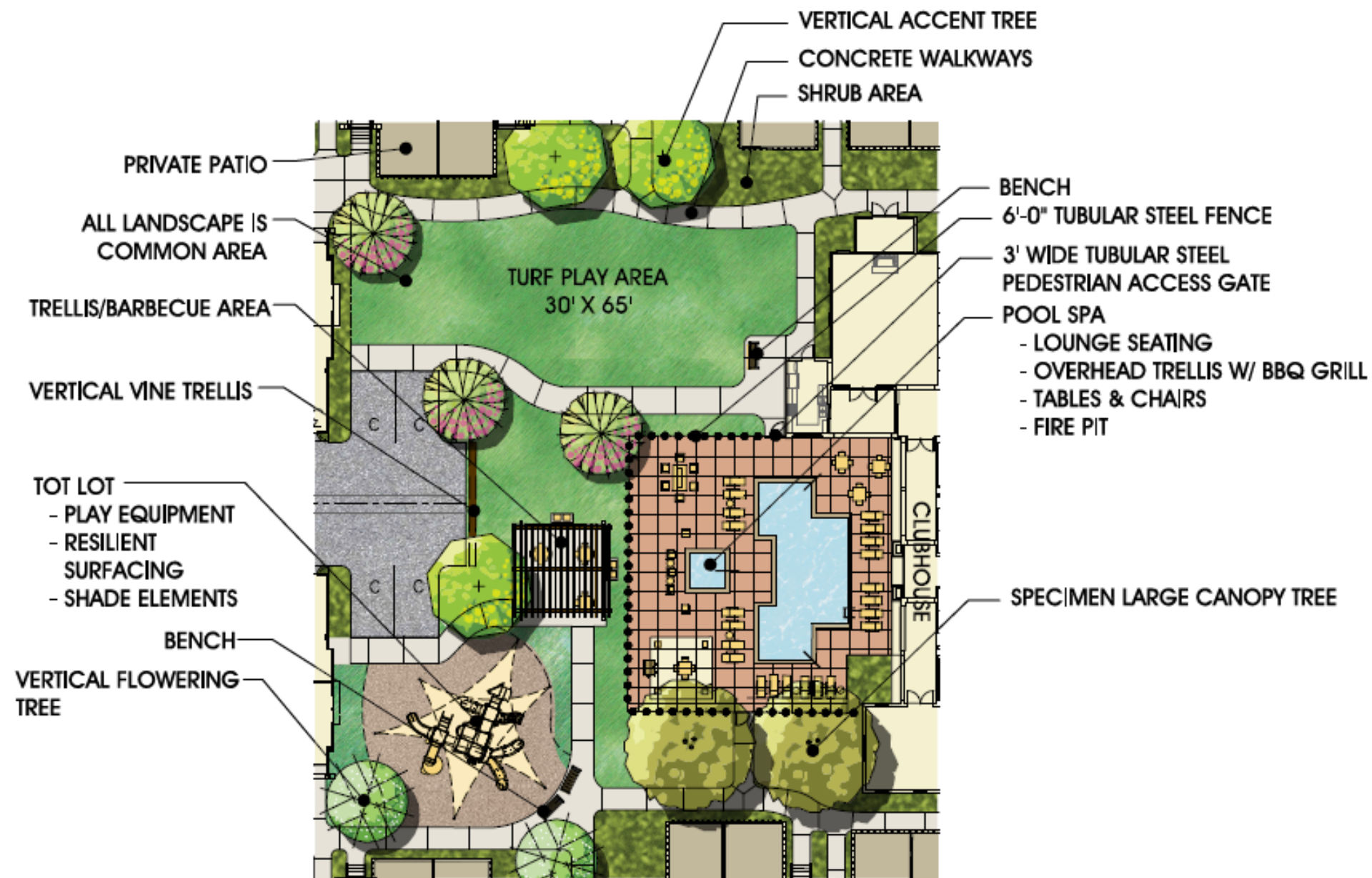


SAND VOLLEYBALL COURT



For landscaping refer to Figure V-2, *Plant Palette*.

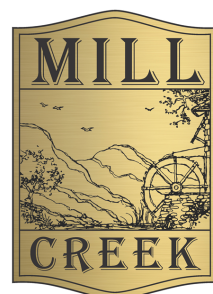
FIGURE III-3
PA1 HIGH DENSITY RESIDENTIAL
RECREATION AREA 1
Page III-12



TOT LOT EXAMPLE

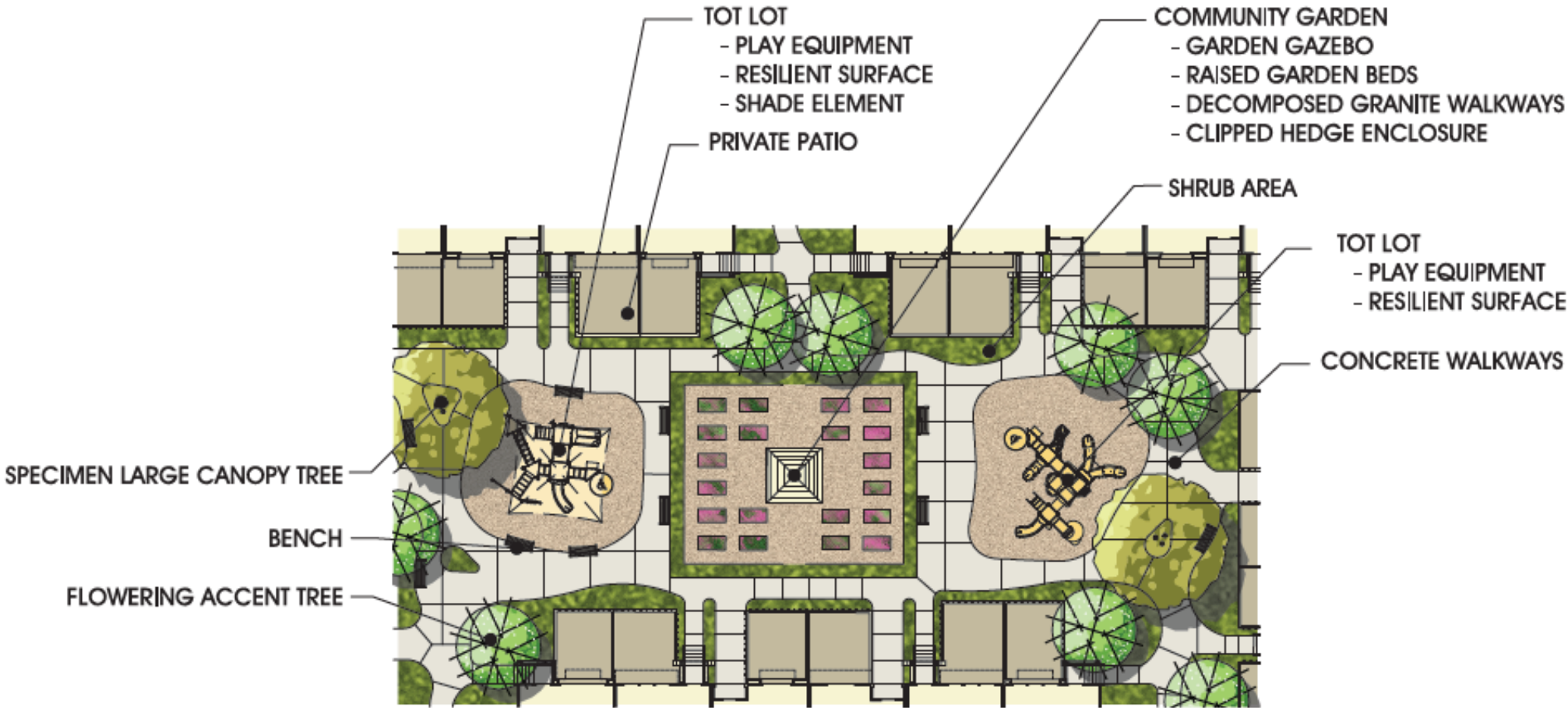


CLUBHOUSE EXAMPLE



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE III-4
PA1 HIGH DENSITY RESIDENTIAL
RECREATION AREA 2



COMMUNITY GARDEN



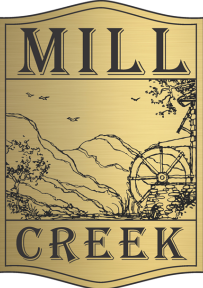
RAISED GARDEN BEDS



GARDEN GAZEBO

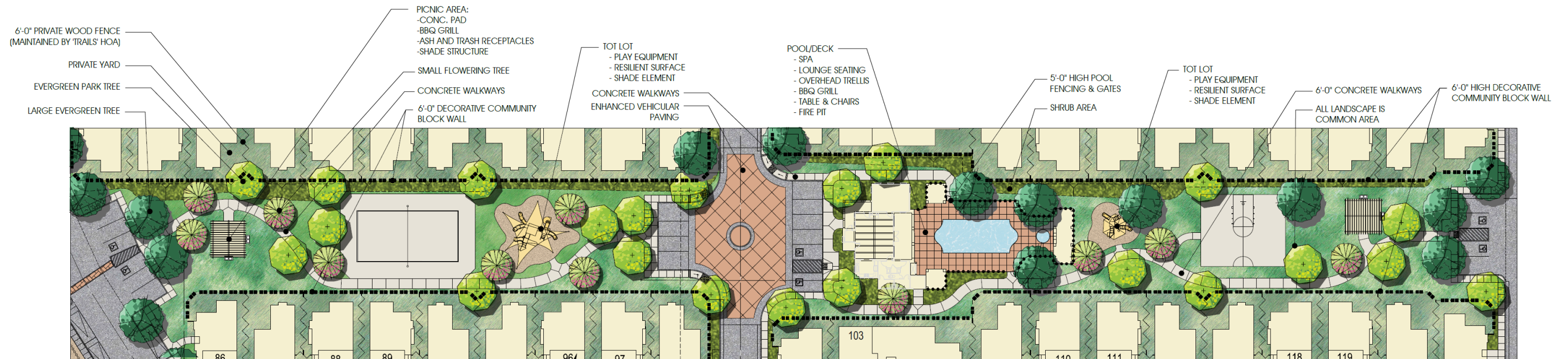


TOT LOT EXAMPLE

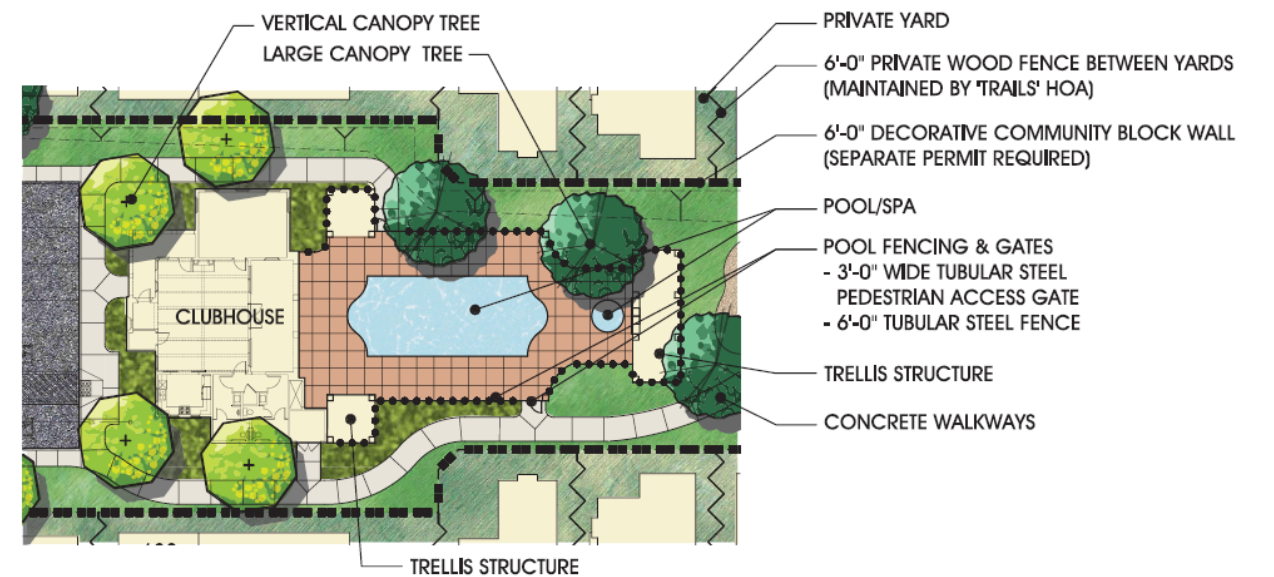


For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE III-5
PA1 HIGH DENSITY RESIDENTIAL
RECREATION AREA 3



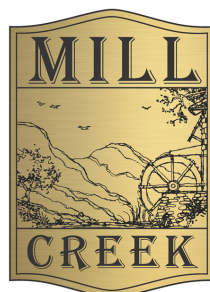
CLUBHOUSE EXAMPLE



BLOW-UP OF POOL AREA

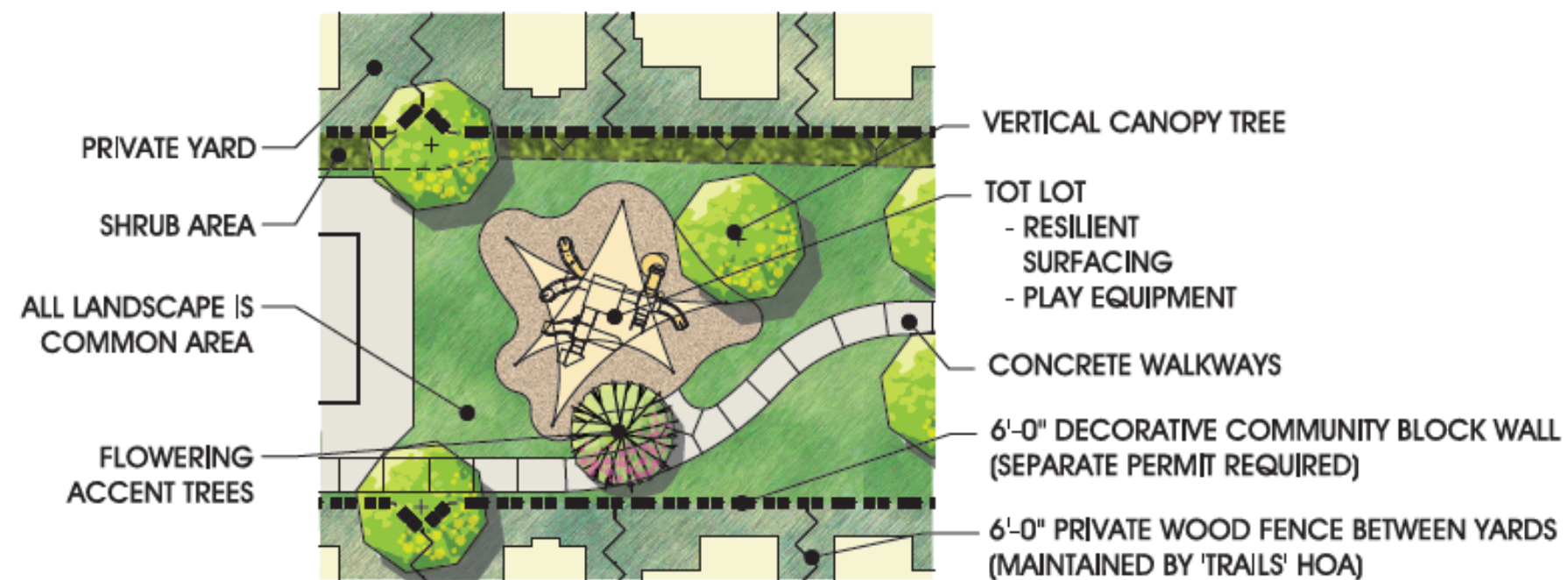


TOT LOT EXAMPLE

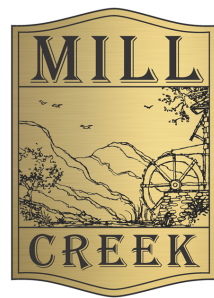


For landscaping refer to Figure V-2, *Plant Palette*.

**FIGURE III-6
PA2 HIGH DENSITY RESIDENTIAL
RECREATION AREA**

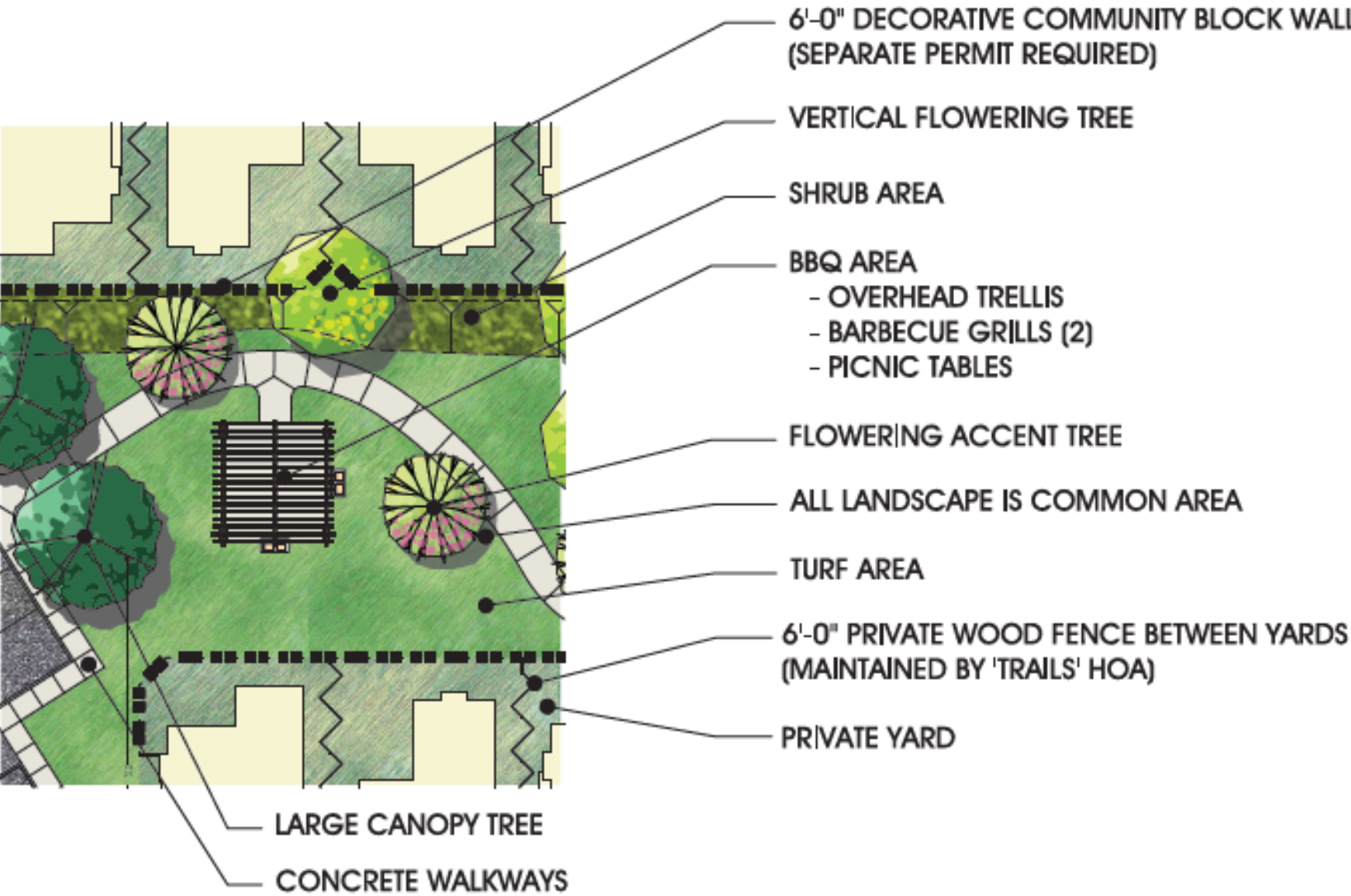


TOT LOT EQUIPMENT EXAMPLES



For landscaping refer to Figure V-2, *Plant Palette*.

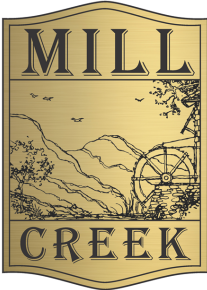
**FIGURE III-7
TYPICAL TOT LOTS**

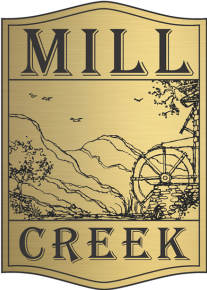
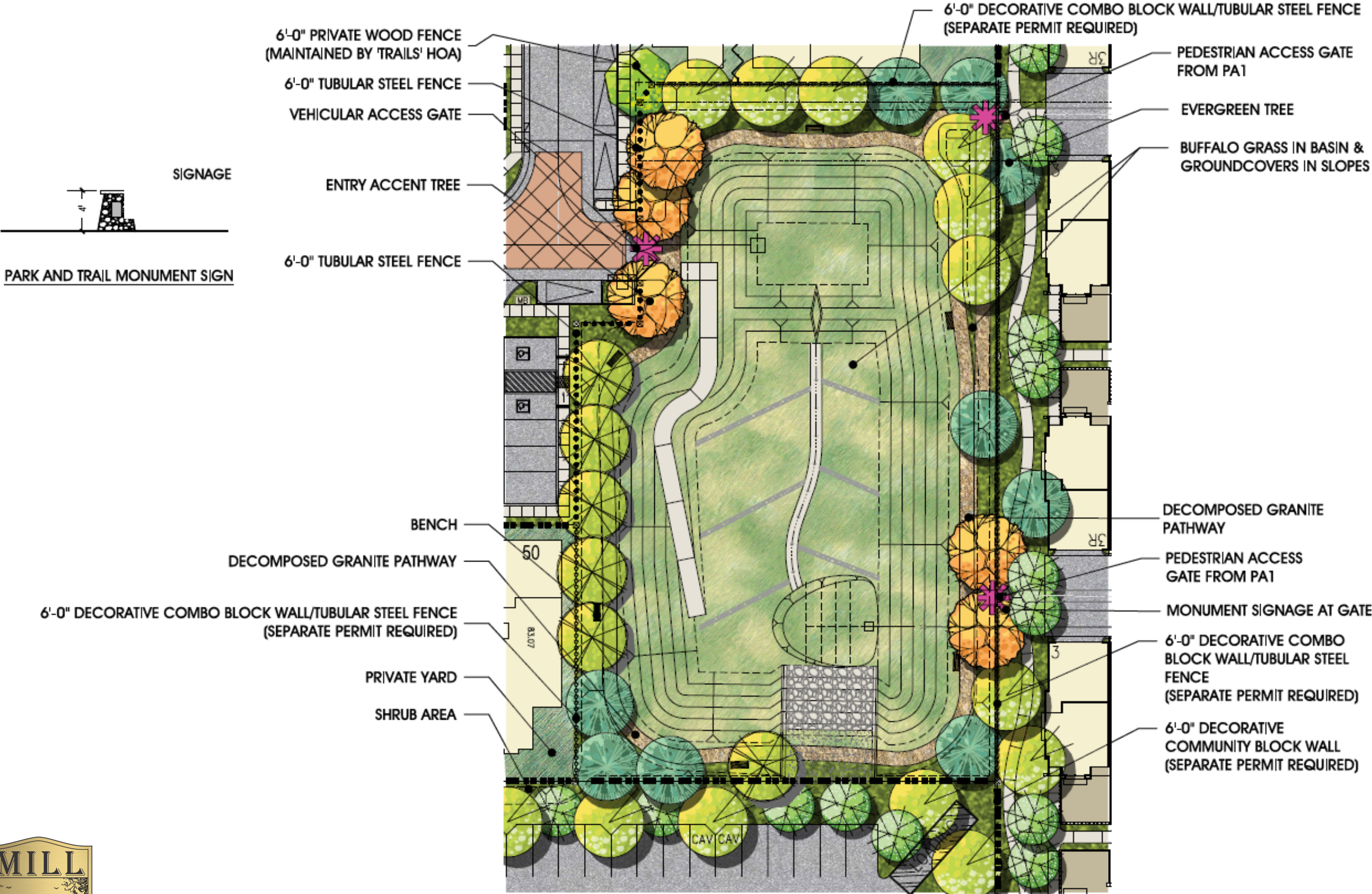


GAZEBO EXAMPLE

FIGURE III-8
TYPICAL GAZEBOs AND TRELLISED BBQ AREAS

For landscaping refer to Figure V-2, *Plant Palette*.





For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE III-9
PA2 BASIN CONCEPT

Open Space Conservation

As shown in Figure III-1, *Land Use Plan*, approximately 1.69 acres in PA5 are designed as natural open space which is designated as Open Space Conservation on the Land Use Plan. This area consists of an existing drainage feature on the site, which will be avoided by the Project to the greatest extent feasible. For the purposes of this Specific Plan, PA5 is not counted towards developable area.

7. Development Standards

In order to ensure the orderly development of the residential and recreational uses proposed for the Specific Plan, zoning standards have been created for each planning area. These area-specific standards are discussed in detail in Chapter IV, *Development Standards*. In addition to these specific descriptions, project-wide development standards have also been prepared which complement the unique conditions within each planning area. These general standards are:

- a. The total Specific Plan shall be developed on approximately 58.5 acres, as illustrated on Figure III-1, *Land Use Plan*. General uses permitted will include residential with up to 398 dwelling units, commercial, office, business park, parks, recreation, open space, and circulation as delineated on the Land Use Plan, and in Chapter IV, *Development Standards*.
- b. Each residential planning area contains a target number of dwelling units based on adjusted gross density. During the site plan and tentative tract map stage of the development process, the final number of dwelling units for a particular planning area may differ from those identified in the Specific Plan, so long as the density falls within the range specified by the land use designation. Furthermore, the actual number of units may be less than, but shall not be more than, the noted number of dwelling units for each Planning Area as illustrated on Figure III-1, *Land Use Plan*.
- c. Common areas identified in residential planning areas of the Specific Plan shall be owned and maintained as follows:
 - i. A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. Depending on specific development criteria of these facilities, the organization may be public or private. A merger with an area-wide or regional organization will satisfy this standard provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations may be established for each residential development, as needed, and such associations may assume ownership and maintenance responsibilities for neighborhood common areas.
 - ii. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - iii. The maintenance organization shall be determined prior to recordation of any final subdivision map.

B. Circulation Plan

1. Introduction

The Circulation Plan for the Specific Plan reinforces the concept of traditional neighborhood design. The Specific Plan proposes a circulation system comprised of roads, pedestrian pathways, and trails to provide for efficient and effective access to, from, and through the site. The circulation plan is designed to provide optimal circulation efficiency as well as safety for guests and residents. A description of the proposed Circulation Plan is described below.

2. Project Access

Mill Creek Promenade is located approximately one quarter mile west of Interstate 215 (I-215), which is the major thoroughfare in this portion of the County, linking Menifee to northern Riverside County and San Diego County. A system of connected roadways exists and are planned to serve the Project area and augment I-215 in moving through traffic to and from other communities.

As described in Chapter II, *Planning Context and Existing Conditions*, Garbani Road is the northern boundary of the Specific Plan and will provide access to Planning Area 1 (PA1) and Planning Area 3 (PA3). Sherman Road runs along the western boundary of the Specific Plan and will provide access to Planning Area 2 (PA2). PA2 can also be accessed via on-site circulation through PA3. Haun Road is located to the east of the site and will provide the access to PA3 and Planning Area 4 (PA4). On-site vehicular circulation consists of private drive aisles (a variety of widths depending on function), landscaped parking areas, and pathways. The Specific Plan also provides for an extensive internal (to the site) and external (perimeter) non-vehicular circulation system. This non-vehicular system will be internal to the PAs, as well as connecting the PAs and providing connectivity to areas adjacent to the Specific Plan.

3. Vehicular Network

The vehicular network system proposed for the Specific Plan establishes a design hierarchy where the major and collector roads serving the Project feed into internal drive aisles of varying widths that will form the backbone system through the site. The vehicular circulation plan includes different roadway sizes and classifications, as described in more detail below.

Garbani Road

Garbani Road is designated in the Menifee General Plan as a Major Roadway (4 lanes, divided). The designation of Garbani Road as a Major roadway was based on the traffic associated with a future interchange at I-215, which is included in the City's General Plan Circulation Element. The City has accepted the Project's request to shift the Garbani Road centerline north 9' in order to create a Modified Major roadway. A General Plan Amendment is not needed since the Project will maintain the minimum curb width of a Major roadway. As of the writing of this Specific Plan, this roadway is currently improved between Haun Road and Kurt Street and Thornton Avenue as a two-lane roadway with a sidewalk and landscaped buffer on the northern side of the street.

As shown in Figure III-10, *Vehicular Circulation Plan*, Garbani Road will be constructed as a part

of the Project from the intersection of Haun Road to the intersection Sherman Road. As shown in Figure III-11, *Roadway Cross Sections*, Garbani Road is planned as a 130-foot-wide right of way with four travel lanes and a striped median to separate oncoming traffic. This roadway section will allow for a striped 8-foot wide Class II bike lane on each side of the roadway. The Class II bike lane is designed for bike use only and would prohibit parking along both sides of the street. Along the southern side of Garbani Road, a 25-foot wide parkway is proposed to accommodate a planned 6-foot wide sidewalk, and an 8-foot wide trail that would be separated from the roadway by a landscaped parkway. Along the northern side of Garbani Road, there exists a 21-foot wide parkway with a planned 5-foot-wide sidewalk that is separated from the roadway by a landscaped parkway. The Project will be widening Garbani Road to its ultimate half width.

Haun Road

As shown in Figure III-10, *Vehicular Circulation Plan*, Haun Road is designated in the Menifee General Plan as a Major Roadway (4 lanes, divided). As of the writing of this Specific Plan, Haun Road, adjacent to the Specific Plan site, is currently improved as a two-lane roadway, approximately 30-feet of pavement, without any curbs, gutters or sidewalks.

As shown in Figure III-11, *Roadway Cross Sections*, Haun Road is proposed as a 107-foot-wide right-of-way. The 107-foot wide section includes four travel lanes and a striped median. This roadway section will allow for a striped 10-foot wide Class I bike lane along the Project frontage. Along the western side of Haun Road, a 19-foot wide parkway is proposed to accommodate a planned 10-foot wide community trail that would be separated from the roadway by a landscaped parkway. The Project will be widening Haun Road to its ultimate half width.

Sherman Road

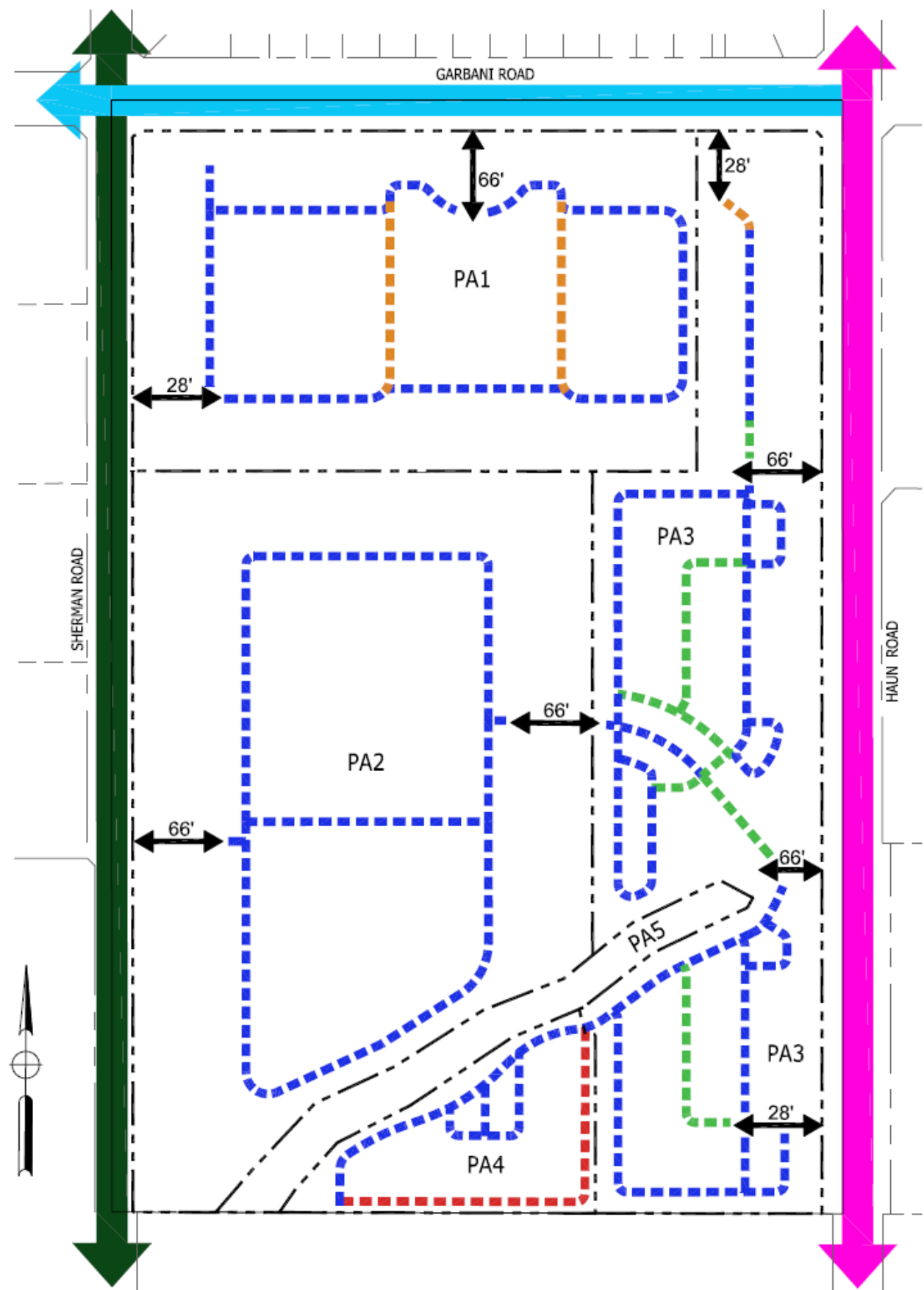
As shown in Figure III-10, *Vehicular Circulation Plan*, Sherman Road is designated in the Menifee General Plan as a Collector (2 lanes, undivided). Sherman Road is currently developed as a narrow, two-lane roadway.

As shown in Figure III-11, *Roadway Cross Sections*, Sherman Road is proposed as an 81-foot wide right-of-way with two travel lanes on the eastern side and one travel lane on the western side. This roadway section will allow for an unstriped Class III bike lane. Along the eastern side of Sherman Road, a 15-foot wide parkway is proposed to accommodate a planned 8-foot wide trail that would be separated from the roadway by a landscaped parkway. The Project will be widening Sherman Road to its ultimate half width.

Internal/On-Site Drive Aisles

As shown in Figure III-10, *Vehicular Circulation Plan*, the Mill Creek Promenade Specific Plan contains a number of local roadways that will be located in or adjacent to residential neighborhoods and will be used primarily by future residents. As shown in Figure III-12, *Internal Drive Aisles*, Internal/On-Site Drive Aisles are two lane roadways, ranging in width from 24-feet to 30-feet, depending on the uses, with potential parking on both sides and a sidewalk adjacent to the curb.

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LEGEND	DESCRIPTION
	ENTRANCE/EXIT
	(MAJOR) 4-LANES CITY STD. 110
	(MAJOR) 4-LANES CITY STD. 110 (MODIFIED)
	(COLLECTOR) 4-LANES CITY STD. 113
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY
	24' WIDE DRIVE AISLE
	26' WIDE DRIVE AISLE
	28' WIDE DRIVE AISLE
	30' WIDE DRIVE AISLE

This is a concept plan that shows the general type and location for the roadways. The specific types and quantities of roadways will be provided at the Plot Plan stage of development.

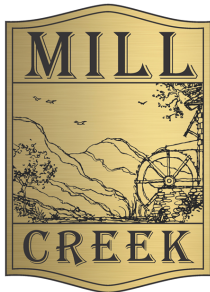
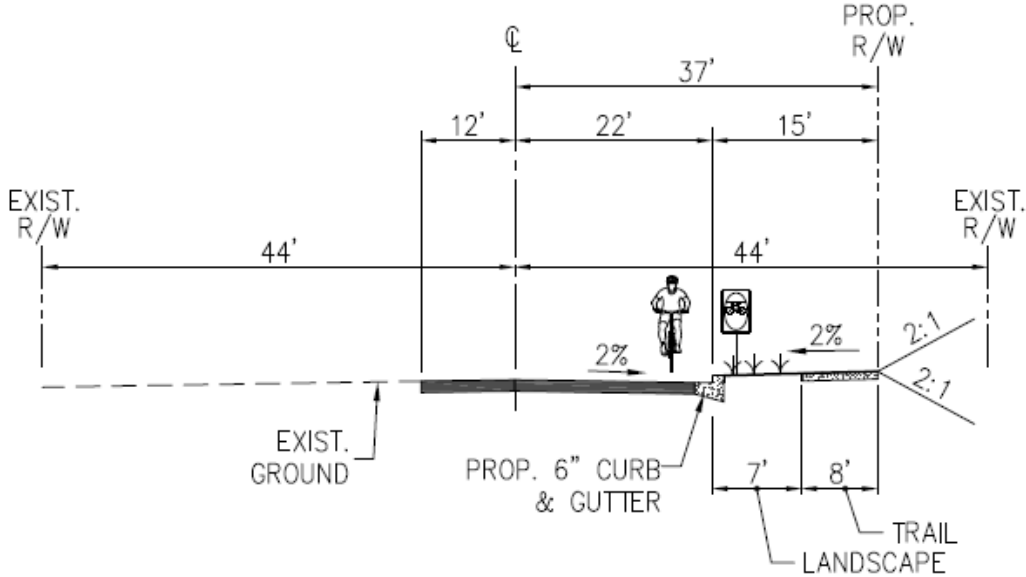
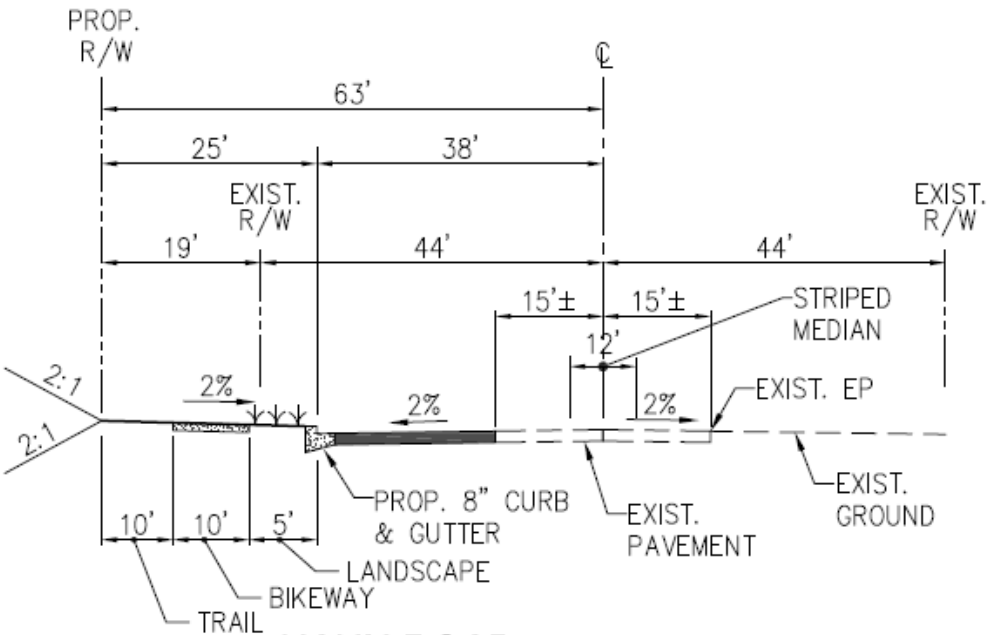


FIGURE III-10
VEHICULAR CIRCULATION PLAN



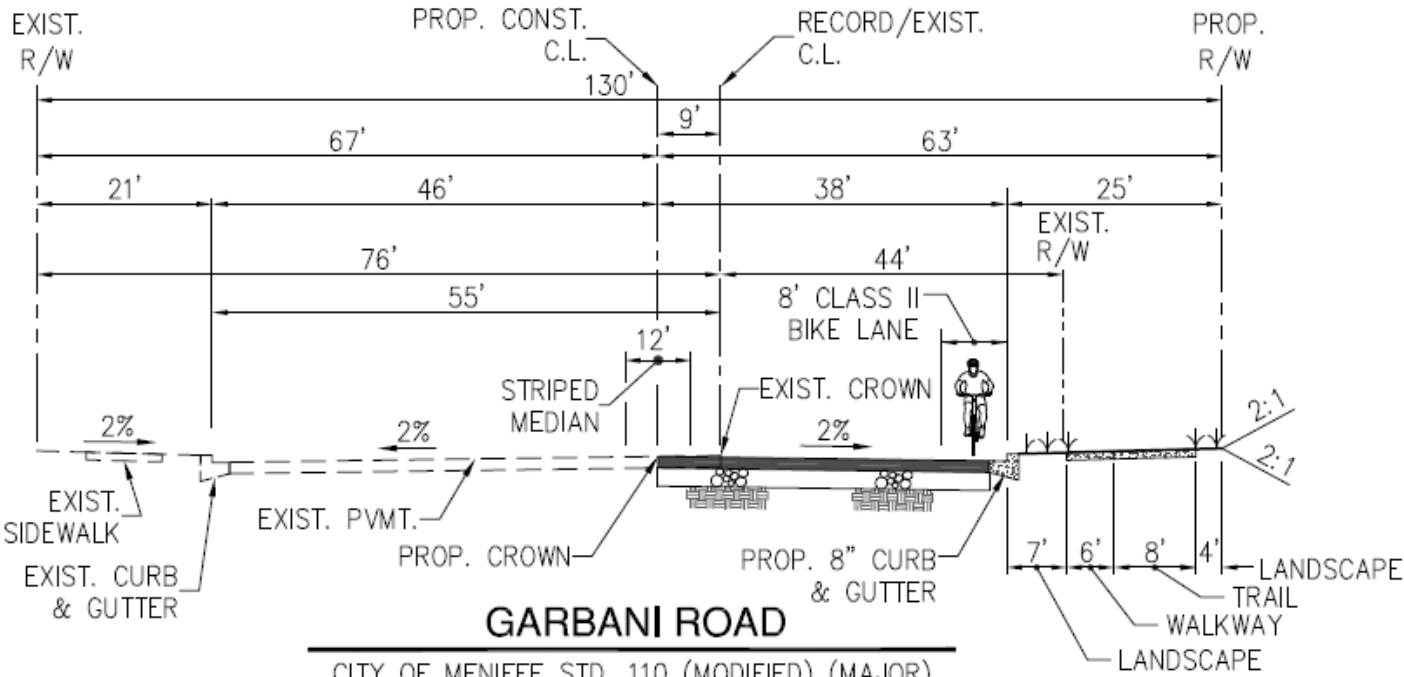
SHERMAN ROAD

CITY OF MENIFEE STD. 113 (COLLECTOR)
COMMUNITY TRAIL & CLASS III BIKE ROUTES
N.T.S.



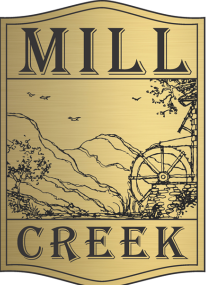
HAUN ROAD

CITY OF MENIFEE STD. 110 (MAJOR)
REGIONAL TRAIL & CLASS I BIKEWAY
N.T.S.



GARBANI ROAD

CITY OF MENIFEE STD. 110 (MODIFIED) (MAJOR)
COMMUNITY TRAIL & CLASS II BIKEWAY
N.T.S.



**FIGURE III-11
ROADWAY CROSS SECTIONS**

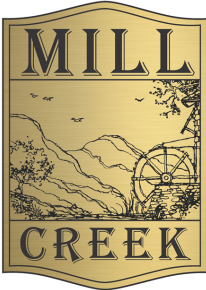
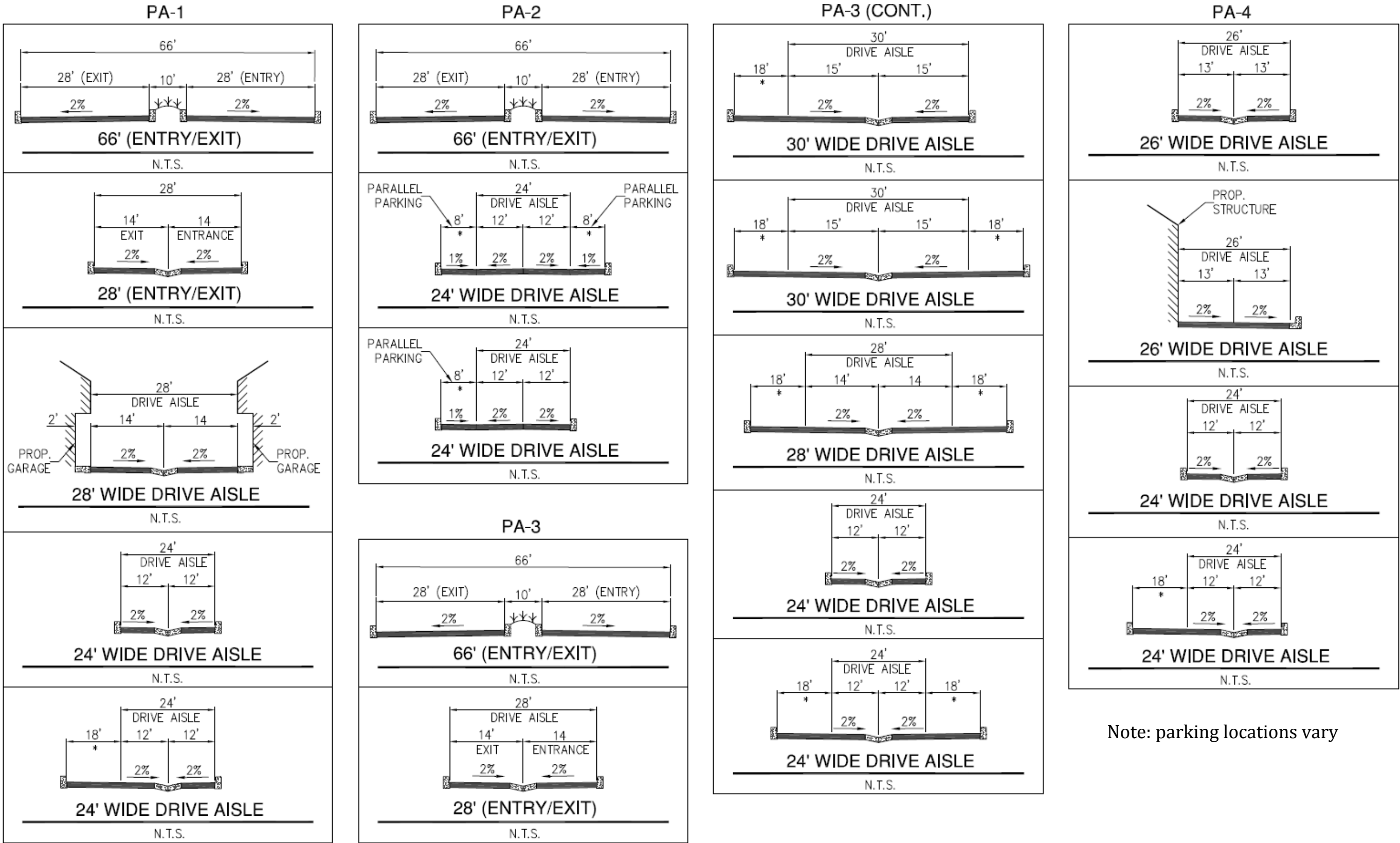


FIGURE III-12
INTERNAL DRIVE AISLES
Page III-25

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4. Non-Vehicular Network

An important element of the Specific Plan is the provision of an interconnecting trail network that will serve residents and the surrounding communities. The trail system will contain a comprehensive sidewalk, trail, and bike lane and network that will connect neighborhoods to parks, recreational areas, and off-site destinations. As illustrated in Figure III-13, *Non-Vehicular Circulation Plan*, the non-vehicular system proposed for the Specific Plan will provide for pedestrian and cyclist movement and connectivity through the site. The non-vehicular network ensures that residents will have opportunities to walk/bike/jog in different settings.

The non-vehicular network consists of the following: trails/pathways, sidewalks and bike lanes which will connect to off-site trails, sidewalks and pathways.

On-Site Sidewalks and Pathways

As shown in Figure III-13, *Non-Vehicular Circulation Plan*, 5-foot wide sidewalks on-site, as well as 4' to 6' decomposed granite paths, are proposed within the Specific Plan. It is the intent of the Specific Plan to have connected sidewalks and pathways within the PAs, as well as connecting the PAs, ultimately providing connectivity within the much larger surrounding community and encourages pedestrians and bicyclists to travel from surrounding areas.

As shown in Figure III-14, *Decomposed Granite Path*, the proposed pathway system accommodates pedestrian and cycling of non-motorized transportation.

The pathway system will provide pedestrian connections to all of the perimeter streets, as well as a variety of bike lanes discussed below.

Sidewalks

As shown in Figure III-13, *Non-Vehicular Circulation Plan*, sidewalks are proposed within the right-of-way of streets and roads on the roadways that provide the northerly, easterly and westerly boundaries of the Specific Plan. Sidewalks, as well as paths/trails, serve to provide pedestrian connections between the individual Planning Areas. As shown in Figure III-11, *Roadway Cross Sections*, sidewalks and trails are proposed within the different roadway sections and widths shall meet minimum City standards.

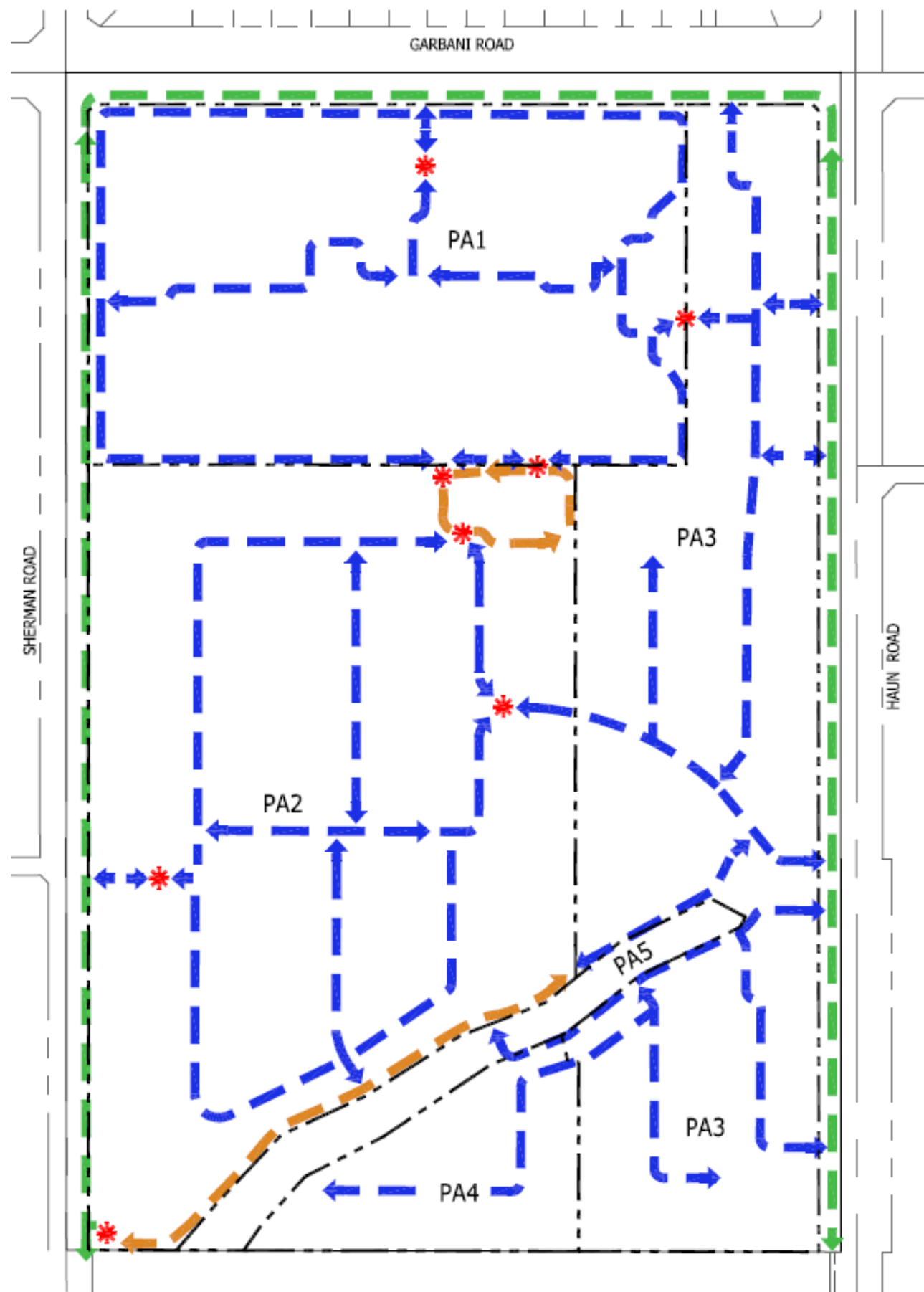
Sidewalks are intended to provide safe and efficient travel for pedestrians and bicyclists and facilitate connectivity to the larger roadways and trail systems within the community. In utilizing the sidewalks in combination with the bike lanes and pathways, users will be connected to all of the recreational areas within Specific Plan, and to off-site recreational areas immediately outside of the community.

Bike Lanes

As discussed above, perimeter street roadway sections will allow for either a Class I, Class II, or Class III bike lane, where applicable. The bike lanes are provided to help link the Specific Plan to other part of the EDC and City.

5. Development Standards

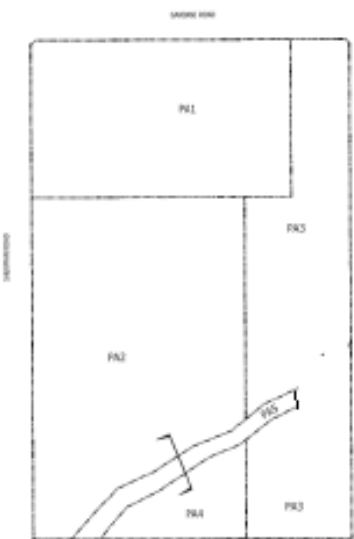
- a. All roadways, pedestrian, and bicycle circulation within the Project area shall be constructed according to the minimum standards and guidelines set forth in this Specific Plan, and City standards and guidelines.
 - b. Any landscaping within public road rights-of-way will require approval by the City Engineer and assurance of continuing maintenance through establishment of a landscape maintenance district or similar mechanism as approved by the City.
 - c. A conceptual landscape plan shall be provided with any implementing entitlement application that specifies the location, type, and size of trees, shrubs, and ground cover within the right-of-way and any park or open space area.
 - d. A pathway, paseo, walkway, or similar pedestrian access shall be provided that connects the primary entrance from PA1 or PA2 (along an adjacent public street or alley) to either another adjacent public street or alley, or to a similar pathway on an adjacent property.
 - e. A combination of pathways, paseos, walkways, or similar pedestrian accesses shall be provided that connects the individual Planning Areas to any public transportation facilities located on key perimeter streets (Haun and Garbani Roads).
-



LEGEND	DESCRIPTION
	INTERIOR SIDEWALK
	DECOMPOSED GRANITE PATH (TRAIL)
	WALKWAY/TRAIL
	PEDESTRIAN ACCESS GATE
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

This is a concept plan that shows the general type and location for the trails and walkways. The specific types and quantities of trails and walkways will be provided at the Plot Plan stage of development.

FIGURE III-13
NON-VEHICULAR CIRCULATION PLAN



On-site decomposed granite path varies from 4' to 6' depending on its location within the Specific Plan.

See Figure V-10 for larger, contextual view.



DECOMPOSED GRANITE PATH EXAMPLE

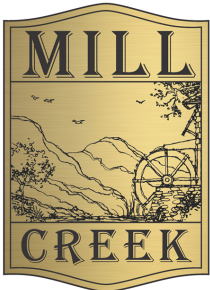


FIGURE III-14
DECOMPOSED GRANITE PATH

C. Public Facilities Plan

1. Introduction

Conceptual infrastructure facility and service plans have been developed for the Specific Plan to provide water and sewer services to the community and to identify the utility service companies servicing the Project area. These system plans are conceptual, based on preliminary service layouts and evaluations, and may be subject to modifications due to more precise engineering studies.

2. Water System

The Eastern Municipal Water District (EMWD) provides water and wastewater service to the Mill Creek Promenade Project area. Domestic water provided by EMWD is served with a blend of the California State Water Project and Colorado River waters, imported and supplied to EMWD by the Metropolitan Water District (MWD).

The conceptual water system plan has been developed to service the Specific Plan, as shown on Figure III-15, *Water Distribution Plan*. Adequate water service can be provided for the proposed Project using existing and planned facilities. As shown on Figure III-15, the Specific Plan proposes the construction of an interior system of water lines along planned drive aisles of the community to service the individual planning areas (1 through 4). Specifically, 12-inch lines are proposed along drive aisles to connect to the existing 18-inch water lines along Garbani and Sherman Roads, and to the existing 12-inch water line in Haun Road.

In order to provide a reliable source of water for firefighting purposes, potable water is also delivered to all fire hydrants and fire sprinkler systems utilizing the potable water system. Thus, piping facilities for potable water is designed to accommodate both the domestic demand and the fire-fighting demand.

If available, the Project may incorporate recycled water for landscape irrigation, which helps reduce strain on environmental resources. The Project may use recycled water for irrigation of common area landscaping, open space, parkways, and roadside landscaping adjacent to public roads.

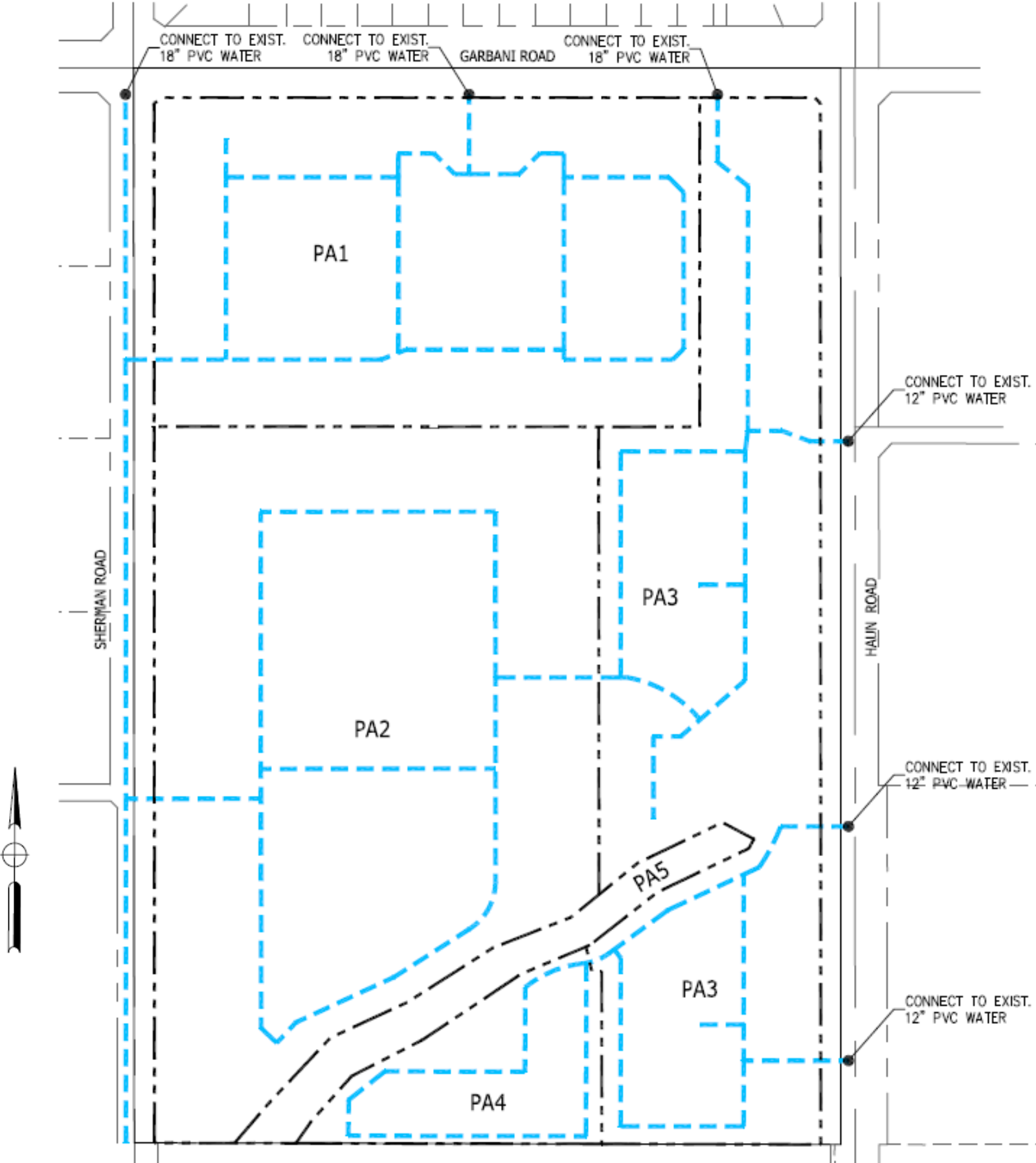
To provide recycled water, EMWD will require proof of permits through Regional Board and California Department of Public Health, as appropriate, from the entity responsible for the landscape maintenance and irrigation where the water is used at the Plot Plan stage of development.

3. Sewer Facilities

EMWD provides wastewater/sanitary sewer service to the Project area. The conceptual wastewater/sewer system plan is depicted in Figure III-16, *Sewer Network Plan*.

As shown in Figure III-16, an existing 18-inch sewer line is located along Haun Road. The Specific Plan proposes the construction of an interior system of sewer lines along planned drive aisles of the community to service the individual planning areas (1 through 4). Specifically, 8-inch lines are proposed along drive aisles to connect to the existing 18-inch sewer line along Haun Road.

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LEGEND	DESCRIPTION
	PROP. 12" WATER MAIN
	EXIST. 12" WATER MAIN
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

Note: Pending Eastern Municipal Water District Approval

This is a concept plan that shows the general type and location for the on-site water lines and off-site points of connection. The specific type and location for the on-site water lines and off-site points of connection will be provided at the Plot Plan stage of development.

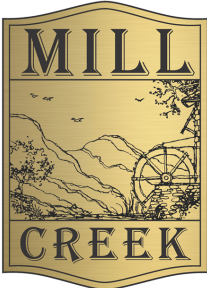


FIGURE III-15
WATER DISTRIBUTION PLAN

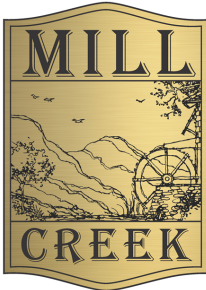


LEGEND	DESCRIPTION
	PROP. 8" SEWER MAIN
	EXIST. 18" SEWER MAIN
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

Note: Pending Eastern Municipal Water District Approval

This is a concept plan that shows the general type and location for the on-site sewer lines and off-site points of connection. The specific type and location for the on-site sewer lines and off-site points of connection will be provided at the Plot Plan stage of development.

FIGURE III-16
SEWER NETWORK PLAN



4. Drainage Facilities

Preliminary hydrology studies, water quality studies, as well as on-site and off-site hydrology analysis conducted for the Specific Plan indicate the need for the Project to detain on-site the increased storm water runoff that would result from Project development. The existing site is vacant. Therefore, in its current state, the site generates limited runoff. However, in its developed state, the Project will include extensive areas of impermeable surfaces from which rain will run off; this “additional” runoff (difference between existing and future) is the responsibility of the Project to mitigate on-site.

To capture, convey and detain this on-site runoff, a system of on-site detention facilities has been designed, located and sized to accommodate the projected storm water runoff. The Specific Plan proposes a series of water quality basins and detention basins that have been integrated into the Project and are planned to be situated at the low portion of each Planning Area.

The conceptual Drainage Plan as illustrated on Figure III-17, *Drainage Plan*, shows the planned storm drains, water quality basins, and detention basins.

As shown in Figure III-17, all drainage will generally flow to the northeastern portion of the site. Drainage from PA1 will be collected via a system of storm drains that will be appropriately sized and will end up depositing flows to a detention/water quality basin located in PA3. Flows from the northern portion of PA3 will also be deposited in this basin. Mitigated flows from this basin will be conveyed to an existing 54” reinforced concrete pipe (RCP) in under Garbani Road. Drainage from PA2 will be collected via a system of storm drains that will be appropriately sized and will end up depositing flows into a basin located at the northeast corner of PA 2, with these mitigated flows also tying into the existing 54” RCP under Garbani Road. Storm flows exit the site into an existing 54” storm drain, (Ruxton Street storm drain), which flows to a detention basin in Tract 31724 to the north, then to an improved stream bed and an improved channel to Salt Creek.

PA5 is an existing stream, Mill Creek, and flows northeasterly to proposed reinforced concrete box (RCP) which will continue in the existing stream alignment across PA3 and northerly along Haun Road, where it will cross under Haun Road to an existing stream. This stream flows northerly into an unimproved streambed and then into an improved channel to Salt Creek. PA4 will drain into a detention/water quality basin and will deposit mitigated flows in the RCB. PA3 will also drain to a detention/water quality basin with mitigated flows conveyed by storm drain in Haun Road to the RCB crossing.

5. Schools

Future residents of Mill Creek Promenade in Planning Areas 1 and 2 would be served by the Menifee Union School District (Menifee USD) for grades K-8 and by the Perris Union High School District (PUHSD) (grades 9-12).

Elementary school students (grades K-5) would attend Chester W. Morrison Elementary School located approximately 3 miles to the north of the site. Middle school students (7-8) in the northern portion of the site would attend Menifee Valley Middle School located approximately 3 miles east of the site. High school students would attend Paloma High School located

approximately 2.5 miles northeast of the site.

The Specific Plan will be required to offset its impacts to schools and school districts with upfront development impact fees which are set and collected by each school district in addition to ongoing property taxes.

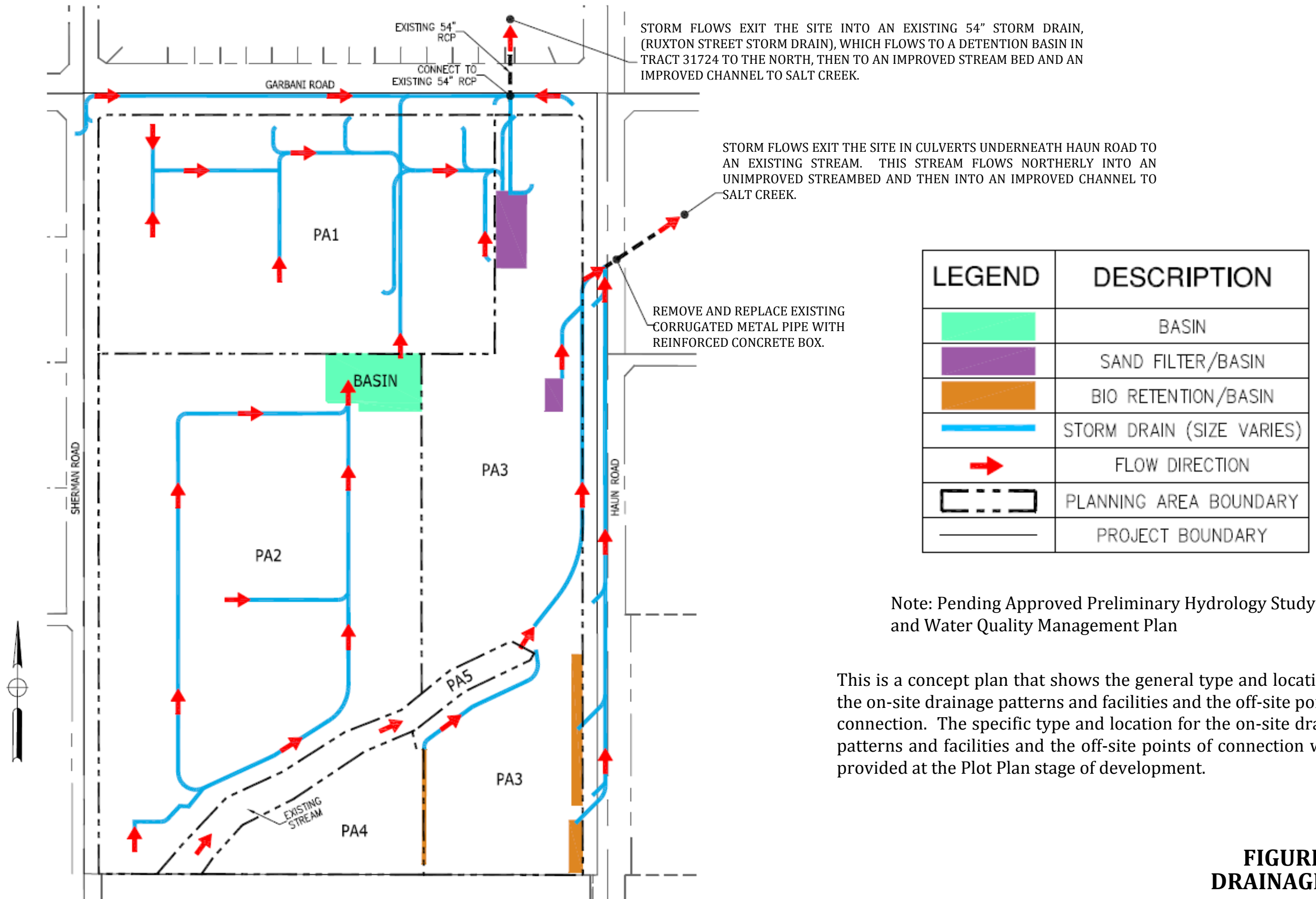
6. Police and Fire Protection

The City of Menifee contracts all law enforcement and fire protection services through the Riverside County Sheriff's Department and the Riverside County Fire Department, respectively. The closest police station to the site is located approximately eight (8) miles southwest of the site in Murrieta. There are four (4) fire stations in the City and each station has a paramedic engine company.

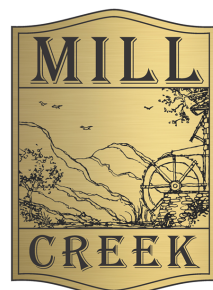
7. Development Standards

All water and sewer lines shall be designed per City and/or EMWD standards; all storm drain facilities shall be designed in accordance with City and/or Riverside County Flood Control and Water Conservation District (RCFC&WCD) design standards.

- a. The location of water and sewer facilities will conform to the City of Menifee and EMWD standards.
- b. Water and wastewater facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department and EMWD.
- c. All water and sewer lines shall be placed underground and inspected per the policies of EMWD.
- d. The design of all water facilities shall provide fire protection to the satisfaction of the Fire Department of the County of Riverside.



**FIGURE III-17
DRAINAGE PLAN**



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D. GRADING PLAN

1. Introduction

The primary purpose of grading is to construct developable building lots, provide support and banking to roads, drainage and water quality features, and to provide access to the individual planning areas. The grading concept is responsive to the physical character, location and type of land use, and well as the visual and environmental qualities of the site. The conceptual grading plan proposed for Specific Plan is discussed in more detail below.

2. Existing Site Conditions

As described in Chapter II, *Planning Context and Existing Conditions*, the Specific Plan site is located on a rectangular-shaped set of parcels that are currently fallow, agricultural land. The site is situated in an area of mixed open space and single-family residential uses of varying density with scattered commercial development. Some of the property in the immediate project area is planted for dry farming while other areas are not actively farmed and have a cover of non-native weeds/plants.

Elevations on the Specific Plan site range from approximately from 1,470 feet to 1,500 feet above mean sea level. The terrain is relatively level, with a gradual incline towards a large hill located approximately 450 feet to the west of the site. Drainage within the property generally flows to the north. Under present circumstances the site is undeveloped, and the on-site soils have historically been used to support dry farming activities. Most vegetation has been removed from the site by past activities; there is a light regrowth of Russian thistle and buckwheat. The site soil contains a substantial amount of small to large rocks, with the highest concentrations of rocks located in the northeast corner of the property. A small drainage course crosses through the southern portion of the site and continues along the eastern edge of the property before exiting to the east across Haun Road.

3. Proposed Grading

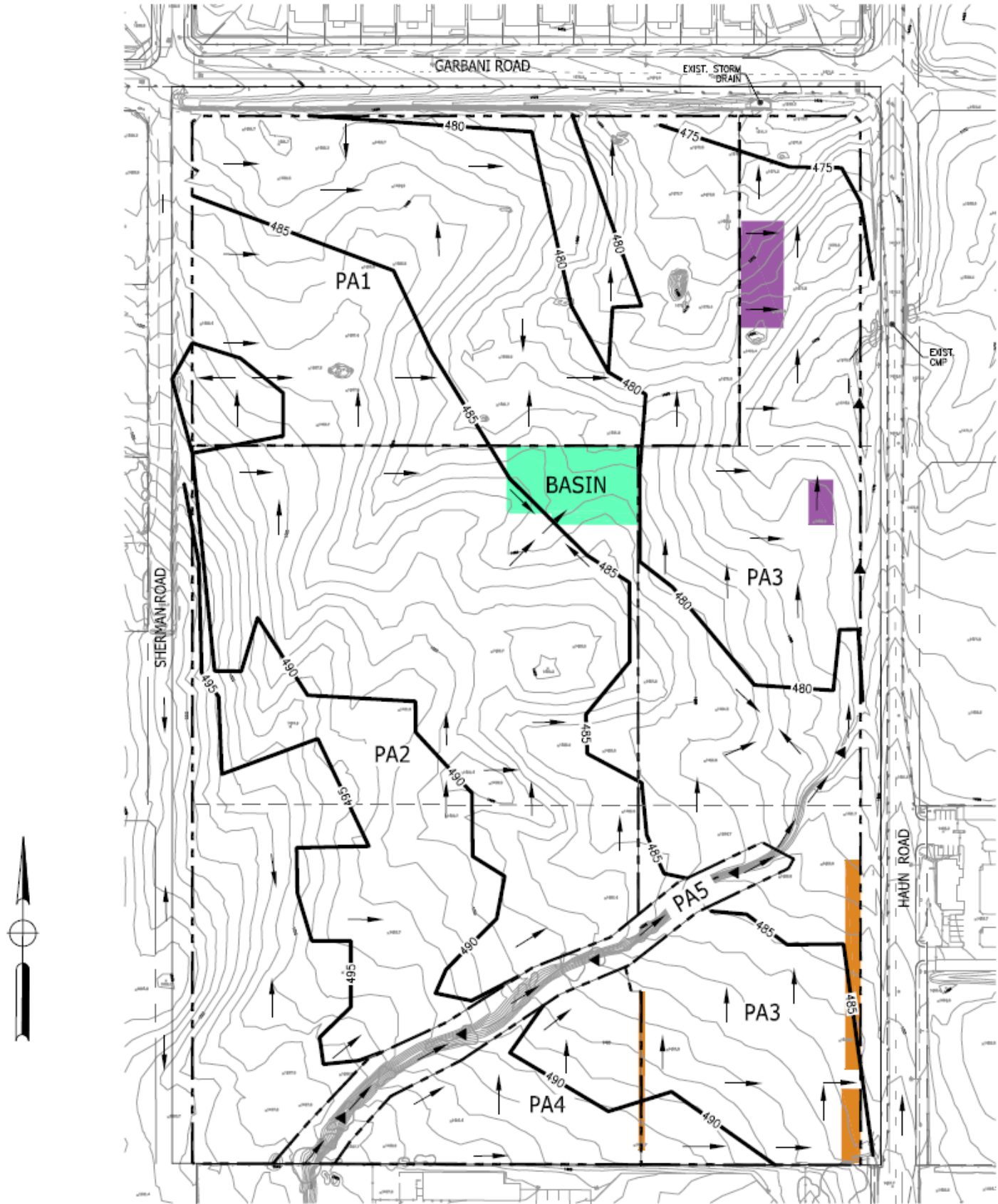
The conceptual Grading Plan is shown in Figure III-18, *Conceptual Grading Plan*. All cut and fill will be balanced on site and will not require import or export of materials. Approximately 106,350 cubic yards of material will be moved overall (total estimated cut and fill) to achieve the cut and fill balance. This quantity may vary as final grading plans are developed. Balance of cut and fill in each phase and within each Planning Area is the goal; however, in some cases, a limited amount of off-phase grading may occur for borrow and stock piling sites.










As each development phase or planning area is submitted, a phase specific grading plan shall be submitted to the City for review and approval. Grading may occur in phases as development applications are processed.

4. Development Standards

- a. All grading shall be in substantial conformance with the Conceptual Grading Plan and shall implement any grading-related mitigation measures outlined in the EIR prepared for the Project.

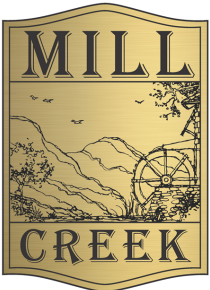
- b. Prior to any development within any planning area, an overall preliminary grading plan for the planning area in process shall be submitted to the Community Development Department and Public Works Engineering Department for approval. The grading plan for each such planning area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area and shall include:
 - i. Techniques employed to prevent erosion and sedimentation during and after the grading process.
 - ii. Approximate time frames for grading.
 - iii. Any necessary planning phase specific WQMP resulting from changes that impact the overall WQMP approved for the development. Each project-specific WQMP shall be reviewed and approved by the City.
- c. All cut and or fill or individual combinations thereof shall meet the minimum requirements of the California Building Code or governing code at the time of application submittal.
- d. All grading activity shall conform to the recommendations of the preliminary soils report and subsequent reports prepared in conjunction with the grading plans.
- e. The applicant shall be responsible for the maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.
- f. When consistent with an approved grading plan, grading shall be permitted outside of the immediate area of development as follows.
- g. Excess cut from a given phase may be placed as engineered fill in a future development area or disposed of on consenting offsite property.
- h. Grading work on the entire site shall be balanced onsite whenever possible.
- i. The site is to comply with the National Pollution Discharge Elimination System (NPDES) "Best Management Practices" (BMPs) for erosion and sedimentation control, as required by the Public Works Engineering Department.
- j. The site is to comply with the latest adopted WQMP guidelines for new developments as required by the latest MS4 Permit for the City of Menifee.
- k. A Storm Water Pollution Prevention Plan (SWPPP) must be developed and implemented concurrent with commencement of grading activities. A copy must be provided to the Public Works Engineering Department prior to issuance of a grading permit.



LEGEND	DESCRIPTION
	BASIN
	SAND FILTER
	BIO RETENTION
	FLOW DIRECTION
	EXISTING STREAM/MILL CREEK
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

This is a concept plan that shows the existing topography and a general mass grading design. The site grading design will be provided at the Plot Plan stage of development.

FIGURE III-18
CONCEPTUAL GRADING PLAN



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E. PHASING PLAN AND ORDER OF DEVELOPMENT

1. Planning Area Phasing and Order of Development

As depicted in Figure III-19, *Phasing Plan and Order of Development*, the Specific Plan is anticipated to be developed in a single phase. Within that phase, it is assumed that all horizontal infrastructure improvements of the Project, all light industrial buildings, office buildings, the restaurant, and all residential units will be constructed in a single phase. Retail pads will be fully graded as well, however, buildings will be constructed to order and built to suit in order to meet tenant and financing requirements, as they are identified.

Table III-3, *Conceptual Development Schedule*, identifies the approximate number and estimated timing, and type of development to be constructed.

**Table III-3
Conceptual Phasing Schedule**

Phase 1 – Proposed Order of Development	Anticipated Timing
Horizontal Infrastructure	June 2019 – December 2019
Industrial Park	January 2020 – December 2022
Commercial Retail (built to suit as tenants are identified)	
Restaurant	
Residential	




This conceptual development phasing represents the best estimate of the applicant. The exact phasing and timing in which the roads and other infrastructure are constructed may be dependent on the processing of off-site improvement permits and extension of off-site improvements. Therefore, the proposed order of development may be amended in conjunction with approval of tentative maps and site plans without requiring an amendment to the Specific Plan as outlined in Chapter VI of this Specific Plan.

2. Development Standards.

The phasing sequence described herein is conceptual. Therefore, at the time of development, if it is determined that the market demand warrants certain planning areas to be developed out of the expected sequence, it will be permissible provided that the required infrastructure and services, to support the Planning Areas being developed, are available at the time of development.

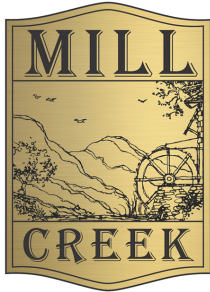
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LEGEND	DESCRIPTION
	PHASE I
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

Note: The Specific Plan is anticipated to be developed in a single phase. Within that phase, it is assumed that all horizontal infrastructure improvements of the Project, all light industrial buildings, office buildings, the restaurant, and all residential units will be constructed in a single phase. Retail pads will be fully graded as well, however, buildings will be constructed to order and built to suit in order to meet tenant and financing requirements, as they are identified.

**FIGURE III-19
PHASING PLAN**



IV. DEVELOPMENT STANDARDS

A. Introduction

The primary implementation guidance tool for the Project is this Specific Plan, which establishes the character of the development through the definition of permitted land uses, required infrastructure, development regulations and design guidelines. The standards and regulations contained in this Chapter, and the guidelines contained in Chapter V, *Design Guidelines*, provide the framework upon which all subsequent implementation planning decisions are based, and criteria for determining consistency of site specific design with the Specific Plan objectives.

It is the purpose of this Chapter to serve as the development regulations for the Specific Plan. When the Specific Plan and associated change of zone are adopted by ordinance, these regulations and standards will supersede the corresponding Zoning Ordinance (including Section 9.28.030, Implementation of Economic Development Corridors). Where the Specific Plan is silent on a development issue, regulation or procedure, or where reference is made to a specific ordinance section, the applicable section(s) of the City Zoning Ordinance shall prevail. Where design guidelines or development standards of the Specific Plan do not agree with the City ordinances, this Specific Plan shall apply.

B. Residential Development Standards

High Density Residential (HDR) land uses are proposed for Planning Areas 1 and 2, for a total of 398 homes on 34.33 net/37.25 gross acres of land at an average density of 11.53 du/ac (net) and 10.68 dwelling units/acre (gross), respectively. The envisioned housing types would be multiple-family attached homes. The homes will have a variety of floor plans and architectural elevations.

1. Planning Area 1 Descriptive Summary

PA1 provides for the development of 13.82 acres with a target of 194 attached, individually owned, dwelling units. PA1 is located in the northwestern portion of the Specific Plan, between Garbani Road and PA2 with PA3 to the east and Sherman Road creating its boundary to the west.

Primary vehicular access to PA1 shall be provided from Garbani Road and secondary access shall be provided via Sherman Road. Pedestrian access to and from PA1 is provided from sidewalks located along these streets. These sidewalks will be part of a comprehensive system that will connect all Planning Areas within the Specific Plan.

Three (3) private recreation areas shall be provided for the residents within PA1, as depicted on Figures III-3 through III-5, *PA1 High Density Recreation Area 1* through *PA1 High Density Recreation Area 3*, respectively. These private recreation areas shall include, at a minimum: shaded seating areas, a swimming pool and spa, pathways, tot lots, BBQ facilities, and a community garden. PA1 residents shall have access to the basin with trail and benches in PA2.

2. Planning Area 1 Planning Standards

- a. Three (3) private recreation areas shall be provided for the residents within PA1, as depicted on Figures III-3 through III-5, *PA1 High Density Recreation Area 1* through *PA1 High Density Recreation Area 3*, respectively.
- b. Vehicular roadways shall be planned as illustrated in Figure III-10, *Vehicular Circulation Plan*.
- c. Refer to Chapter V Edge Condition Figures for roadway landscape treatments and edge conditions planned for PA1.
- d. Major entry monumentation will be provided as illustrated in Figure V-20, *PA1 High Density Residential Garbani Road Entry Monumentation*.
- e. Walls and fencing shall be constructed as delineated in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28a and V-28b, *Conceptual Wall and Fence Details*.
- f. Refer to Chapter V, *Design Guidelines*, for other related design criteria.

3. Planning Area 2 Descriptive Summary

PA2 provides for the development of 20.51 acres with a target of 204 detached dwelling units. PA2 is located in the southwestern portion of the Specific Plan, between PA1 and PA5 with PA3 to the east and Sherman Road creating its boundary to the west.

Primary vehicular access to PA2 shall be provided from Sherman Road and secondary access shall be provided via PA3. Pedestrian access to and from PA2 is provided from sidewalks located along these streets. These sidewalks will be part of a comprehensive system that will connect all Planning Areas within the Specific Plan.

One (1) private recreation area shall be provided for the residents within PA2, as depicted on Figure III-6, *PA2 High Density Recreation Area*, as well as several tot lots, gazebo areas, as depicted on Figure III-7, *Tot Lots*, and Figure III-8, *Gazebos*, and a basin as depicted on Figure III-9, *PA2 Basin Concept*. The private recreation area shall include, at a minimum, shaded seating areas, a swimming pool and spa, pathways, and BBQ facilities.

4. Planning Area 2 Planning Standards

- a. One (1) private recreation area shall be provided for the residents within PA2, as depicted on Figure III-6, *PA2 High Density Recreation Area*, as well as several tot lots, gazebo areas, as depicted on Figure III-7, *Tot Lots*, and Figure III-8, *Gazebos*, and a basin with trail and benches as depicted on Figure III-9, *PA2 Basin Concept*.
- b. Vehicular roadways shall be planned as illustrated in Figure III-10, *Vehicular Circulation Plan*.
- c. Refer to Chapter V Edge Condition Figures for roadway landscape treatments and edge conditions planned for PA2.

- d. Major entry monumentation will be provided as illustrated in Figure V-21, *PA2 High Density Residential Sherman Road Entry Monumentation*.
- e. Secondary entry monumentation will be provided as illustrated in Figure V-22, *PA2 High Density Residential Internal Entry Monumentation*.
- f. Walls and fencing shall be constructed as delineated in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28a and V-28b, *Conceptual Wall and Fence Details*.
- g. Refer to Chapter V, *Design Guidelines* for other related design criteria.

Permitted uses within PA1 and PA2 High Density Residential (HDR) include those listed below when developed in compliance with the purpose and intent of this Specific Plan.

- Multiple-family dwellings.
- Single-family dwellings.
- Flood control basins, retention basins, and related facilities.
- Any use that is not specifically listed herein may be considered a principle permitted use or a conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in this Specific Plan.

Accessory permitted uses within PA1 and PA2 ~~✓~~HDR include those listed below when developed in compliance with the purpose and intent of this Specific Plan.

- Utility facilities.
- Private recreation facilities.
- Recreation centers.
- Swimming pools and spas.
- Tot lots.
- Trails and pathways.
- Other accessory uses as determined by the Planning Director to be substantially compatible with a principle permitted residential use.

To ensure a logical, orderly, and sensitive development of land uses proposed for the Specific Plan, special development criteria and standards have been created for each lot size to address setbacks, pad sizes, lot coverage and encroachments. Figures IV-1 through IV-4, as referenced below, illustrate these concepts and provide information regarding placement of residences within the community. Each figure contains a detail of the typical lot, and the following tables list specific development standards. It's important to note that the illustrations represent possible development patterns based on the attached residential products envisioned for the Specific Plan; however, other designs that conform to the development standards may also be used. Each proposed elevation type for the selected architectural style shall have at least three (3) distinct color and material schemes.

Multi-Family Attached Townhomes

Multi-family attached townhomes may be allowed within PA1 and PA2. Townhomes are multi-family attached row homes that typically have the garages located in the rear of the building. It is the intent for these units to have individual owners (i.e., condominium) with a common

maintenance entity (i.e., HOA). Buildings are oriented with either the front or side elevations facing the circulating private roadways. Townhomes shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure IV-1, *Multi-Family Attached Townhomes*, as well as the development standards provided in Table IV-1, *Multi-Family Attached Townhomes*.

**Table IV-1
Multi-Family Attached Townhomes**

Development Standards	
Planning Area	1 or 2
Lot Dimensions (minimum)	
Lot Width	60'
Setbacks (minimum)	
Front Yard – to main structure	5' from walkway
Front Street	20'
Corner Side Yard from Drive Aisle	10' ¹
Street Side Yard	20'
Interior Side Yard	5'
Rear Yard	10' between buildings 5' to carports/garages
Separation Between Buildings	
One story to one story	10'
One story to two or three stories	15'
One story to detached garage	15'
Two stories to two stories	20'
Two stories to three stories	20'
Three stories to three stories	30'
Other	
Maximum Structural Height	40' (3 stories) ²
Minimum Private Open Space	90 square feet Minimum 8' dimension
Minimum Private Storage	300 cubic feet
Encroachments (fireplaces, AC units, media centers)	2' ³

¹ 5' community, 5' private.

² Architectural projections or chimneys may extend up to 3' beyond actual height.

³ At least one side must have 5' clear.

No accessory structures shall be permitted in townhome private yards.

Parking Standards

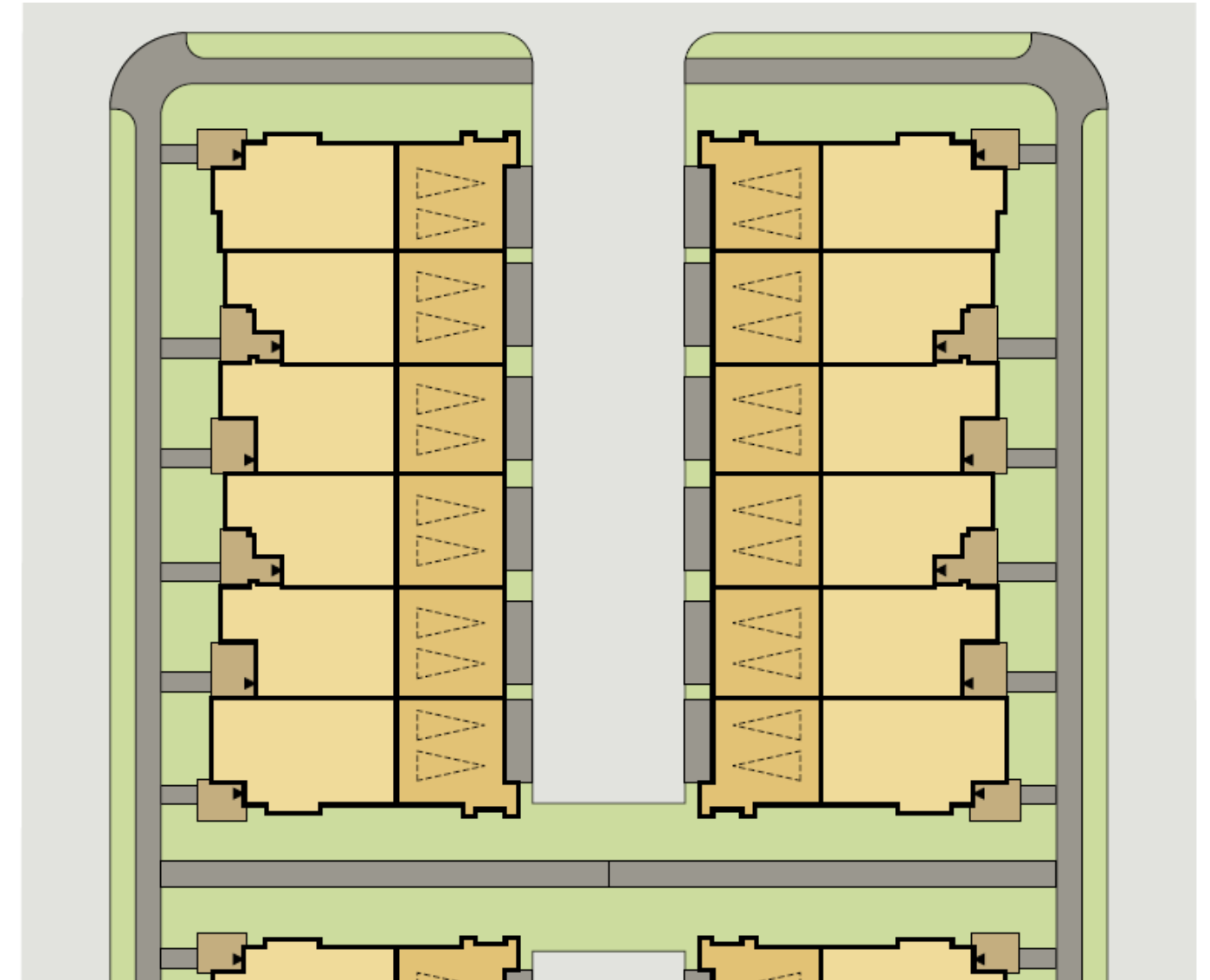
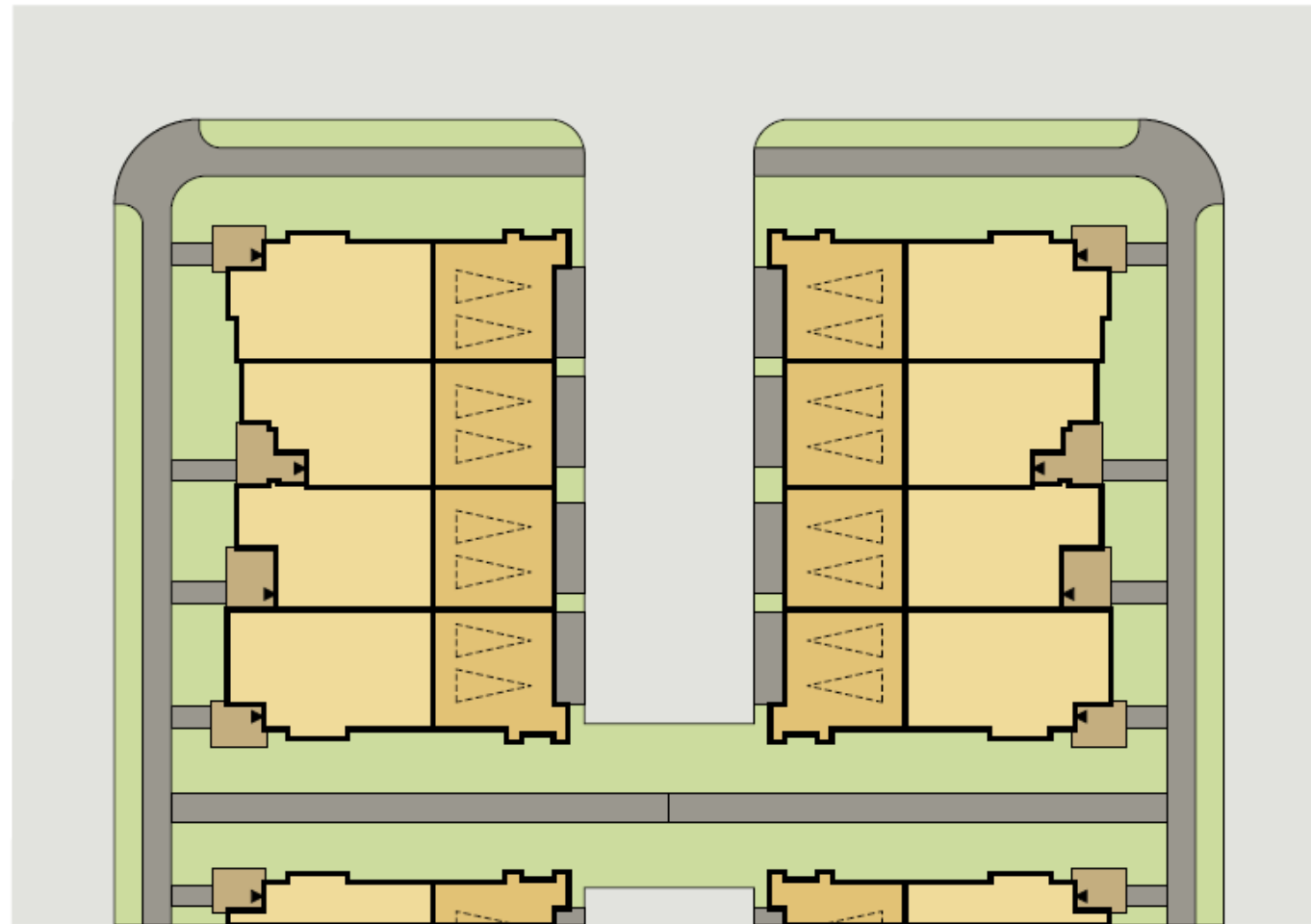
The following are the minimum residential parking requirements:

1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.
2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not

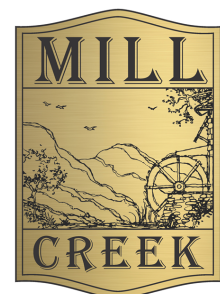
less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.

3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.

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This is a concept plan that shows typical plotting and house requirements for any multi-family attached townhomes. The final design will be provided at the Plot Plan stage of development.



- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Roadway
- Sidewalk/Walkway/Driveway

FIGURE IV-1
MULTI-FAMILY
ATTACHED TOWNHOMES

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Multi-Family Attached Apartments

Multi-family attached apartments may be allowed within PA1 and PA2. Apartments are multi-family homes that typically consist of single-level units stacked above one another, but a portion of the units may also be multi-level in an interlocking configuration. Garages are typically loaded onto private drives. Apartments shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure IV-2, *Multi-Family Attached Apartments*, as well as the development standards provided in Table IV-2, *Multi-Family Attached Apartments*. It is the intent for these units to be under a single common ownership; however, individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA) may be permitted.

Table IV-2
Multi-Family Attached Apartments

Development Standards	
Planning Area	1 or 2
Lot Dimensions (minimum)	
Lot Width	60'
Setbacks (minimum)	
Front Yard – to main structure	5' from walkway
Front Street	20'
Corner Side Yard from Drive Aisle	10' ¹
Street Side Yard	20'
Interior Side Yard	5'
Rear Yard	10' between buildings 5' to carports/garages
Separation Between Buildings	
One story to one story	10'
One story to two or three stories	15'
One story to detached garage	15'
Two stories to two stories	20'
Two stories to three stories	20'
Three stories to three stories	30'
Other	
Maximum Structural Height	40' (3 stories) ²
Minimum Private Open Space	90 square feet Minimum 8' dimension
Minimum Private Storage	300 cubic feet
Encroachments (fireplaces, AC units, media centers)	2' ³

¹ 5' community, 5' private.

² Architectural projections or chimneys may extend up to 3' beyond actual height.

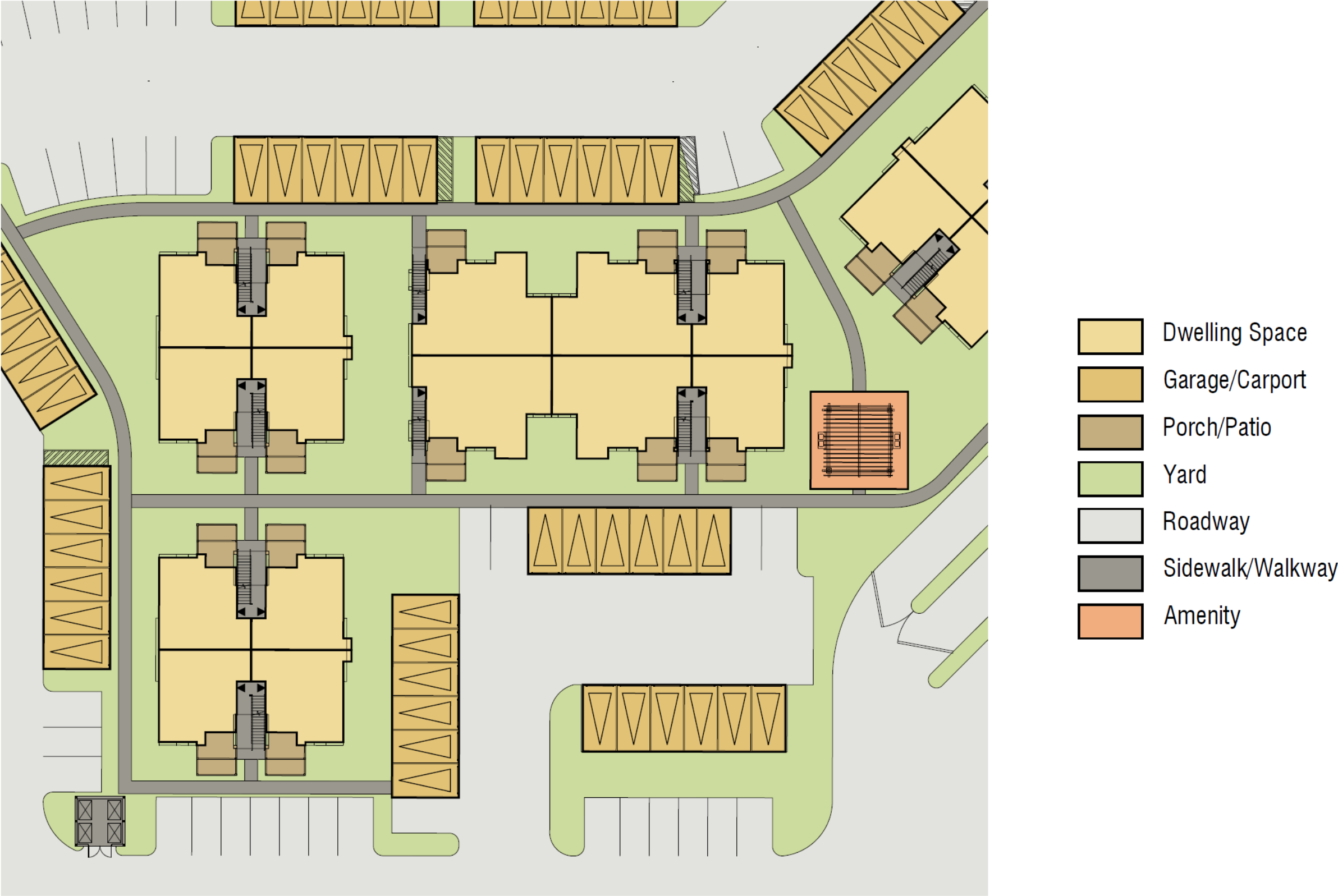
³ At least one side must have 5' clear.

Parking Standards

The following are the minimum residential parking requirements:

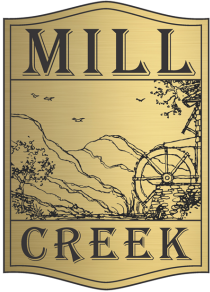
1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.

2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.
3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.



This is a concept plan that shows typical plotting and house requirements for any multi-family attached apartments. The final design will be provided at the Plot Plan stage of development.

FIGURE IV-2
MULTI-FAMILY
ATTACHED APARTMENTS



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Multi-Family Attached Duplex/Triplex

Multi-family attached duplex and triplex homes are allowed within PA1 and PA2 as well. Duplex and triplex homes are multi-family homes plotted with 2 and 3 units per building, respectively. Garages are loaded onto private drives. It is the intent for these units to have individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA). Rear-loaded duplex and triplex homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure IV-3, *Multi-Family Attached Duplex/Triplex*, as well as the development standards provided in Table IV-3, *Multi-Family Attached Duplex/Triplex*.

**Table IV-3
Multi-Family Attached Duplex/Triplex**

Development Standards	
Planning Area	1 or 2
Lot Dimensions (minimum)	
Lot Width	30'
Setbacks (minimum)	
Front Facing Street	8'
Front Facing Green Court	10'
Front-Entry Garage	20'
Street Side	5'
Interior Side	5'
Encroachments	2'
Rear	8'
Rear Entry Garage	3' max
Encroachments	4'
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	24'
Other (maximum)	
Maximum Structural Height	40'
Minimum Private Open Space	100 square feet
Minimum Private Storage	300 cubic feet
Encroachments (fireplaces, AC units, media centers)	2' ¹
Off Street Parking Requirements per DU	2 Spaces/DU

¹ At least one side must have 5' clear.

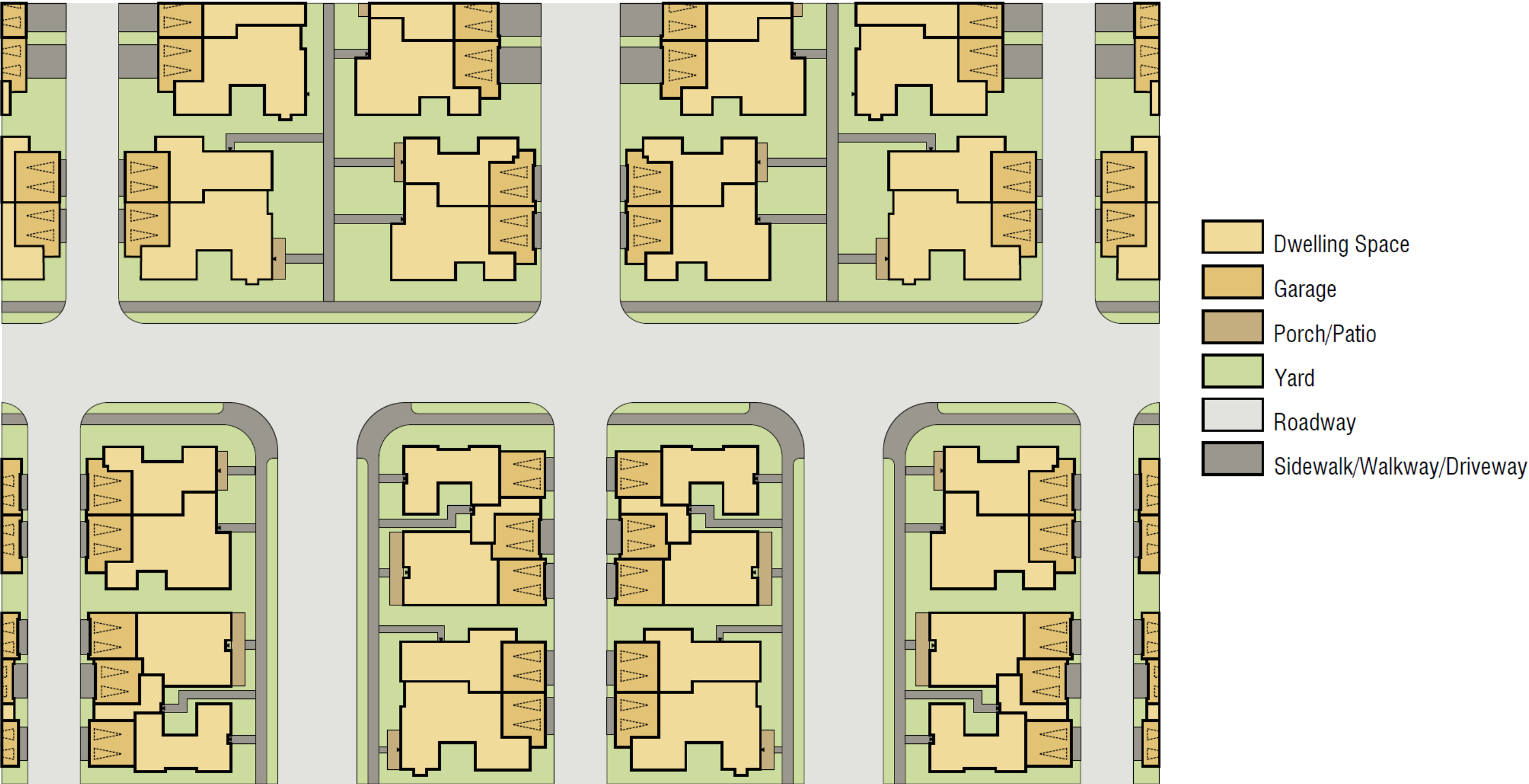
Parking Standards

The following are the minimum residential parking requirements:

1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.
2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not

less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.

3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.



This is a concept plan that shows typical plotting and house requirements for any multi-family attached duplex/triplex. The final design will be provided at the Plot Plan stage of development.

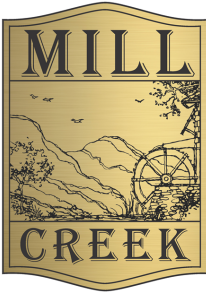


FIGURE IV-3
MULTI-FAMILY
ATTACHED DUPLEX/TRIPLEX

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Multi-Family Attached Courtyards

Multi-family attached courtyards are also allowed within PA1 and PA2. Courtyards are multi-family attached row homes that are grouped around a common private drive or along the driveline, which accesses the garages. It is the intent for these units to have individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA). The front doors are accessed via the courtyard which is internal to the courtyard product. Courtyards shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure IV-4, *Multi-Family Attached Courtyards*, as well as the development standards provided in Table IV-4, *Multi-Family Attached Courtyards*.

Table IV-4
Multi-Family Attached Courtyards

Development Standards	
Planning Area	1 or 2
Lot Dimensions (minimum)	
Lot Width	60'
Setbacks (minimum)	
Front Yard – to main structure	5' from walkway
Front Street Living Space Setback	10'
Corner Side Yard	5' from walkway ¹
Street Side Yard	10'
Separation Between Buildings	10' ²
Interior Side Yard	5'
Rear Yard	5' min yard depth: 10' by width/length of lot
Garage Setbacks	3' max
Other	
Maximum Structural Height	40' (3 stories) ³
Minimum Private Open Space	100 SF Minimum 8' dimension
Minimum Private Storage	300 cubic feet
Encroachments (fireplaces, AC units, media centers)	2' ⁴

¹ 5' community, 5' private.

² Architectural projections (non-living space) may extend up to 12" into setbacks/building separations for a maximum 50% of length of structure wall.

³ Architectural projections or chimneys may extend up to 3' beyond actual height.

⁴ At least one side must have 5' clear.

Parking Standards

The following are the minimum residential parking requirements:

1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.
2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for

trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.

3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.



This is a concept plan that shows typical plotting and house requirements for any multi-family attached courtyards. The final design will be provided at the Plot Plan stage of development.

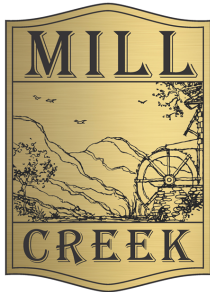


FIGURE IV-4
MULTI-FAMILY
ATTACHED COURTYARDS

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Single-Family Detached Traditional

Single-family detached traditional homes may be allowed within PA1 and PA2. Homes within this Planning Area shall be developed in accordance to the standards provided on Figure IV-5, *Single-Family Detached Traditional*, as well as the development standards provided in Table IV-5, *Single-Family Detached Traditional*.

**Table IV-5
Single-Family Detached: Traditional**

Development Standards	
Planning Area	1 or 2
Lot Dimensions (minimum)	
Minimum Lot Width	35'
Minimum Frontage on cul-de-sac	25'
Setbacks (minimum)	
Minimum Front Yard – to main structure	15'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage Setbacks	20' minimum
Side-in Garage Setbacks	10' minimum
Other (maximum)	
Maximum Structural Height	40'
Minimum Private Storage	300 cubic feet
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	2 Spaces/DU

¹ 5' public, 5' private.

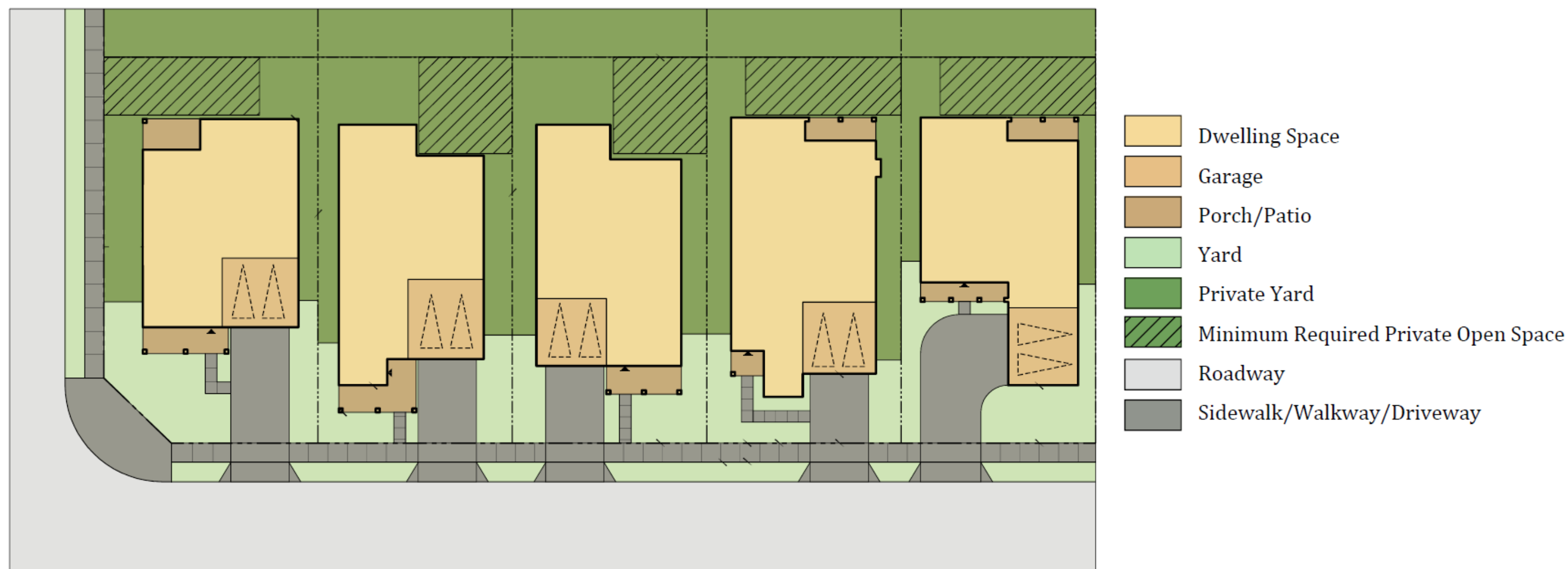
² At least one side must have 5' clear.

Parking Standards

The following are the minimum residential parking requirements:

1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.
2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.
3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for

visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.



This is a concept plan that shows typical plotting and house requirements for any single-family detached traditional homes. The final design will be provided at the Plot Plan stage of development.

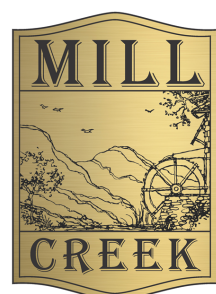


FIGURE IV-5
SINGLE-FAMILY
DETACHED TRADITIONAL

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Single-Family Detached Motor Court

Single-family detached motor court homes are also allowed within PA1 and PA2. Motor Court homes are single-family detached homes grouped around a common private drive which accesses the garages as well as the front doors. It is the intent for these units to have individual owners with a common maintenance entity (i.e., HOA). Motor Court homes within these Planning Areas shall be developed in accordance to the standards provided on Figure IV-6, *Single-Family Detached Motor Court*, as well as the development standards provided in Table IV-6, *Single-Family Detached Motor Court*.

**Table IV-6
Single-Family Detached: Motor Court**

Development Standards	
Planning Area	1 or 2
Lot Dimensions	
Minimum Lot Width	31'
Setbacks (minimums)	
Front Yard – to main structure	4' from walkway/curb
Front Yard – to porch	4' from walkway/curb
Corner Side Yard	5'
Interior Side Yard	5'
Rear Yard	5'
Garage Setbacks	4'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	10'
Rear to Rear Across Alley or Motor Court	24'
Other	
Maximum Structural Height	40'
Minimum Private Storage	300 cubic feet
Minimum Private Open Space	180 sq. ft. Minimum 10' dimension
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹At least one side must have 5' clear.

Parking Standards

The following are the minimum residential parking requirements:

1. Enclosed parking required. Residential parking shall be provided within a parking structure or enclosed one- and two-car garages. Parking spaces shall be assigned to each individual unit.
2. Individual one- and two-car garages. Individual one- and two-car garages shall maintain a minimum clear parking area of not less than 10 feet by 20 feet for a one-car garage and not less than 20 feet by 20 feet for a two-car garage. No storage cabinets, areas designated for trash cans or recyclable containers, or mechanical equipment, including but not limited to, water heaters, utility sinks or washers and dryers, shall encroach into the required parking area.

3. Guest parking requirements. A minimum of one "guest" parking space shall be provided for each two residential units within the residential portion the Specific Plan. These guest parking spaces shall be distributed throughout the residential portion of the Specific Plan in a manner that allows an ease of use between the guest space and the location of the residential units. Guest spaces shall be marked as such and shall remain available for visitors to the property. These spaces are not to be used as additional parking for permanent residents or count towards required commercial parking within the Specific Plan.



This is a concept plan that shows typical plotting and house requirements for any single-family detached motor court homes. The final design will be provided at the Plot Plan stage of development.

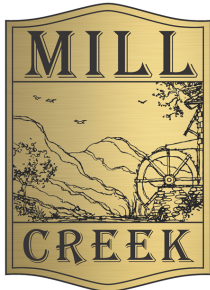


FIGURE IV-6
SINGLE-FAMILY
DETACHED MOTOR COURT

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C. Commercial Retail Development Standards

1. Planning Area 3 Descriptive Summary

Commercial Retail (PA3) provides for the development of 14.85 acres of Commercial Retail and office uses. PA3 is located in the western portion of the Specific Plan, along Haun Road. PA3 is encroached by PA5 at the northwesterly portion of the Planning Area.

PA3 will allow for up to 87,485 square feet (SF) of net retail buildings, 22,154 SF of available office space, and a 7,606 SF restaurant to create a vibrant neighborhood resource with opportunities for shopping, eating, and socialization for residents of the Specific Plan. PA3 will also include a minimum of three garden plazas as required per Section 9.28 of the City's Municipal Code. The commercial component of the Specific Plan will also serve to provide the surrounding community with an opportunity to take advantage of the gathering spaces, restaurants, and retail services.

Primary and secondary vehicular access to PA3 shall be provided from Haun Road. There will also be an access point from Garbani Road. Public sidewalks located along Garbani and Haun Roads, and internal sidewalks shall provide primary pedestrian access to and from PA3. These sidewalks will be part of a comprehensive system that will connect all Planning Areas within the Specific Plan.

2. Planning Area 3 Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure III-10, *Vehicular Circulation Plan*.
- b. Details of commercial retail elevations, pedestrian plazas, entries, architectural elements, massing, and articulation will be provided as illustrated on Figure V-33, *Craftsman/Ranch Commercial Retail Architectural Style*.
- c. Commercial plazas will be provided as illustrated in Figure V-34a, *Garden and/or Plaza Examples* Figure V-34b, *Garden Plaza Plan*.
- d. Commercial entry monumentation will be provided as illustrated in Figure V-23a, *PA3 Commercial Retail Haun Road North Entry Monumentation*, Figure V-23b, *PA3 Commercial Retail Haun Road South Entry Monumentation*, and Figure V-23c, *PA3 Haun/Garbani Roads Corner Treatment*.
- e. A bridge will be constructed from the south Haun Road PA3 entry across PA5 Open Space to connect the southern most portion of PA3 and the central portion of PA3 as shown on Figure V-24, *PA3 Bridge*.
- f. Refer to Chapter V Edge Condition Figures for roadway landscape treatments and edge conditions planned for PA2.
- g. Walls and fencing shall be constructed as delineated in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28a and V-28b, *Conceptual Wall and Fence Details*.
- h. Refer to Chapter V, *Design Guidelines* for other related design criteria.

Permitted (P), conditionally permitted (C), and prohibited uses (-) within Commercial Retail (CR) include those listed below in Table IV-7, *Land Use Regulations - Commercial Retail*, when developed in compliance with the purpose and intent of this Specific Plan.

**Table IV-7
Land Use Regulations - Commercial Retail**

Land Use	Applicable Process	Municipal/Zoning Code Notes
<i>Alcohol</i>		
Alcoholic beverage sales:		
On-site consumption;	C	
Off-site consumption- Primary product of retail outlet;	C	
Off-site consumption- Accessory product of retail outlet;	P	
Breweries, distilleries, and wine making facilities with on-site tasting room and sales for off-site consumption.	P	
<i>Automotive Related Sales and Services</i>		
Automotive parts and accessory stores.	P	
Automotive services/repairs (e.g., tune-ups, emission tests, brakes, tires, batteries, electrical, etc.).	P	Activity must be conducted entirely within an enclosed building. Incidental, screened, outdoor storage is allowed.
Automotive repairs - major (e.g., engine and transmission repair/rebuild, etc.).	C	Services must take place entirely within an enclosed building. Incidental outdoor storage is allowed with minimum six (6) foot block/masonry wall surrounding storage.
Vehicle storage and impoundment within an enclosed building.	-	
Boat sales, new and used. Boat sales, new and used.	-	
Body, paint and upholstery shops.	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Car wash - full or self-service.	C	
Gas station with/without a mini- market.	C	
Motorcycle sales/service.	C	Services conducted entirely within an enclosed building.
Motor vehicle sales, new and used (Including repairs associated with sales).	C	
Motor vehicle, trailer or boat storage.		
Indoor;	-	
Outdoor.	-	
Parking:		
Commercial lot/garage.	-	
Towing services (with tow truck parking - no auto storage).	-	
Trailer and mobile home sales and rental.	-	
Rental:		
Automobiles;	C	
Truck, trailer and van;	-	
Equipment;	-	
Construction equipment.	-	
<i>Day Care Facilities</i>		
Commercial - more than 14 children.	C	
Large family home day care (8-14 children).	-	
Small family home day care (fewer than 8 children).	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
<i>Eating/Drinking Places and Food Services</i>		
Banquet facilities.	C	
Bar/cocktail lounge.	C	
Catering establishment (Includes truck parking).	P	
Coffeehouse: No Live Entertainment; With live entertainment.	P C	
Fast food/quick service: With drive-through; Without drive-through.	P P	
Food truck	P	See Zoning Chapter 9.98 "Mobile Food Vendors".
Restaurants: Sit down/full service; Outdoor dining.	P P	
Restaurants with breweries, distilleries and wine making facilities with sales for on-site and off-site consumption.	P	
<i>Entertainment and Recreation</i>		
Adult-oriented business.	-	
Amusement park (including multiple activities such as simulated flying, racing, dragster, slick track, skate park, etc.): Within a building; Outside.	P -	A CUP is required for the sale/provision of alcohol.
Athletic fields.	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Auditoriums and other public/private assembly facilities (including live entertainment): Indoor; Outdoor.	P -	
Batting cages: Indoor; Outdoor.	P -	
Motocross Facilities: Bicycle (BMX) course; Off-road mini-bike course.	- -	
Billiard parlor/pool hall.	P	A CUP is required for the sale/provision of alcohol.
Bowling center.	P	A CUP is required for the sale/provision of alcohol.
Cybercafe.	P	
Go-cart track: Indoor; Outdoor.	- -	
Golf course - Miniature.	-	
Golf course - Full Course.	-	
Golf driving range (not in association with full scale course).	-	
Health club/gymnasium; Indoor.	P	
Private clubs and lodges.	C	
Movie theater.	P	
Recording and sound studio.	P	
Simulated shooting games: Indoor (laser tag, etc.); Outdoor (paintball, etc.).	P -	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Shooting range; Indoor.	-	
Skate park: Commercial; Private.	- -	
Skating rink (ice/roller).	C	
Smoking Lounge.	C	
Stadium/sport arena.	-	
Tennis/swim club; Outdoor (not assoc. with larger sporting facility).	-	
Video/electronic/computer game arcade.	P	Services must be conducted within an enclosed building.
<i>Lodging</i>		
Hotel.	P	
Motel.	-	
Bed and Breakfast Inn.	C	See Zoning Chapter 9.47 "Bed and Breakfast Facilities".
Recreational vehicle parks and campgrounds, not exceeding a density often (10) units to the acre.	-	
<i>Retail/Wholesale Sales</i>		
Adult book store.	-	
Antique shop.	P	
Art galleries and art supply store.	P	
Auction facility (non-vehicle): Indoor (includes storage); Outdoor.	P -	Temporary or one-time event, see Zoning Chapter 9.48 "Temporary Uses".

Land Use	Applicable Process	Municipal/Zoning Code Notes
Auction facility (vehicle).	-	
Bakeries: Retail only; Wholesale.	P C	
Bicycle shop, sales and repair.	P	
Hardware store: Within enclosed building; With outdoor storage/sales.	P C	Outdoor nursery/plant sales up to 25% of building floor area. 26% nursery/plant sales, see "Agriculture".
Camera and photographic supplies.	P	
Farmer's market, open air market, craft or job fair.	C	See Zoning Chapter 9.72 "Farmer's Market, Open Air Market, Craft or Job Fair".
Candy, confectionery.	P	
Computer, radio, television, and small electrical appliance shop (with incidental repair).	P	No outdoor storage.
Drug store.	P	A CUP is required for the sale/provision of alcohol.
Feed store.	-	
Florist shop.	P	
Furniture and home furnishing store.	P	
Department store.	P	
Discount/Variety store (new items only).	P	
Gift and/or souvenir store.	P	
Grocery store.	P	
Guns and ammunition store.	C	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Hobby, toy and game store.	P	
Household appliance store. Household appliance store.	P	All outdoor storage must be screened by a block/masonry wall at least six (6) feet in height.
Multi-tenant retail shopping center.	P	New merchandise, collectables and antiques only (Not a "Swap Meet").
Kiosk, non-vehicular.	P	
Music, record and video sales	P	
Office supply and/or stationary store.	P	
Pawnbroker/pawnshop facilities.	C	Gun/ammunition sales, see "Gun and ammunition store" above.
Pet and pet supply store.	P	
Secondhand and thrift store.	C	No outdoor display or storage.
Sporting goods store.	P	Gun/ammunition sales, see "Gun and ammunition store" above.
Swap meets: Indoor; Outdoor.	C -	
Warehouse/club store: Stand-alone facility under 50,000 sq. ft.; Stand-alone facility 50,000 sq. ft. or larger.	P C	
Warehouse/club store: Within a complex/center regardless of size.	C	
Wholesale stores and distributors.	C	Services must be conducted entirely within an enclosed building.

Land Use	Applicable Process	Municipal/Zoning Code Notes
<i>Services</i>		
Ambulance service.	C	
Blueprinting.	P	
Facilities where charitable donations are: Received and/or processed and/or sold.	C	Standalone donation boxes are prohibited.
Exterminating.	C	Offices only, no hazardous materials storage.
Small equipment rental (lawn mowers, cement mixer, mobile pumps, trailers, pick-up trucks, etc.).	-	
Large equipment rental (trucks with beds over 18 feet in length, eighteen plus (18+) wheelers, bulldozers, construction lifts and cranes).	-	
General office uses.	P	
Photocopying/duplicating.	P	
Photographic studio.	P	
Physical Therapy.	P	
Financial services: Banks/credit unions; Check cashing/payday advance; Mortgage/lending.	P C P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Personal services: Barber shop; Beauty or nail salon; Dry cleaner; Massage parlor; Massage therapy office; Pet grooming; Tailor; Tattoo/body piercing.	P P P C P C P -	See Zoning Chapter 9.115 "Massage Establishments" and Zoning Chapter 5.45 "Massage Establishments"
Cemeteries and mausoleums.	-	
Funeral parlor, mortuary with crematorium.	-	
Laundry-Commercial: 2,500 sq. ft. or less; More than 2,500 sq. ft.; Self-serve.	P C P	
Medical marijuana dispensary or facility.	-	
Taxidermy.	-	
Fortune telling.	C	
Kennel, public or private.	C	See Zoning Chapter 9.64 "Animal Regulations".
Recycling collection facilities: 500 or less square feet; More than 500 square feet.	P C	May not be located where adjacent to the freeway right-of-way.

Land Use	Applicable Process	Municipal/Zoning Code Notes
Repair service: Computer, home electronic and small appliances; Electrical equipment, industrial; Furniture refinishing; Furniture re-upholstery; Home appliances; Jewelry/watches/clocks; Lawnmower/garden equipment; Locksmith/key shop; Shoe repair.	P P P P P P P P	Services must be conducted entirely within an enclosed building, outdoor storage is not allowed.
<i>Agricultural</i>		
Plant nurseries: Retail Sales, indoor or outdoor; Cultivation of plants, indoor or outdoor.	C C	Excludes materials yards.
Marijuana Cultivation.	-	
<i>Institutional Uses</i>		
Animal hospital: Small animals; Large animals.	P C	No exterior kennels, pens or similar enclosures.
Assisted living/community care facilities.	C	
Churches, synagogues, temples and other religious facilities.	C	
Community center.	P	
Congregate care facility.	C	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Convalescent hospital/care facility.	C	
Governmental facility.	P	
Hospital.	C	
Research and development laboratory.	P	Services must be conducted completely within an enclosed building.
School: Private; Public; Vocational/trade school; University/college.	P P P C	Public schools are regulated by the State.
<i>Residential Uses</i>		
Caretaker's residence.	P	Max. size 1,200 sq. ft., and must be occupied by active employee of company on site, cannot be rented.
Emergency and homeless shelters.	P	As mandated by state law.
Live/work units.	C	Subject to the residential percentages limits of the General Plan.
Multi-family dwellings.	-	
Second dwelling units.	-	
Single-family residences.	-	
Contractor storage yard (no retail sales).	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Public Self-Storage.	-	
Private materials yard (outdoor storage of privately owned materials not associated with a commercial activity).	-	
Lumber yard.	-	
Material storage yard (wholesale sales).	-	
Parcel delivery service	P	
Warehouses and storage buildings.	-	
<i>Transportation, Communication and Utilities</i>		
Communication facilities; Cell towers.	C	See Zoning Chapters 9.100 "Wireless Communications" and 9.102 "Antenna and Satellite Regulations".
Transportation facilities: Bus stops; Truck stops; Heliport; Airport; Carpool facility/lot.	P - - - P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Utility: Service uses and structures; Utility offices.	- P	Commercial solar fields or wind farms are expressly prohibited.
<i>Industrial Uses</i>		
Jewelry manufacture and repair;	P	
Light Manufacturing of food, lumber, wood, and paper products; Grain and bakery products; Sugar and confectionary products; Nonalcoholic beverages; Ice; Manufacture of furniture and fixtures including cabinets, partitions, and similar items; Mulch production; Printing and publishing or newspapers, periodicals, books, forms, cards, and similar items; Binding of books and other publications; Rendering (no on-site slaughtering).	- - - - - - - -	
Textile and leather products: Wearing apparel and accessory products; Manufacture of handbags luggage, footwear, and other personal leather goods.	- -	
Chemical and glass products: Pharmaceutical manufacture; Glassblowing, pressing, cutting and other glassware products.	- -	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Metal, machinery, and electrical products: Manufacture, assembly, testing and repair of components, devices equipment and systems of an electrical, electronic, or electro mechanical nature, such as, but not limited to:		
a) Television and radio equipment and systems;	-	
b) Phonographs and audio units;	-	
c) Metering instruments, equipment and systems;	-	
d) Radar, infrared and ultraviolet equipment and systems;	-	
e) Coils, tubes, semiconductors and similar components;	-	
f) Scientific and mechanical instruments;	-	
g) Data processing equipment and systems;	-	
h) Communications, navigation control, transmission and reception equipment, control equipment and systems, guidance equipment and systems;	-	
i) Musical and recording equipment.	-	
Office and computing machine Manufacturing; Control devices and gauges; Manufacture of light fixtures and supplies.	- - -	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Engineering and scientific instruments: Manufacture and repair of engineering, scientific, and medical instrumentation including but not limited to:		
a) Measuring devices, watches, clocks, and related items;	-	
b) Optical goods;	-	
c) Medical, and dental instruments;	-	
d) Engineering, survey, and drafting instruments;	-	
e) Photographic equipment.	-	
Solar power generating facilities.	-	
Recycling processing facilities conducted on an industrial scale.	-	
<i>Accessory Uses</i>		
Attached, unenclosed patio roofs, decks, porches, awnings, canopies and other similar shading devices and structures. Attached, unenclosed patio roofs, decks, porches, awnings, canopies and other similar shading devices and structures.	P	
<i>Temporary and Interim Uses (See Zoning Chapter 9.48 "Temporary Uses")</i>		

PA3 shall be developed in accordance to the guidelines, including the commercial site elements, provided on Figure V-33, *Craftsman/Ranch Commercial Retail Architectural Style*, as well as the development standards provided in Table IV-8, *Commercial Retail Development Standards*, below.

**Table IV-8
Commercial Retail Development Standards**

Development Feature	
Minimum Parcel Size	20,000 square feet
Minimum Parcel Width	100 x 150 feet
Setbacks Required (minimum)	
Front Street – Haun Road	20' - 40' ¹
Street Side Yard – Garbani Road	24'
Building Separation	20'
Glazing Requirement Facing Haun Road/Garbani Road	40% minimum of total wall surface square feet
Glazing Requirement Facing Away from Haun Road/Garbani Road	20% minimum of wall surface square feet
Maximum Height Limit	50' (3 stories)
Minimum On-site Landscaping per Parcel ²	10%

¹ **Varies.**

² See Chapter 15.04 of the Menifee Development Code, Landscape Water Use Efficiency Requirements.

Parking Standards

Parking shall be provided for the commercial uses in PA3, in accordance with Riverside County Zoning Ordinance No. 348, Article XVIII (General Provisions), Section 18.12 (Off-Street Vehicle Parking), as outlined in the City of Menifee's Municipal Code.

D. Business Park Development Standards

1. Planning Area 4 Descriptive Summary

Planning Area 4 (PA4) provides for the development a 33,171 SF single story industrial center on approximately 2.79 acres. PA4 is located in the southern portion of the Specific Plan with PA3 to the west, PA5 to the north and east, and adjacent off-site industrial uses to the south.

Primary vehicular access to PA4 will be provided through PA3. Internal sidewalks shall provide primary pedestrian access to and from PA4. These sidewalks will be part of a comprehensive system that will connect all Planning Areas within the Specific Plan.

2. Planning Area 4 Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure III-10, *Vehicular Circulation Plan*.
- b. Details of business park elevations, entries, architectural elements, massing, and articulation will be provided as illustrated on Figure V-35, *Contemporary Business Park Architectural Style*.
- c. Outdoor seating will be provided as illustrated in Figure V-36, *Outdoor Seating Examples*.
- d. Business park entry monumentation will be provided as illustrated in Figure V-25, *PA4 Business Park Entry Monumentation*.
- e. Refer to Chapter V Edge Condition Figures for roadway landscape treatments and edge conditions planned for PA4.
- f. Walls and fencing shall be constructed as delineated in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28a and V-28b, *Conceptual Wall and Fence Details*.
- g. Refer to Chapter V, *Design Guidelines* for other related design criteria.

Permitted (P), conditionally permitted (C), and prohibited uses (-) within Business Park (BP) include those listed below in Table IV-9, *Land Use Regulations – Business Park*, when developed in compliance with the purpose and intent of this Specific Plan.

**Table IV-9
Land Use Regulations – Business Park**

Land Use	Applicable Process	Municipal/Zoning Code Notes
<i>Alcohol</i>		
Alcoholic beverage sales:		
On-site consumption;	C	
Off-site consumption- Primary product of retail outlet;	C	
Off-site consumption- Accessory product of retail outlet;	P	
Breweries, distilleries, and wine making facilities with on-site tasting room and sales for off-site consumption.	P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
<i>Automotive Related Sales and Services</i>		
Automotive parts and accessory stores.	P	
Automotive services/repairs (e.g., tune-ups, emission tests, brakes, tires, batteries, electrical, etc.).	P	Activity must be conducted entirely within an enclosed building. Incidental, screened, outdoor storage is allowed.
Automotive repairs - major (e.g., engine and transmission repair/rebuild, etc.).	C	Services must take place entirely within an enclosed building. Incidental outdoor storage is allowed with minimum six (6) foot block/masonry wall surrounding storage.
Vehicle storage and impoundment within an enclosed building.	-	
Boat sales, new and used. Boat sales, new and used.	C	
Body, paint and upholstery shops.	C	
Car wash - full or self-service.	-	
Gas station with/without a mini-market.	-	
Motorcycle sales/service.	C	Services conducted entirely within an enclosed building.
Motor vehicle sales, new and used (Including repairs associated with sales).	C	
Motor vehicle, trailer or boat storage. Indoor; Outdoor.	C -	Services conducted entirely within an enclosed building

Land Use	Applicable Process	Municipal/Zoning Code Notes
Parking: Commercial lot/garage.	-	
Towing services (with tow truck parking - no auto storage).	-	
Trailer and mobile home sales and rental.	-	
Rental:		
Automobiles;	C	
Truck, trailer and van;	C	
Equipment;	C	
Construction equipment.	C	
<i>Day Care Facilities</i>		
Commercial - more than 14 children.	C	
Large family home day care (8-14 children).	-	
Small family home day care (fewer than 8 children).	-	
<i>Eating/Drinking Places and Food Services</i>		
Banquet facilities.	-	
Bar/cocktail lounge.	C	
Catering establishment (Includes truck parking).	P	
Coffeehouse: No Live Entertainment; With live entertainment.	P -	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Fast food/quick service: With drive-through; Without drive-through.	- -	
Food truck	P	See Zoning Chapter 9.98 "Mobile Food Vendors".
Restaurants: Sit down/full service; Outdoor dining.	P P	
Restaurants with breweries, distilleries and wine making facilities with sales for on-site and off-site consumption.	P	
<i>Entertainment and Recreation</i>		
Adult-oriented business.	-	
Amusement park (including multiple activities such as simulated flying, racing, dragster, slick track, skate park, etc.): Within a building; Outside.	P -	A CUP is required for the sale/provision of alcohol.
Athletic fields.	-	
Auditoriums and other public/private assembly facilities (including live entertainment): Indoor; Outdoor.	P -	A CUP is required for the sale/provision of alcohol.
Batting cages: Indoor; Outdoor.	P P	
Motocross Facilities: Bicycle (BMX) course; Off-road mini-bike course.	- -	
Billiard parlor/pool hall.	P	A CUP is required for the sale/provision of alcohol.

Land Use	Applicable Process	Municipal/Zoning Code Notes
Bowling center.	P	A CUP is required for the sale/provision of alcohol.
Cybercafe.	P	
Go-cart track: Indoor; Outdoor.	P -	
Golf course - Miniature.	-	
Golf course - Full Course.	-	
Golf driving range (not in association with full scale course).	-	
Health club/gymnasium; Indoor.	P	
Private clubs and lodges.	C	
Movie theater.	-	
Recording and sound studio.	P	
Simulated shooting games: Indoor (laser tag, etc.); Outdoor (paintball, etc.).	P -	
Shooting range; Indoor.	C	
Skate park: Commercial; Private.	C C	Indoor Only.
Skating rink (ice/roller).	C	
Smoking Lounge.	C	
Stadium/sport arena.	-	
Tennis/swim club; Outdoor (not assoc. with larger sporting facility).	P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Video/electronic/computer game arcade.	-	
<i>Lodging</i>		
Hotel.	P	
Motel.	-	
Bed and Breakfast Inn.	-	
Recreational vehicle parks and campgrounds, not exceeding a density often (10) units to the acre.	-	
<i>Retail/Wholesale Sales</i>		
Adult book store.	-	
Antique shop.	P	
Art galleries and art supply store.	P	
Auction facility (non-vehicle): Indoor (includes storage); Outdoor.	P -	Temporary or one-time event, see Zoning Chapter 9.48 "Temporary Uses".
Auction facility (vehicle).	-	
Bakeries: Retail only; Wholesale.	P C	
Bicycle shop, sales and repair.	P	
Hardware store: Within enclosed building; With outdoor storage/sales.	P C	Outdoor nursery/plant sales up to 25% of building floor area. 26% nursery/plant sales, see "Agriculture".
Camera and photographic supplies.	P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Farmer's market, open air market, craft or job fair.	P	See Zoning Chapter 9.72 "Farmer's Market, Open Air Market, Craft or Job Fair" and Temporary or one-time event, see Zoning Chapter 9.48 "Temporary Uses".
Candy, confectionery.	P	
Computer, radio, television, and small electrical appliance shop (with incidental repair).	P	No outdoor storage.
Drug store.	-	
Feed store.	-	
Florist shop.	P	
Furniture and home furnishing store.	P	
Department store.	-	
Discount/Variety store (new items only).	-	
Gift and/or souvenir store.	-	
Grocery store.	-	
Guns and ammunition store.	C	
Hobby, toy and game store.	P	
Household appliance store. Household appliance store.	P	All outdoor storage must be screened by a block/masonry wall at least six (6) feet in height.
Multi-tenant retail shopping center.	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Kiosk, non-vehicular.	-	
Music, record and video sales	P	
Office supply and/or stationary store.	P	
Pawnbroker/pawnshop facilities.	C	Gun/ammunition sales, see "Gun and ammunition store" above.
Pet and pet supply store.	P	
Secondhand and thrift store.	C	No outdoor display or storage.
Sporting goods store.	P	Gun/ammunition sales, see "Gun and ammunition store" above.
Swap meets: Indoor; Outdoor.	C -	
Warehouse/club store: Stand-alone facility under 50,000 sq. ft.; Stand-alone facility 50,000 sq. ft. or larger.	P C	
Warehouse/club store: Within a complex/center regardless of size.	C	
Wholesale stores and distributors.	C	Services must be conducted entirely within an enclosed building.
Services		
Ambulance service.	C	
Blueprinting.	P	
Facilities where charitable donations are: Received and/or processed and/or sold.	C	Standalone donation boxes are prohibited.

Land Use	Applicable Process	Municipal/Zoning Code Notes
Exterminating.	C	Offices only, no hazardous materials storage.
Small equipment rental (lawn mowers, cement mixer, mobile pumps, trailers, pick-up trucks, etc.).	C	May not be located where adjacent to the freeway right-of-way.
Large equipment rental (trucks with beds over 18 feet in length, eighteen plus (18+) wheelers, bulldozers, construction lifts and cranes).	-	
General office uses.	P	
Photocopying/duplicating.	P	
Photographic studio.	P	
Physical Therapy.	P	
Financial services: Banks/credit unions; Check cashing/payday advance; Mortgage/lending.	P - P	
Personal services: Barber shop; Beauty or nail salon; Dry cleaner; Massage parlor; Massage therapy office; Pet grooming; Tailor; Tattoo/body piercing.	- - - - - C P -	
Cemeteries and mausoleums.	-	
Funeral parlor, mortuary with crematorium.	C	
Laundry-Commercial: 2,500 sq. ft. or less; More than 2,500 sq. ft.; Self-serve.	P C P	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Medical marijuana dispensary or facility.	-	
Taxidermy.	-	
Fortune telling.	C	
Kennel, public or private.	C	See Zoning Chapter 9.64 "Animal Regulations".
Recycling collection facilities: 500 or less square feet; More than 500 square feet.	P C	May not be located where adjacent to the freeway right-of-way.
Repair service: Computer, home electronic and small appliances; Electrical equipment, industrial; Furniture refinishing; Furniture re-upholstery; Home appliances; Jewelry/watches/clocks; Lawnmower/garden equipment; Locksmith/key shop; Shoe repair.	P P P P P P P P P	Services must be conducted entirely within an enclosed building, outdoor storage is not allowed.
<i>Agricultural</i>		
Plant nurseries: Retail Sales, indoor or outdoor; Cultivation of plants, indoor or outdoor.	C C	Excludes materials yards.
Marijuana Cultivation.	-	
<i>Institutional Uses</i>		
Animal hospital: Small animals; Large animals.	P C	No exterior kennels, pens or similar enclosures.

Land Use	Applicable Process	Municipal/Zoning Code Notes
Assisted living/community care facilities.	-	
Churches, synagogues, temples and other religious facilities.	C	
Community center.	-	
Congregate care facility.	-	
Convalescent hospital/care facility.	-	
Governmental facility.	P	
Hospital.	-	
Research and development laboratory.	P	Services must be conducted completely within an enclosed building.
School: Private; Public; Vocational/trade school; University/college.	P P P C	Public schools are regulated by the State.
<i>Residential Uses</i>		
Caretaker's residence.	P	Max. size 1,200 sq. ft. and must be occupied by active employee of company on site, cannot be rented.
Emergency and homeless shelters.	P	As mandated by state law.
Live/work units.	-	
Multi-family dwellings.	-	
Second dwelling units.	-	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Single-family residences.	-	
<i>Storage</i>		
Contractor storage yard (no retail sales).	C	Storage yards may not be located adjacent to the freeway right-of-way.
Public Self-Storage.	-	
Private materials yard (outdoor storage of privately owned materials not associated with a commercial activity).	-	
Lumber yard.	C	
Material storage yard (wholesale sales).	C	
Parcel delivery service	P	
Warehouses and storage buildings.	C	Services must be conducted entirely within an enclosed building.
<i>Transportation, Communication and Utilities</i>		
Communication facilities; Cell towers.	C	See Zoning Chapters 9.100 "Wireless Communications" and 9.102 "Antenna and Satellite Regulations".

Land Use	Applicable Process	Municipal/Zoning Code Notes
Transportation facilities: Bus stops; Truck stops; Heliport; Airport; Carpool facility/lot.	P - - - P	
Utility: Service uses and structures; Utility offices.	P P	Regulated by the PUC; Commercial solar fields or wind farms are expressly prohibited.
<i>Industrial Uses</i>		
Jewelry manufacture and repair;	P	
Light Manufacturing of food, lumber, wood, and paper products; Grain and bakery products; Sugar and confectionary products; Nonalcoholic beverages; Ice; Manufacture of furniture and fixtures including cabinets, partitions, and similar items; Mulch production; Printing and publishing or newspapers, periodicals, books, forms, cards, and similar items; Binding of books and other publications; Rendering (no on-site slaughtering).	C C C C C - C C -	Food Processing (topics 1-4) are subject to regulations from the Department of Environmental Health. Food Processing (topic 9) is subject to regulations from the Department of Environmental Health.
Textile and leather products: Wearing apparel and accessory products; Manufacture of handbags luggage, footwear, and other personal leather goods.	C C	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Chemical and glass products: Pharmaceutical manufacture; Glassblowing, pressing, cutting and other glassware products.	C C	
Metal, machinery, and electrical products: Manufacture, assembly, testing and repair of components, devices equipment and systems of an electrical, electronic, or electro mechanical nature, such as, but not limited to:		
a) Television and radio equipment and systems;	C	
b) Phonographs and audio units;	C	
c) Metering instruments, equipment and systems;	C	
d) Radar, infrared and ultraviolet equipment and systems;	C	
e) Coils, tubes, semiconductors and similar components;	C	
f) Scientific and mechanical instruments;	C	
g) Data processing equipment and systems;	C	
h) Communications, navigation control, transmission and reception equipment, control equipment and systems, guidance equipment and systems;	C	
i) Musical and recording equipment.	C	

Land Use	Applicable Process	Municipal/Zoning Code Notes
Office and computing machine Manufacturing; Control devices and gauges; Manufacture of light fixtures and supplies.	P P P	
Engineering and scientific instruments: Manufacture and repair of engineering, scientific, and medical instrumentation including but not limited to:		Indoor Only. No outdoor storage.
a) Measuring devices, watches, clocks, and related items;	P	
b) Optical goods;	P	
c) Medical, and dental instruments;	P	
d) Engineering, survey, and drafting instruments;	P	
e) Photographic equipment.	P	
Solar power generating facilities.	-	
Recycling processing facilities conducted on an industrial scale.	-	
<i>Accessory Uses</i>		
Attached, unenclosed patio roofs, decks, porches, awnings, canopies and other similar shading devices and structures. Attached, unenclosed patio roofs, decks, porches, awnings, canopies and other similar shading devices and structures.	P	

PA4 shall be developed in accordance to the guidelines, including the commercial site elements, provided on Figure V-35, *Contemporary Business Park Architectural Style*, as well as the development standards provided in Table IV-10, *Business Park Development Standards*.

**Table IV-10
Business Park Development Standards**

Development Feature	
Minimum Parcel Size	20,000 square feet
Minimum Parcel Width	100 x 150 feet
Setbacks Required (minimum)	
Front Street	20'
Interior Side Yard	10'
Rear	10'
Setback to any Adjacent Residential	40'
Maximum Height Limit	50' (3 stories)
Minimum On-site Landscaping per Parcel ²	10%

¹ See Chapter 15.04 of the Menifee Development Code, Landscape Water Use Efficiency Requirements.

Parking Standards

Parking shall be provided for the business park uses in PA4, in accordance with Riverside County Zoning Ordinance No. 348, Article XVIII (General Provisions), Section 18.12 (Off-Street Vehicle Parking), as outlined in the City of Menifee's Municipal Code.

E. Open Space Conservation Development Standards

1. Planning Area 5 Descriptive Summary

Planning Area 5 (PA5) is approximately 1.69 acres and is designated Open Space Conservation (OS-C). PA5 will be undeveloped.

PA5 will be separated from Planning Areas 1, 2, 3, and 4 by landscaping that will provide a buffer area reference Figure V-1, *Landscape Theme Plan*. This landscape buffer area will be planted with materials that are contained within Figure V-2, *Plant Palette*, and will be compatible with one another in terms of species.

2. Planning Area 5 Planning Standards

- a. Refer to Chapter V Edge Condition Figures for landscape treatments and edge conditions planned for PA5.
- b. Walls and fencing shall be constructed as delineated in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28a and V-28b, *Conceptual Wall and Fence Details*.
- c. Refer to Chapter V, *Design Guidelines* for other related design criteria.

F. Project Wide Development Standards

Project wide development standards can be found in within each subchapter of Chapter III, *Community Development Plan*. These Project wide development standards are applicable to each planning area. For Project-wide development standards please refer to the following Subchapters:

- III.A - Land Use Plan
- III.B - Circulation Plan
- III.C - Public Facilities Plan
- III.D - Grading Plan
- III.E - Phasing Plan

Chapter V, *Design Guidelines*, discusses landscape and architectural design guidelines that will govern the design character of the community. However, it's important to note the difference between standards and guidelines included herein. Chapter III, *Community Development Plan*, and Chapter IV, *Development Standards*, establish a required level of quality or attainment. In contrast, Chapter V, *Design Guidelines*, provides general project wide guidelines and are not mandatory. The purpose of the Design Guidelines is intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, and builders. The Design Guidelines are discussed in greater detail in the following chapter.

V. Design Guidelines

A. Introduction

The following Design Guidelines are intended to provide a general framework for the physical design of the Mill Creek Specific Plan (Specific Plan). The purpose of these Design Guidelines is to establish planning and architectural themes and to promote aesthetic quality along with community diversity.

These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, builders and others involved in the design of community elements. Variation and customization within the context of the guidelines by a builder is encouraged in order to achieve individually distinctive neighborhoods complemented by recreational amenities and neighborhood linkages. To that end, these guidelines establish a design framework to help the City of Menifee staff, decision makers, citizens, design professionals, and developers understand and implement this Project. Any pictures presented in this Chapter are intended to convey the general design purpose of the Guidelines and are not intended to require the specific design style depicted. Thus, these guidelines identify actions or outcomes that are encouraged but not mandatory.

The following Design Guidelines are divided into two subchapters: V.B, *Landscape Design Guidelines* and V.C, *Architectural Design Guidelines*.

B. Landscape Design Guidelines

1. Purpose

The Landscape Design Guidelines are intended to promote a sense of identity that provides visual cohesiveness of the various residential, recreational, commercial/office, and business parkland uses within the Specific Plan. As demonstrated by Figure V-1, *Landscape Theme Plan*, careful thought has been given to integrate the structural and aesthetic elements of a balanced community through the cohesion established by a comprehensive landscape design. Thematic elements shall assist in establishing the overall design theme for the Specific Plan.

2. Community Theme Concept

As described in greater detail below, these Landscape Design Guidelines are composed of seven (7) major thematic landscape elements. Thematic elements are generally considered major Project improvements that occur at the community or neighborhood level and which assist in establishing the overall design theme for this Specific Plan.

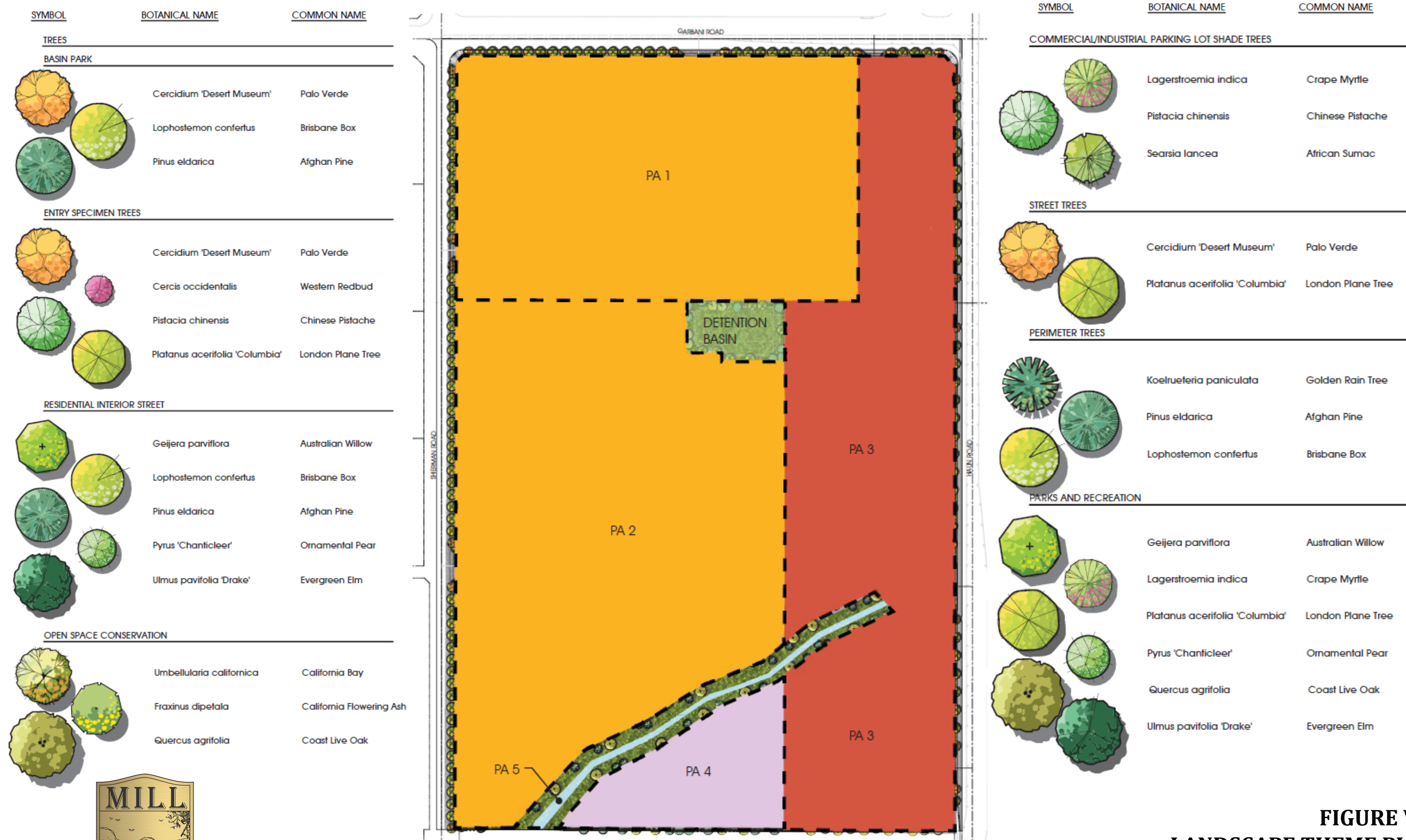
The seven (7) thematic elements include:

- Community Theme Concept;
- Plant Palette;
- Streetscapes;
- Entry Monuments;
- Open Space and Recreation;
- Walls & Fences; and

- Lighting.

These thematic landscape elements occur throughout the community and unite the Specific Plan under a common design theme. General design guidelines and design criteria for the community landscape elements are described throughout this Chapter. The landscape plant palette, which is discussed in greater detail below, (see Figure V-2, *Landscape Plant Palette*), lists the recommended species to be used in the specific areas described in the Landscape Guidelines.

Finally, these Landscape Design Guidelines are provided as a resource to those involved in the design and implementation of this Specific Plan, and—illustrative in nature—are meant to be flexible and respond to changes in taste and environmental concerns over time.



Final locations for street trees will be determined at the Plot Plan stage of development.

FIGURE V-1
LANDSCAPE THEME PLAN



Cercidium 'Desert Museum'



Lagerstroemia indica



Cercis occidentalis

Botanical Name	Common Name	Water Use Classification Region 4	Perimeter Streetscape / Screening	Entry Specimen / Accent / Flowering	Interior Streets (Residential)	Parks, Recreation Areas & Restaurant	Open Space & Slopes *Per Riparian Forest List	Screening / Edges South	Screening / Edges West	Screening / Edges North	Screening / Edges East	Parking Lot Shade (Commercial & Business Park)	Basin / Basin Slopes
Trees													
Cercidium 'Desert Museum'	Palo Verde	L		X									
Cercis occidentalis	Western Redbud	L		X		X							
Geijera parviflora	Australian Willow	M			X	X							
Koelrueteria paniculata	Golden Rain Tree	L	X										
Lagerstroemia indica	Crape Myrtle	M		X		X						X	
Lophostemon confertus	Brisbane Box	M	X		X				X	X	X		X
Pinus eldarica	Afhan Pine	L	X		X			X					X
Pistacia chinensis	Chinese Pistache	M		X		X	X					X	
Platanus acerifolia 'Columbia'	London Plane Tree	M	X										
Pyrus 'Chanticleer'	Ornamental Pear	M			X	X							
Quercus agrifolia	Coast Live Oak	L		X			X						
Searsia lancea	African Sumac	L										X	
Ulmus parvifolia 'Drake'	Evergreen Elm	L	X			X			X	X	X	X	
Umbellularia californica	California Bay	M					X						
Shrubs, Perennials, Grasses and Groundcovers													
Agave spp.	Agave	L		X		X							
Acacia redolens 'Desert Carpet'	Prostrate Acacia	L											X
Baccharis P. 'Pigeon Point'	Coyote Brush	L	X				X						X
Callistemon v. "Little John"	Dwarf Bottlebrush	L	X		X	X						X	
Cordylina 'Jurred'	Festival Grass Cordylina	L	X	X									
Dodonaea v. 'Purpurea'	Hopseed Bush	L	X			X		X	X	X	X		
Hesperaloe parviflora	Red Yucca	L		X			X						X
Juncus patens 'Elk Blue'	California Grey Rush	L					X						X
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	L	X		X	X							
Leucophyllum f. 'Compacta'	Texas Ranger	L	X						X	X	X		
Leymus condensatus 'Canyon Prince'	Wild Rye	L	X				X						X
Muhlenbergia capillaris	Pink Muhly	L	X	X		X							
*Myoporum p. "Putah Creek"	Myoporum	L											X
Myrtus communis 'Compacta'	Compact Myrtle	L			X			X	X	X	X		
*Pennisetum setaceum 'Rubrum'	Fountain Grass	L	X										
Phormium 'Bronze Baby'	New Zealand Flax	L		X									
Rhamnus californica 'Eve Case'	Coffeeberry	L	X					X	X	X	X		X
Raphiolepis indica 'Springtime'	Springtime Indian Hawthorn	M	X		X	X						X	
Rosmarinus 'Prostratus'	Rosemary	L		X	X	X						X	
Salvia greggii	Autumn Sage	L		X		X	X						
Salvia leucantha	Mexican Sage	L	X			X	X						
Westringia fruticosa 'Morning Light'	Coast Rosemary	L	X					X	X	X			
Westringia fruticosa 'Mundi'	Coast Rosemary	L		X							X		
Xylosma congestum 'Compacta'	Compact Shiny Xylosma	M	X		X			X	X	X	X		
Vines													
Distictus buccinatoria	Red Trumpet Vine	M	X			X			X	X	X		
Macfadyena unguis-cati	Yellow Trumpet Vine	L	X			X			X	X	X		
Rosa x 'Noare'	Flower Carpet Red	M		X	X	X							
Turf Grass													
"Tifsport" Bermuda or Equal	Hybrid Bermuda Turf	M				X							
Buchloe dactyloides	Buffalograss	L											X

Water Use Classification of Landscape Species Categories of Water Need: L = Low; M = Medium; H = High
*Do not plant in or adjacent to Open Space Conservation Area. (PA-5)



Rosa sp.



Leymus 'Canyon Prince'



Callistemon 'Little John'



Westringia fruticosa

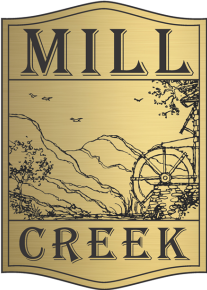


FIGURE V-2
LANDSCAPE PALETTE PLAN

3. Plant Palette

It is the intent of these Landscape Design Guidelines to provide flexibility and diversity in plant material selection, while maintaining a selected palette in order to give greater unity and thematic identity to the community.

The plant material lists have been selected for their appropriateness to the Project theme, climactic conditions, soil, and concern for maintenance. The selected plant palette is particularly suitable to the area; they tolerate a wide temperature range, have low water consumption requirements, and withstand local wind conditions.

These Landscape Design Guidelines have been developed pursuant to City Ordinance No. 2009-061 (Landscape Water Use Efficiency Requirements). The selected plant species are on the Riverside County Guide to California Friendly Landscaping. Wherever possible, overall plant materials shall have compatible drought-resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

Plant material guidelines provide guidance as to the proper plant materials for community setting such as entries, streetscapes, buffers, and open space areas. The landscaping plan for the Specific Plan calls for a compatible plant palette of trees, shrubs, grasses, groundcovers and accents, and a specialized treatment application for pertinent community elements. Figure V-2, *Landscape Plant Palette*, provides a list of the recommended plant materials within the Specific Plan.

4. Landscape Design Standards

These Landscape Design Guidelines are intended to establish thematic and visual elements within the community. Careful attention has been given to set the overall character of the Specific Plan through a unified theme of plant materials and inert landscape materials. These Landscape Design Guidelines are provided as a resource to those involved in the design and implementation of this Specific Plan, and, illustrative in nature, are meant to be flexible and respond to changes in taste and environmental concerns over time.

The following Design Standards set forth general criteria for landscaping at the community-wide level and are intended to ensure that a cohesive landscape fabric will be created to unify the overall community at all levels of development. The Plant Palette, as shown on Figure V-2, *Landscape Plant Palette*, lists the recommended species to be used in the specific areas described in the landscape design guidelines.

General Standards

- Final landscape plans prepared for implementing projects shall be consistent with the City's Landscape Standards as adopted by Ordinance No. 2015-167 (Park Design, Landscaping and Tree Preservation).
- All landscaping should utilize the approved trees, shrubs and groundcovers listed in the plant palette in Figure V-2, *Landscape Plant Palette*.
- The planting of native and drought-tolerant species in conjunction with water efficient and drip irrigation systems is highly encouraged throughout the Project.
- Automated, high efficiency irrigation systems (such as bubbler irrigation and low-angle, low-flow spay heads) should be installed to reduce the amount of water devoted to landscaped

areas.

- The use of turf areas in landscaping should be reduced wherever possible by incorporating water-conserving native groundcovers, shrubs or trees.
- Plants with similar water requirements should be grouped together, a technique known as hydrozoning.

Streetscapes and Entry Monumentation

- Landscaping along the Project's major roadways and entries along Haun and Garbani Roads should be consistent, formalized, and composed of signature plantings from the plant palette to create attractive and cohesive community identity.
- Large evergreen trees and deciduous trees should be planted in a formal pattern no greater than 30 feet apart.
- Informal groupings of ornamental trees, shrubs, and vines should be planted between sidewalks and walls to soften their appearance.
- Flowering trees, shrubs, and ornamental grasses are encouraged at entries and key intersections to add color and interest.

Parks and Open Space Areas

- Parks areas should be landscaped with small, informal groups of trees, shrubs and groundcovers to provide shade.

Residential Landscape

The landscape character shall vary between PA1 and PA2. Each PA may use its own distinguishing species from the plant palette in Figure V-2, *Landscape Plant Palette*. Detailed landscape plans shall be submitted at the Plot Plan and/or Map stage of development.

Shade Standards

Hardscape elements (walks, drives, streets, pedestrian support amenities, and various facilities) can produce a general rise in the normal temperature range commonly referred to as a heat island effect. This heat island effect can be mitigated through increasing the area of site shading. Shade coverage areas are provided for through the use of approved canopy tree plantings. Various tree species, while providing aesthetically pleasing views and a sense of place, also combat the heat island effect by providing shade coverage across parking lots, roads, walkways, and large facility hardscape areas. The amount of mitigated impact the heat island produces can be directly affected by the number of canopy trees planted within the community. Shade percentage will be achieved in accordance with the City's Zoning Ordinance. It is anticipated that the Specific Plan will exceed these minimum shading requirements.

Lighting

- Lighting should be designed to define vehicular and pedestrian circulation patterns, distinguish community entries and activity areas, and ensure safe pedestrian movement.
- Lighting fixtures should be compatible with the architectural styles of surrounding building while also being consistent throughout the community.
- Lighting fixtures are required on either side of the garages and above or next to the front

door.

- Primary monuments that are located at major entry areas into the community should be creatively lit to provide a sense of arrival to the community.
- To preserve views of the nighttime sky, lighting elements should minimize glare, spillover, and light pollution. Outdoor lighting should be directed downward.

5. Streetscapes and Edge Conditions

As described above, a unified street planting program will be used throughout the community to reinforce the landscape character of the Specific Plan. Streetscapes throughout the community should be planted with a combination of street trees, shrubs, and groundcovers in accordance with the plant palette. Streetscapes are intended to create a high quality, visually pleasing experience at the pedestrian and vehicular level. In addition, streetscapes serve functional purposes, including buffering uses, noise attenuation, and screening undesirable views from public view.

As shown in the Figures below, several types of streetscapes are proposed for the Specific Plan. A hierarchy of streetscapes is provided with distinctive landscapes. Landscape elements include elements such as: medians, parkways, and rights-of-way.

a. PA1 - High Density Residential and Garbani Road Edge Condition

Instances where PA1 is adjacent to Garbani Road are depicted on Figure V-3, *PA1 - High Density Residential and Garbani Road Edge Condition*. PA1 will be typically separated from Garbani Road by a 25-foot right-of-way (ROW), and a minimum 20-foot landscaped building setback. A minimum 6-foot high tubular steel fence (with pilasters spaces at a minimum of 100 feet apart) will be located outside of the ROW. It is anticipated that the finished floor pads will be higher than the roadway grade in this edge condition. This condition includes a walkway within the ROW, as well as one within the landscaped setback.

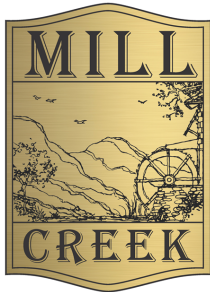
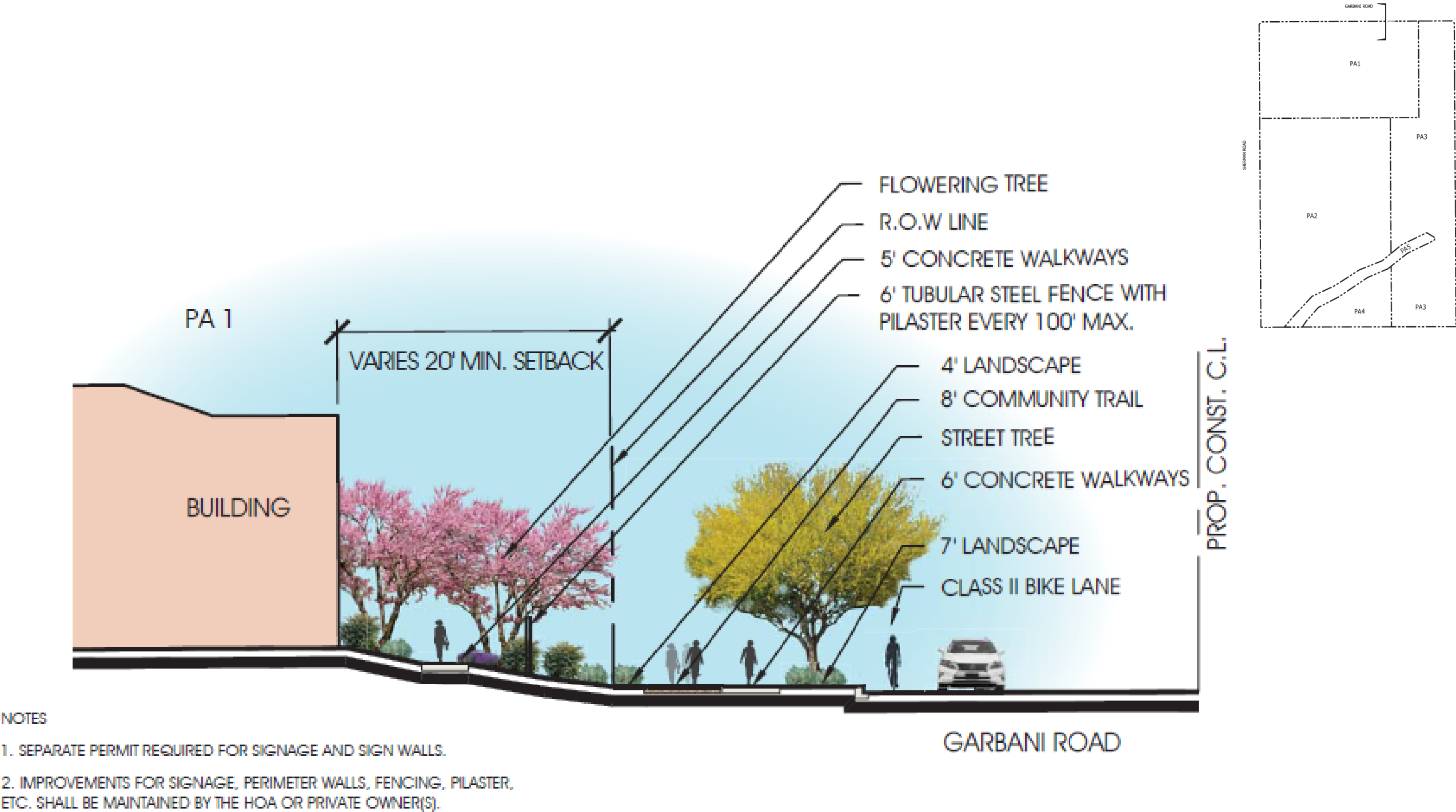
b. PA1 - High Density Residential and PA2 - High Density Residential Edge Condition

Instances where PA1 abuts PA2 are depicted in Figure V-4, *PA1 - High Density Residential and PA2 - High Density Residential Edge Condition*. PA1 will be typically separated from PA2 by a minimum 6-foot high decorative masonry screen wall. This condition is located where the two residential uses are adjacent to each other. It is anticipated that there will be little grade differentiation between the two Planning Areas in this edge condition. Screen trees are anticipated on the PA1 side. A five-foot wide walkway is proposed in PA1.

c. PA1 - High Density Residential and PA3 - Commercial Retail Edge Condition

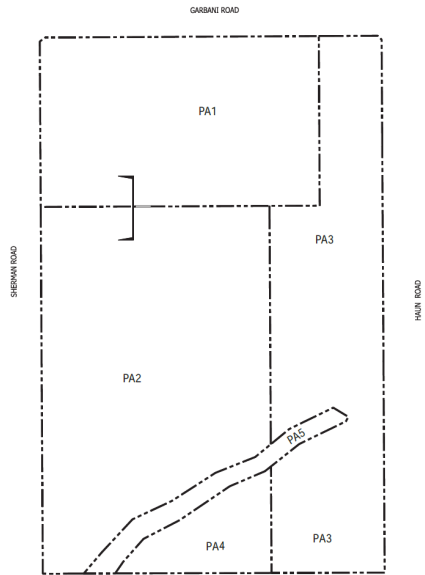
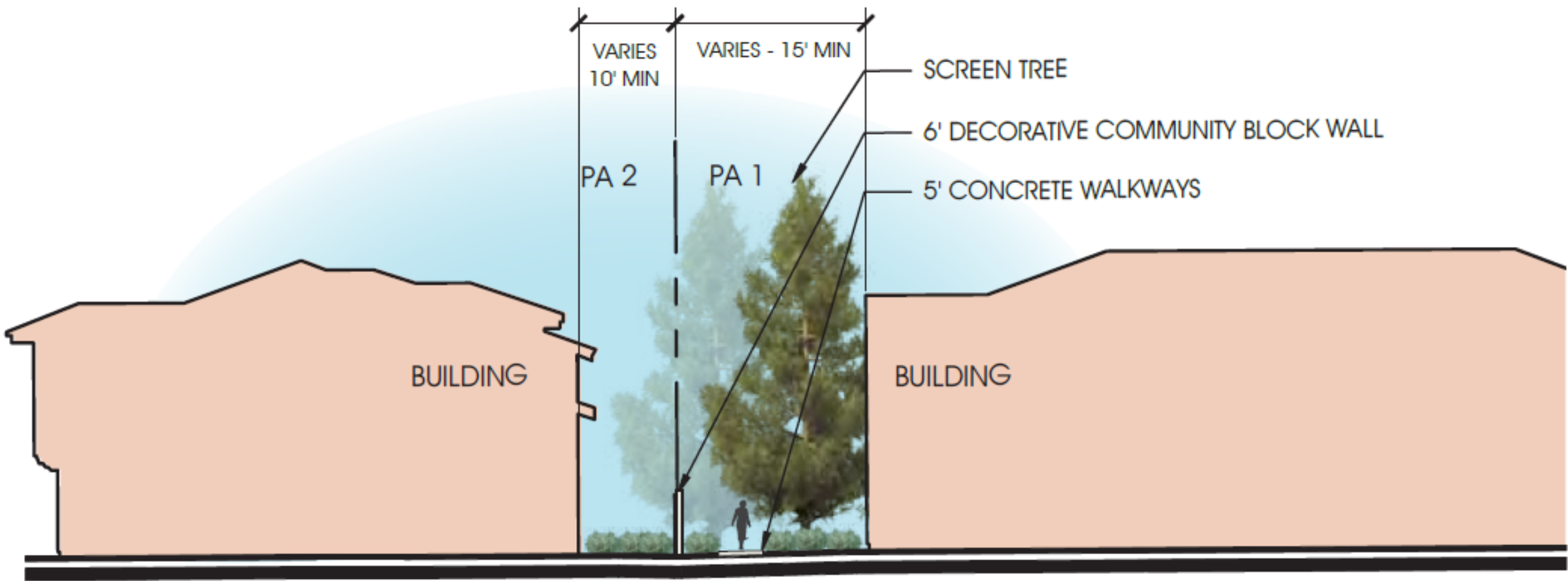
Instances where PA1 abuts PA3 are depicted in Figure V-5, *PA1 - High Density Residential and PA3 - Commercial Retail Edge Condition*. PA1 will be typically separated from PA3 by a minimum 6-foot high decorative masonry screen wall. This condition is located where the residential use is located adjacent to the commercial/office use; there are potential noise and light generating uses that required special design considerations for parking and service areas. It is anticipated that there will be little grade differentiation between the two Planning Areas in this edge condition. Parking lot trees are anticipated on the PA3 side, with screen trees on the PA1 side. A continuous, minimum 10-foot buffer is provided between these two Planning Areas.

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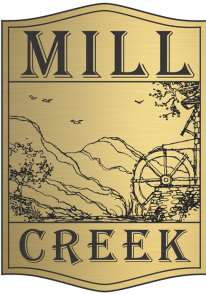


For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-3
PA1 - HIGH DENSITY RESIDENTIAL AND
GARBANI ROAD EDGE CONDITION

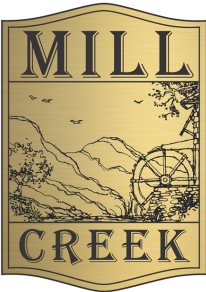
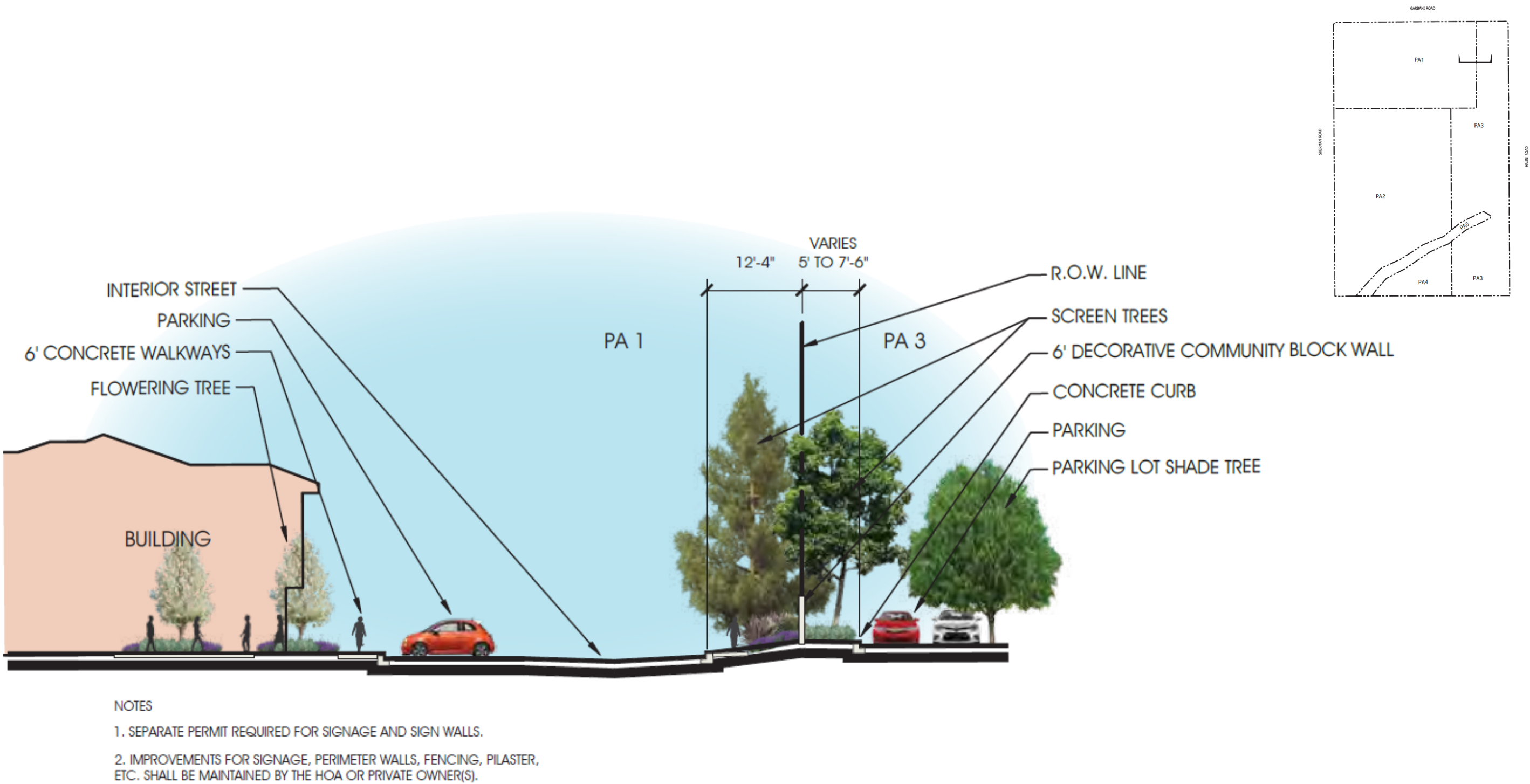


- NOTES
- 1. SEPARATE PERMIT REQUIRED FOR SIGNAGE AND SIGN WALLS.
 - 2. IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASTER, ETC. SHALL BE MAINTAINED BY THE HOA OR PRIVATE OWNER(S).



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-4
PA1 - HIGH DENSITY RESIDENTIAL AND PA2 – HIGH DENSITY RESIDENTIAL EDGE CONDITION



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-5
PA1 - HIGH DENSITY RESIDENTIAL AND PA3 -
COMMERCIAL RETAIL EDGE CONDITION

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d. PA1 - High Density Residential and Sherman Road Edge Condition

Instances where PA1 is adjacent to Sherman Road are depicted in Figure V-6, *PA1 - High Density Residential and Sherman Road Edge Condition*. In this condition, PA1 will be typically separated from Sherman Road by a 15-foot ROW, and a minimum 20-foot landscaped building setback. A minimum 6-foot high tubular steel fence will be located outside of the ROW. It is anticipated that the finished floor pads will be higher than the roadway grade in this edge condition. This edge condition includes a walkway within the ROW, as well as one within the landscaped setback.

e. PA2 - High Density Residential and Sherman Road Edge Condition

Instances where PA2 is adjacent to Sherman Road are depicted in Figure V-7, *PA2 - High Density Residential and Sherman Road Edge Condition*. In this condition, PA1 will be typically separated from Sherman Road by a 15-foot ROW, and a minimum 20-foot landscaped building setback. A minimum 6-foot high decorative masonry screen wall will be located outside of the ROW at the bottom of the slope. A 3-foot, 6-inch high 2-rail fence will be located at the top of the slope. It is anticipated that the finished floor pads will be considerably lower than the roadway grade in this edge condition. This condition includes an 8-foot wide community trail and a 7-foot wide landscaped parkway within the ROW. A Class III Bikeway will be provided along Sherman Road.

f. PA2 - High Density Residential and Adjacent Off-site Edge Condition

Instances where PA2 abuts the adjacent, off-site property are depicted in Figure V-8, *PA2 - High Density Residential and Adjacent Off-site Edge Condition*. PA2 will be typically separated from the off-site property by PA2 homes and a 6-foot decorative high masonry block wall. A 4-foot to 6-foot wide decomposed granite path will be located along this edge as well as a combination block wall and tubular steel fence. It is anticipated that there will be little grade differentiation between the PA2 and the off-site areas in this edge condition. Large canopy trees are anticipated on the PA2 side.

g. PA2 - High Density Residential, PA5 - Open Space, and PA3 - Commercial Retail Edge Condition

Instances where PA2 is separated from PA3 by PA5 are depicted in Figure V-9, *PA2 - High Density Residential, PA5 - Open Space and PA3 - Commercial Retail Edge Condition*. PA2 will be typically separated from PA3 by the undisturbed open space conservation channel (PA5). A 4-foot to 6-foot wide decomposed granite path will be located between 6-foot high tubular steel fence (which will transition into a combination wall/fence), and a two-rail fence on the PA2 side. A walkway will be provided on the PA3 side. Both the path and walkway contribute to the overall Project walkability. It is anticipated that there will be little grade differentiation between the PA2 and PA3 in this edge condition.

h. PA2 - High Density Residential, PA5 - Open Space, and PA4 - Business Park Edge Condition

Instances where PA2 is separated from PA4 by PA5 are depicted in Figure V-10, *PA2 - High Density Residential, PA5 - Open Space and PA4 - Business Park Edge Condition*. PA2 will be typically separated from PA4 by the undisturbed open space conservation channel (PA5). A 4-foot to 6-foot wide decomposed granite path will be located between 6-foot high tubular steel

fence and a two-rail fence on the PA2 side. No walkway will be provided on the PA4 side. The path will contribute to the overall Project walkability. It is anticipated that there will be little grade differentiation between the PA2 and PA4 in this edge condition.

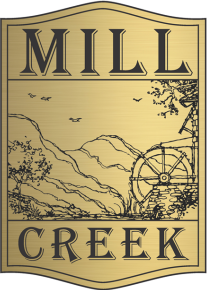
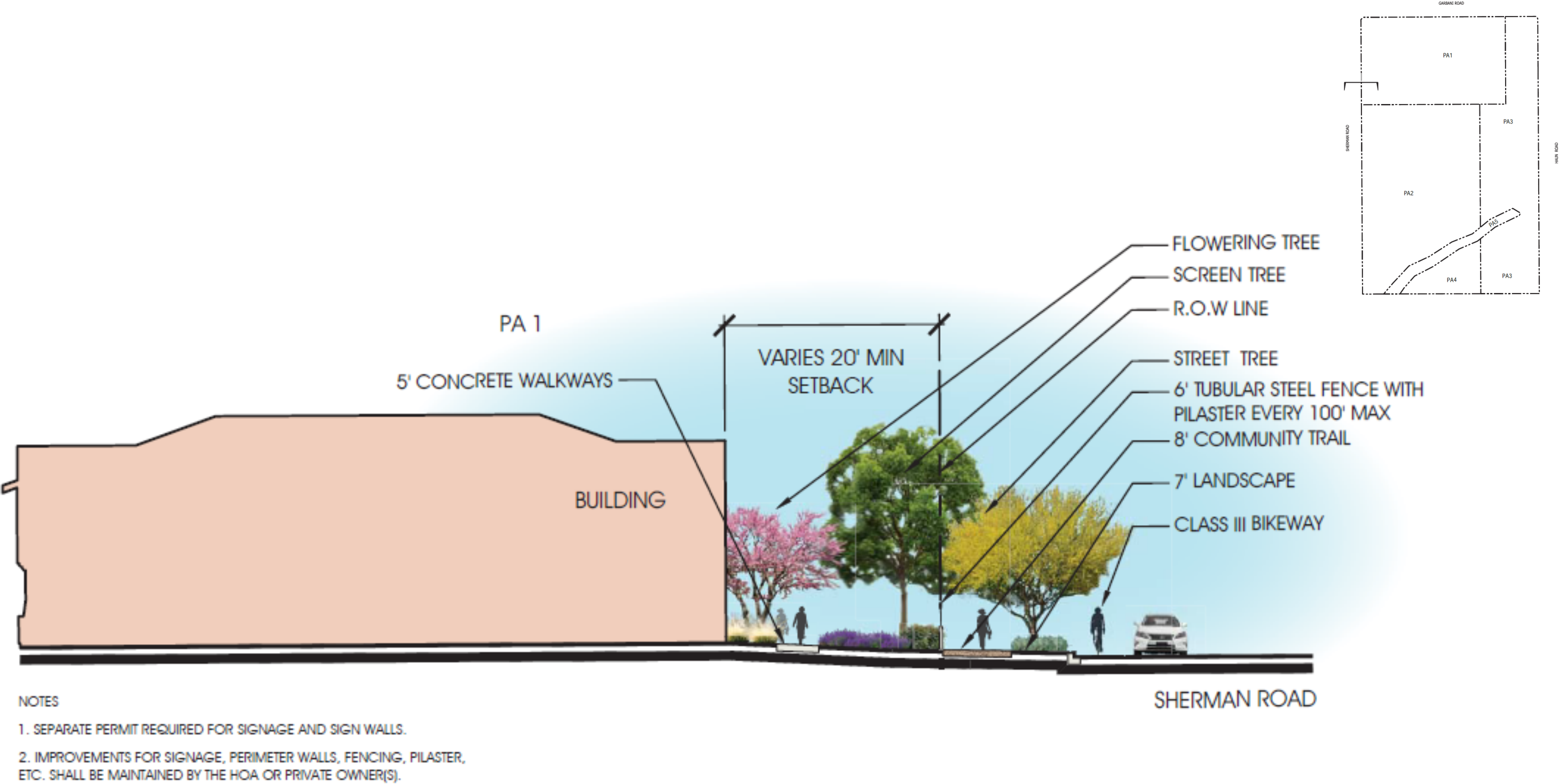
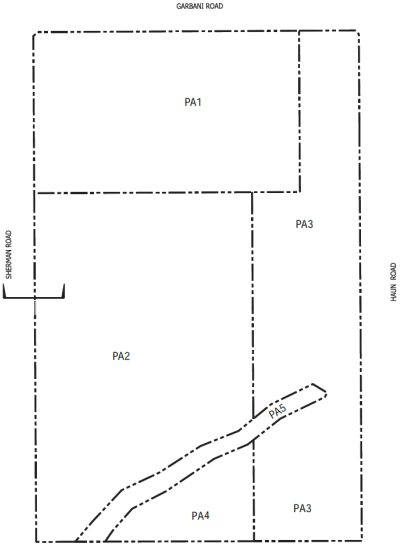
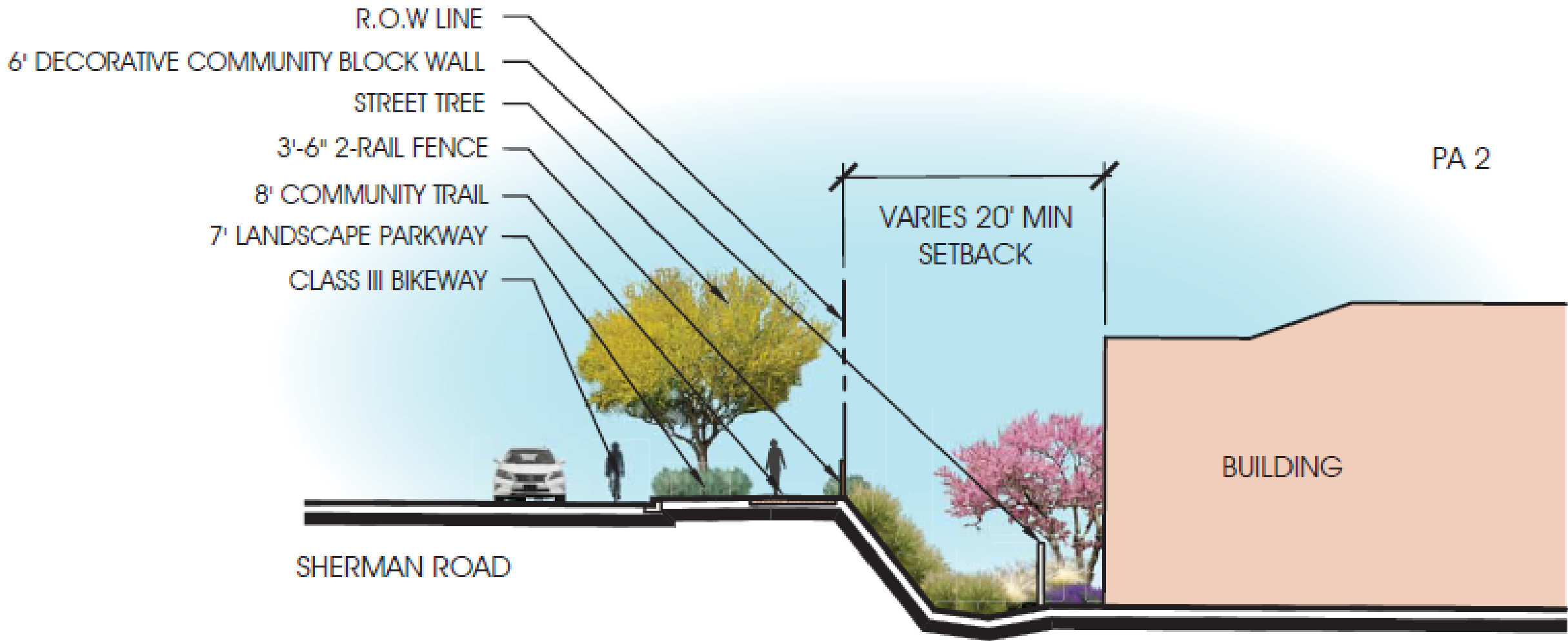
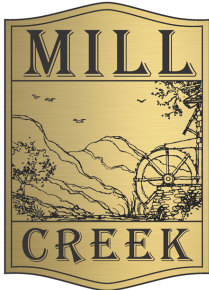


FIGURE V-6
PA1 - HIGH DENSITY RESIDENTIAL AND
SHERMAN ROAD EDGE CONDITION

For landscaping refer to Figure V-2, *Plant Palette*.

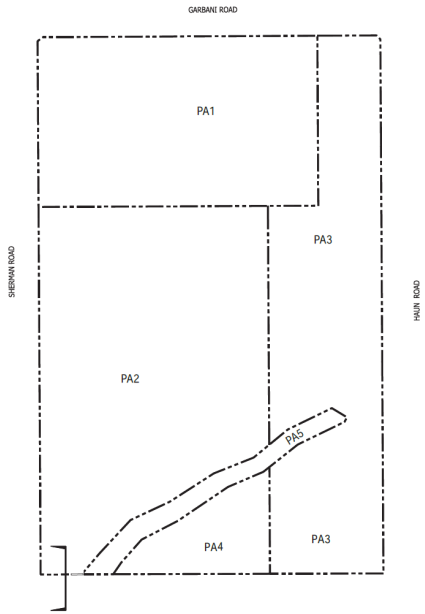
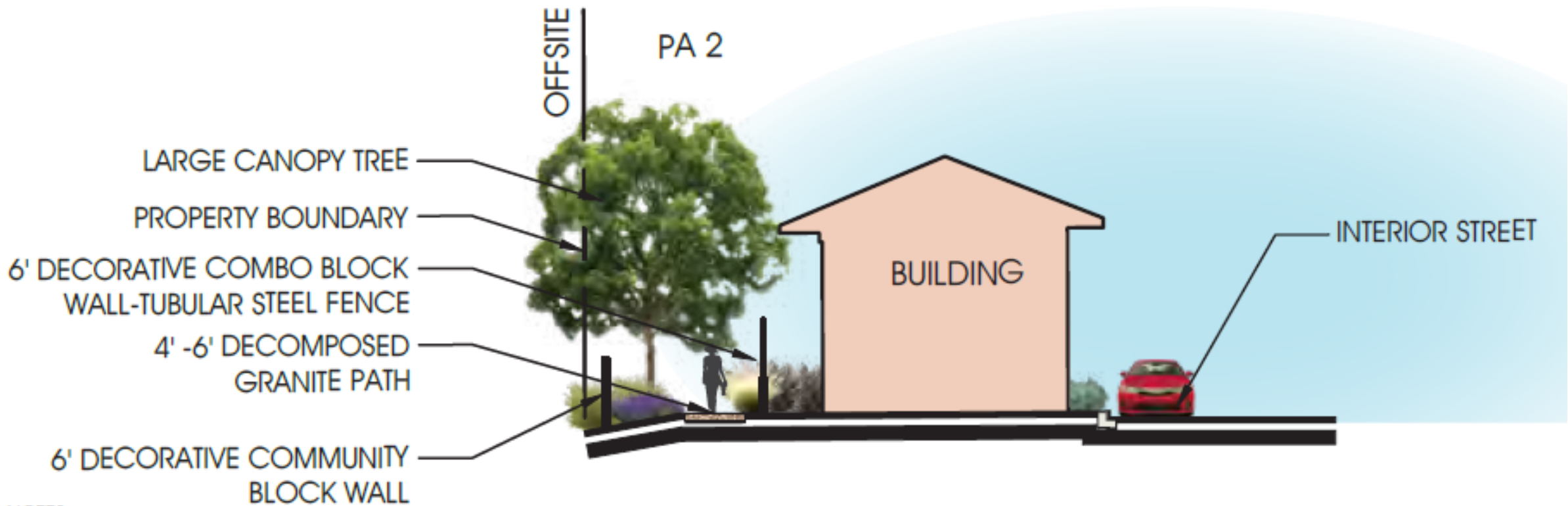


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 - 2. IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASTER, ETC. SHALL BE MAINTAINED BY THE HOA OR PRIVATE OWNER(S).



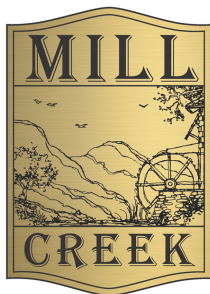
For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-7
PA2 - HIGH DENSITY RESIDENTIAL AND
SHERMAN ROAD EDGE CONDITION



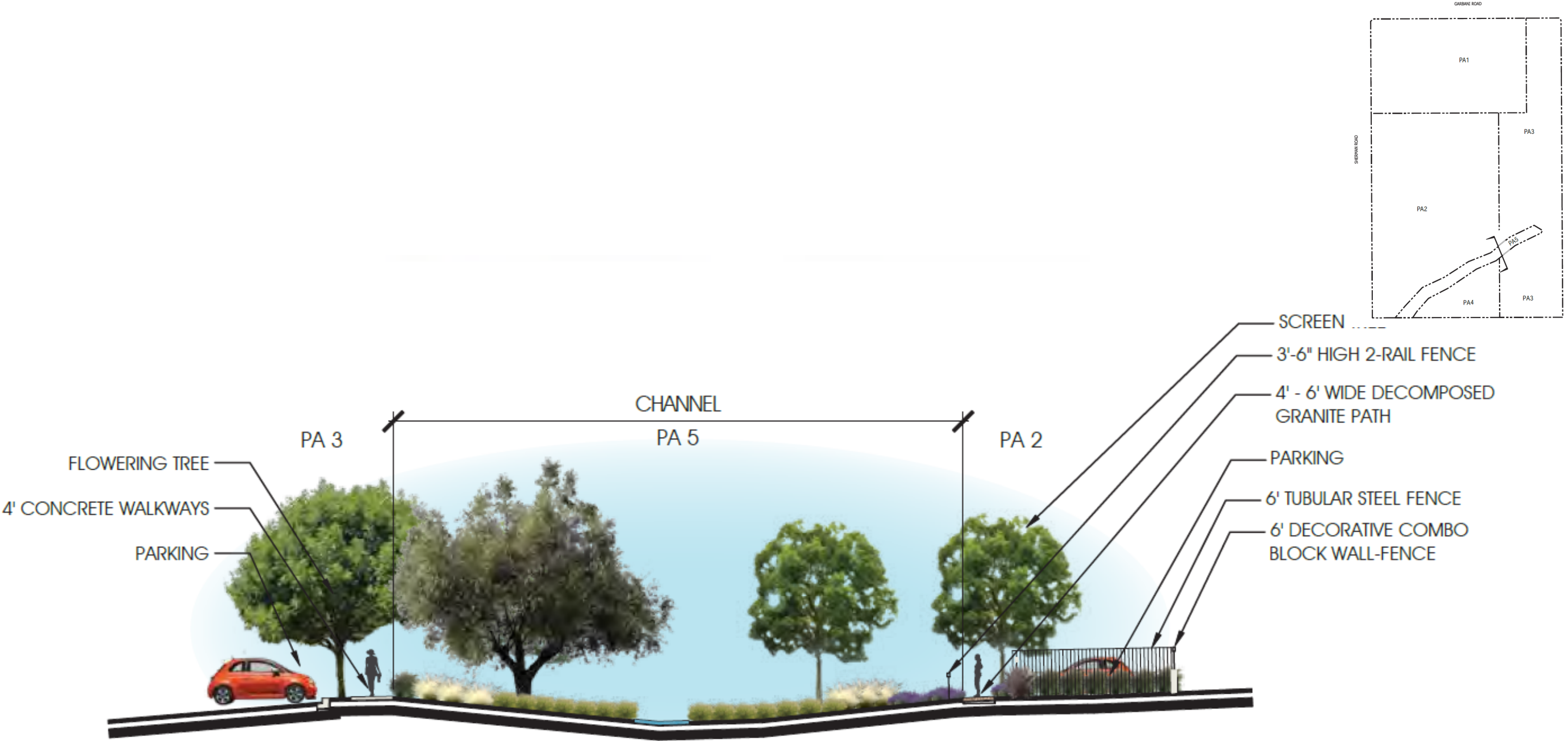
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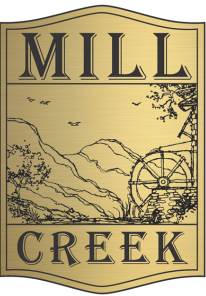
For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-8
PA2 - HIGH DENSITY RESIDENTIAL AND
ADJACENT OFF-SITE EDGE CONDITION



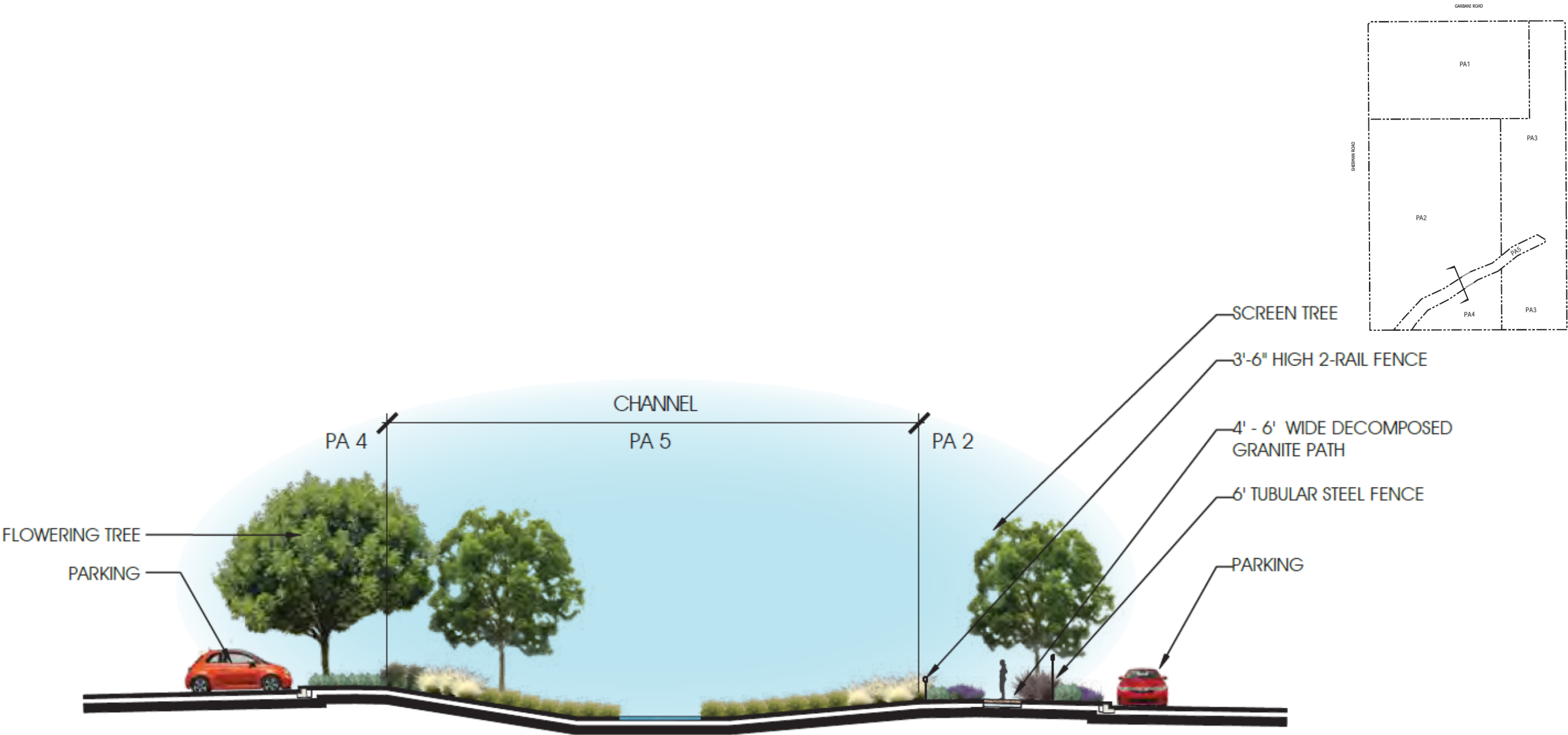
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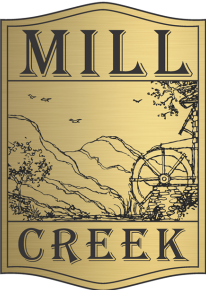


For landscaping refer to Figure V-2, *Plant Palette*.
Channel to remain untouched.

FIGURE V-9
PA2 - HIGH DENSITY RESIDENTIAL, PA5 - OPEN SPACE,
AND PA3 – COMMERCIAL RETAIL EDGE CONDITION



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For landscaping refer to Figure V-2, *Plant Palette*.
Channel to remain untouched.

FIGURE V-10
PA2 - HIGH DENSITY RESIDENTIAL, PA5 - OPEN SPACE,
AND PA4 - BUSINESS PARK EDGE CONDITION

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i. PA2 - High Density Residential and PA3 - Commercial Retail Edge Condition

Instances where PA2 abuts PA3 are depicted in Figure V-11, *PA2 - High Density Residential and PA3 - Commercial Retail Edge Condition*. PA2 will be typically separated from PA3 by a minimum 10-foot buffer and a minimum 6-foot high decorative masonry screen wall. Parking lot trees are anticipated on the PA3 side. This condition is located where the residential use is located adjacent to the commercial/office use; and there are potential noise and light generating uses that require special design considerations for parking and service areas. It is anticipated that there will be little grade differentiation between the two Planning Areas in this edge condition.

j. PA2 - High Density Residential Basin and PA3 - Commercial Retail Edge Condition

Instances where the basin in PA2 is adjacent to PA3 are depicted in Figure V-12, *PA2 - High Density Residential Basin and PA3 - Commercial Retail Edge Condition*. PA3 will be typically separated from the basin in PA2 by a minimum 6-foot high decorative masonry screen wall and a minimum 10-foot buffer. Screen/shade trees are anticipated on the PA2 side. This condition is located where the residential basin use is located adjacent to the commercial/office use; there are potential noise and light generating uses that require special design considerations for parking and service areas. A 5-foot wide, decomposed granite path will be provided on the PA2 side around the basin and benches will provide seating areas. This path will contribute to the overall Project walkability. It is anticipated that there will be little grade differentiation between the two Planning Areas in this edge condition; with the exception of the basin.

k. PA3 - Commercial Retail and Garbani Road Edge Condition

Instances where PA3 is adjacent to Garbani Road are depicted in Figure V-13, *PA3 - Commercial Retail and Garbani Road Edge Condition*. PA3 will be typically separated from Garbani Road by a 21-foot ROW, and a minimum 20-foot landscaped building setback. It is anticipated that the finished floor pads will be slightly higher than the roadway grade in this edge condition. This condition includes a walkway within the ROW. This walkway will contribute to the overall Project walkability. Garbani Road will have a Class II Bikeway.

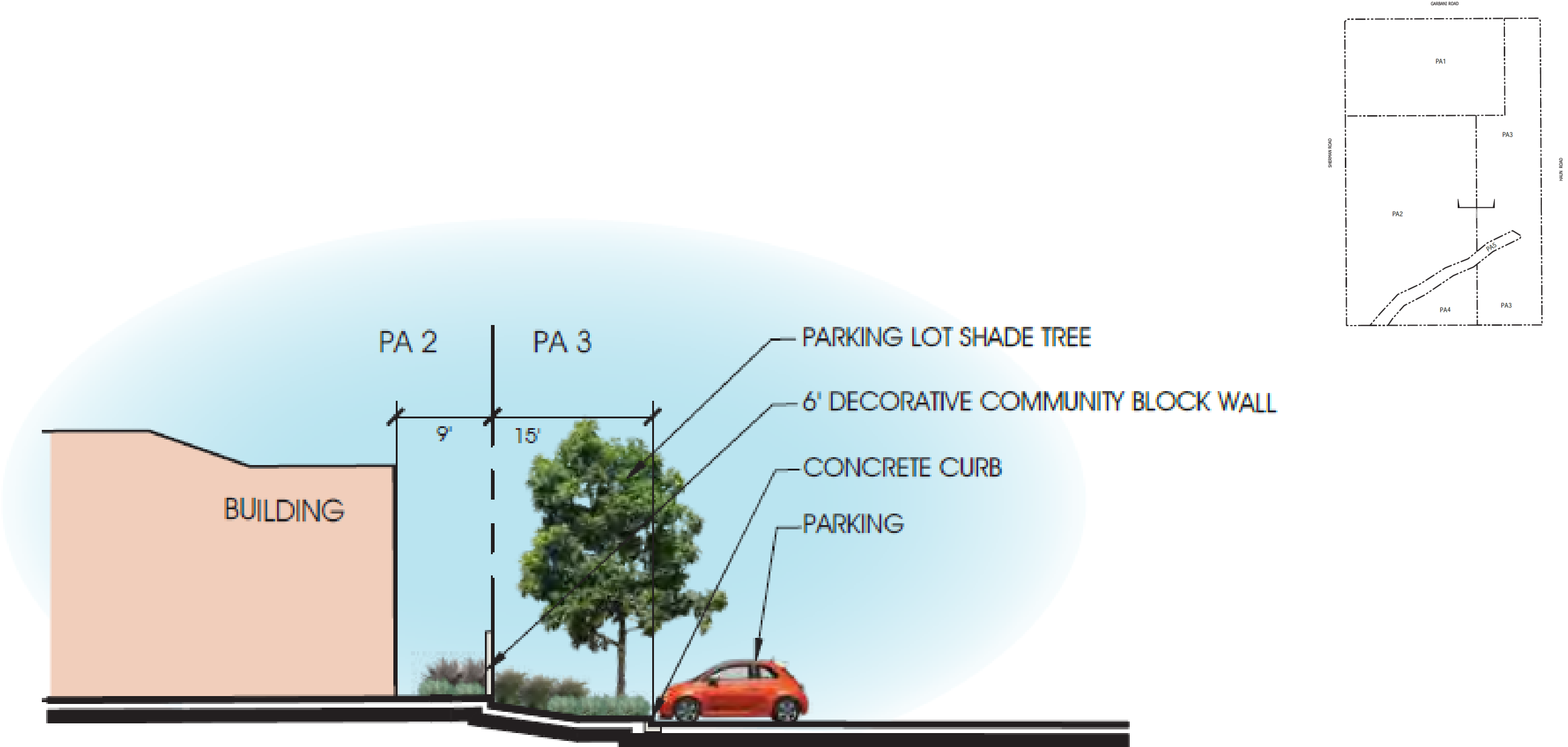
l. PA3 - Commercial Retail and Haun Road North Edge Condition

Instances where PA3 is adjacent to Haun Road in the northerly portion of PA3 are depicted in Figure V-14, *PA3 - Commercial Retail and Haun Road North Edge Condition*. PA3 will be typically separated from Haun Road by a 25-foot ROW, and a minimum 24-foot landscaped building setback. It is anticipated that the finished floor pads will be slightly higher than the roadway grade in this edge condition. This condition includes a 10-foot community trail, 10-foot Class I Bikeway, and a 5-foot landscaped parkway within the ROW and a concrete walkway adjacent to the buildings in PA3. These walkways will contribute to the overall Project walkability.

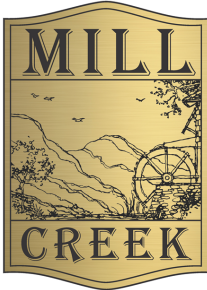
m. PA3 - Commercial Retail, RCB Location, and Haun Road Edge Condition

Instances where PA3 is adjacent to Haun Road where the drainage channel has been undergrounded, is depicted in Figure V-15, *PA3 - Commercial Retail, RCB Location, and Haun Road Edge Condition*. PA3 will be typically separated from Haun Road by a 25-foot ROW, and PA5. Screen trees are proposed outside of the Haun Road ROW and adjacent to any parking proposed in PA3, within a minimum 42-foot wide landscaped buffer. This condition includes a

5-foot landscaped parkway, 10-foot Class I Bikeway and 10-foot community trail within the ROW. This walkway will contribute to the overall Project walkability.

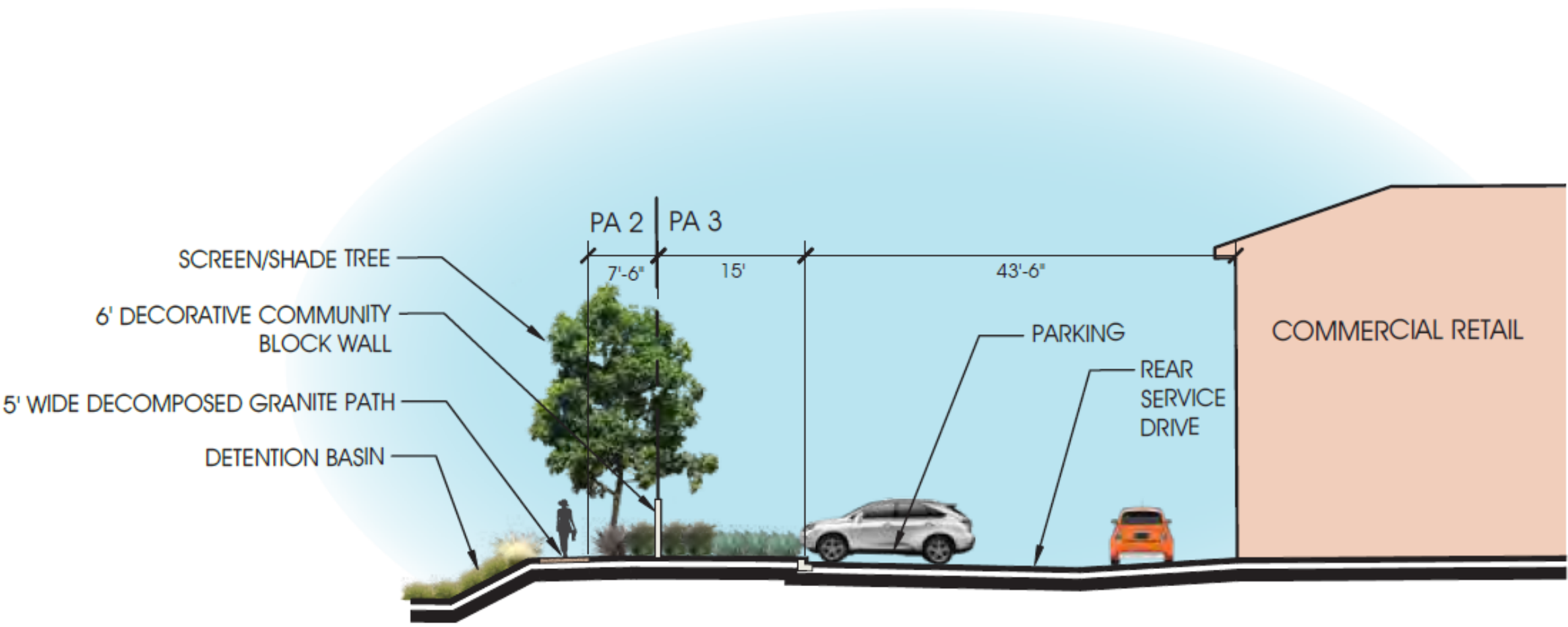
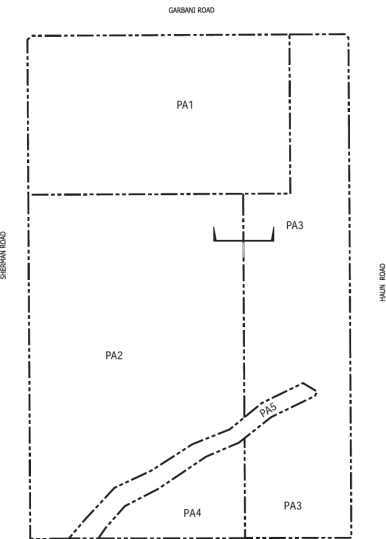


- NOTES
- 1. SEPARATE PERMIT REQUIRED FOR SIGNAGE AND SIGN WALLS.
 - 2. IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASTER, ETC. SHALL BE MAINTAINED BY THE HOA OR PRIVATE OWNER(S).

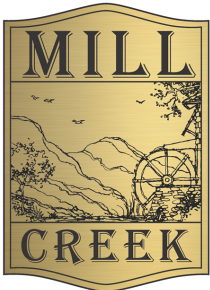


For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-11
PA2 - HIGH DENSITY RESIDENTIAL AND PA3 -
COMMERCIAL RETAIL EDGE CONDITION

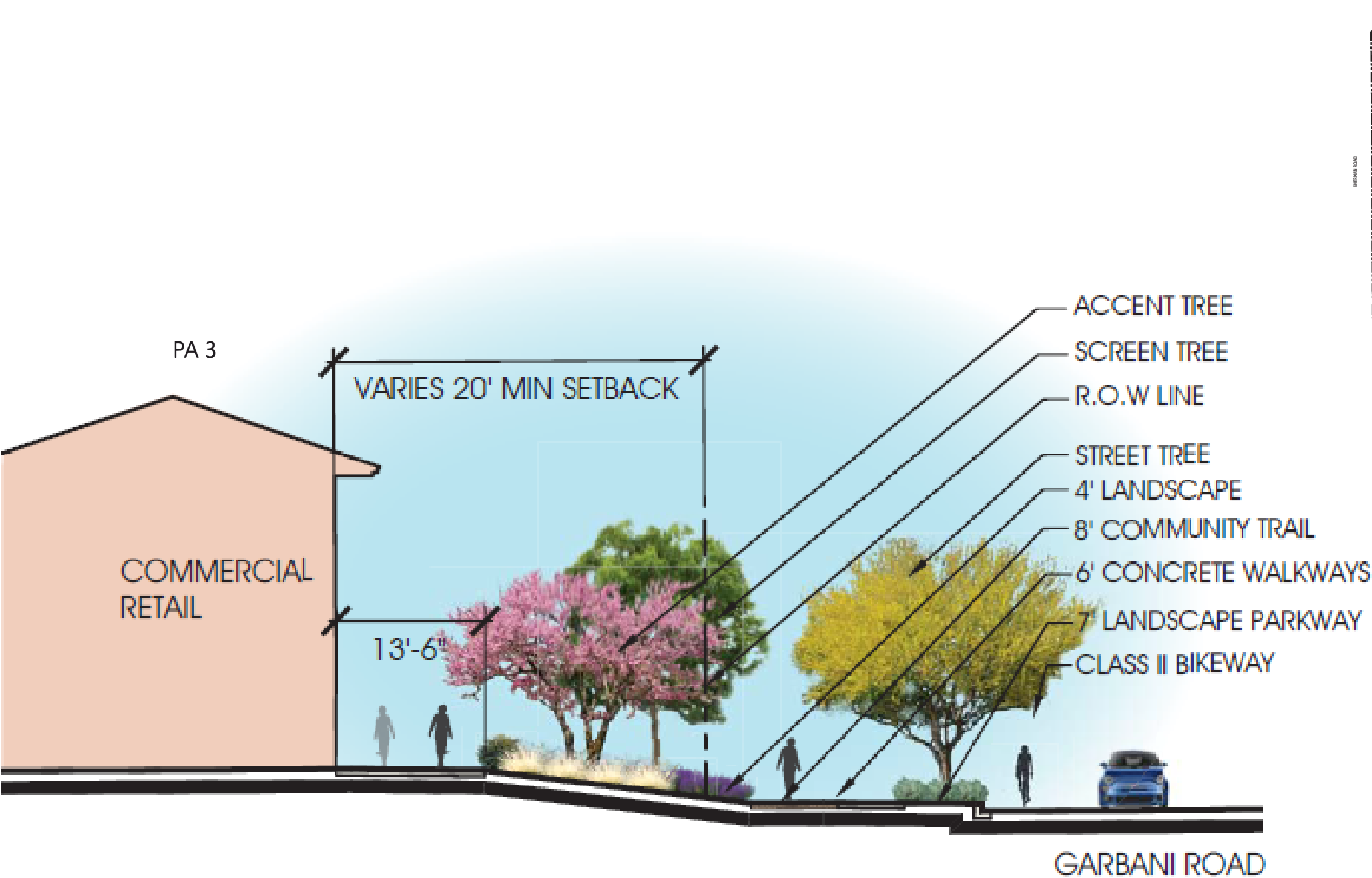


- NOTES
- 1. SEPARATE PERMIT REQUIRED FOR SIGNAGE AND SIGN WALLS.
 - 2. IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASTER, ETC. SHALL BE MAINTAINED BY THE HOA OR PRIVATE OWNER(S).



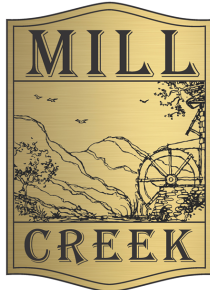
For landscaping refer to Figure V-2, *Plant Palette*.

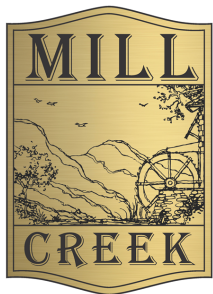
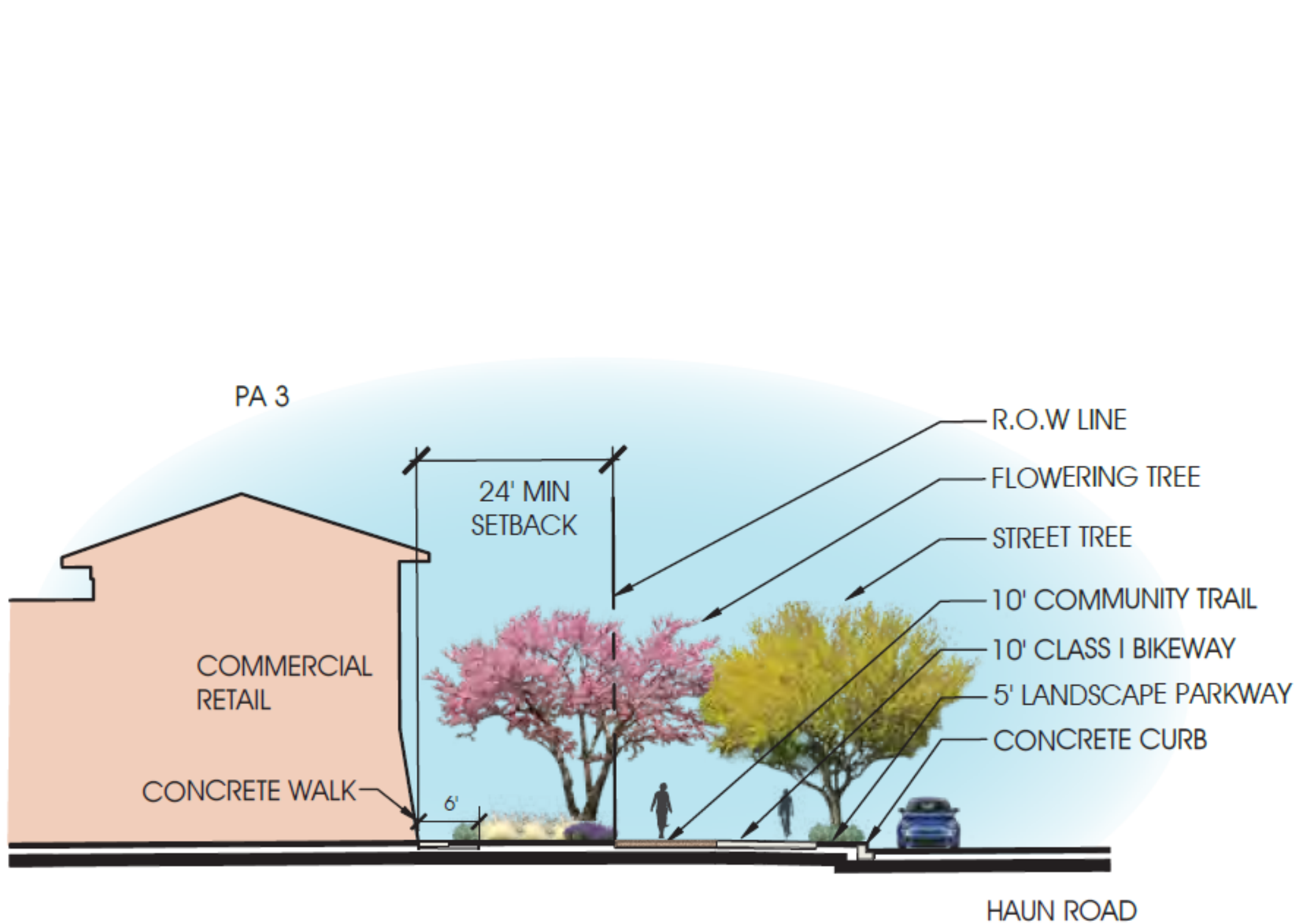
FIGURE V-12
PA2 - HIGH DENSITY RESIDENTIAL BASIN AND PA3
- COMMERCIAL RETAIL EDGE CONDITION



For landscaping refer to Figure V-2, *Plant Palette*.

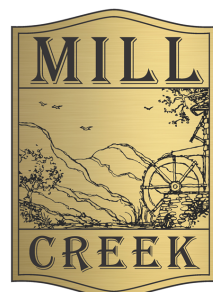
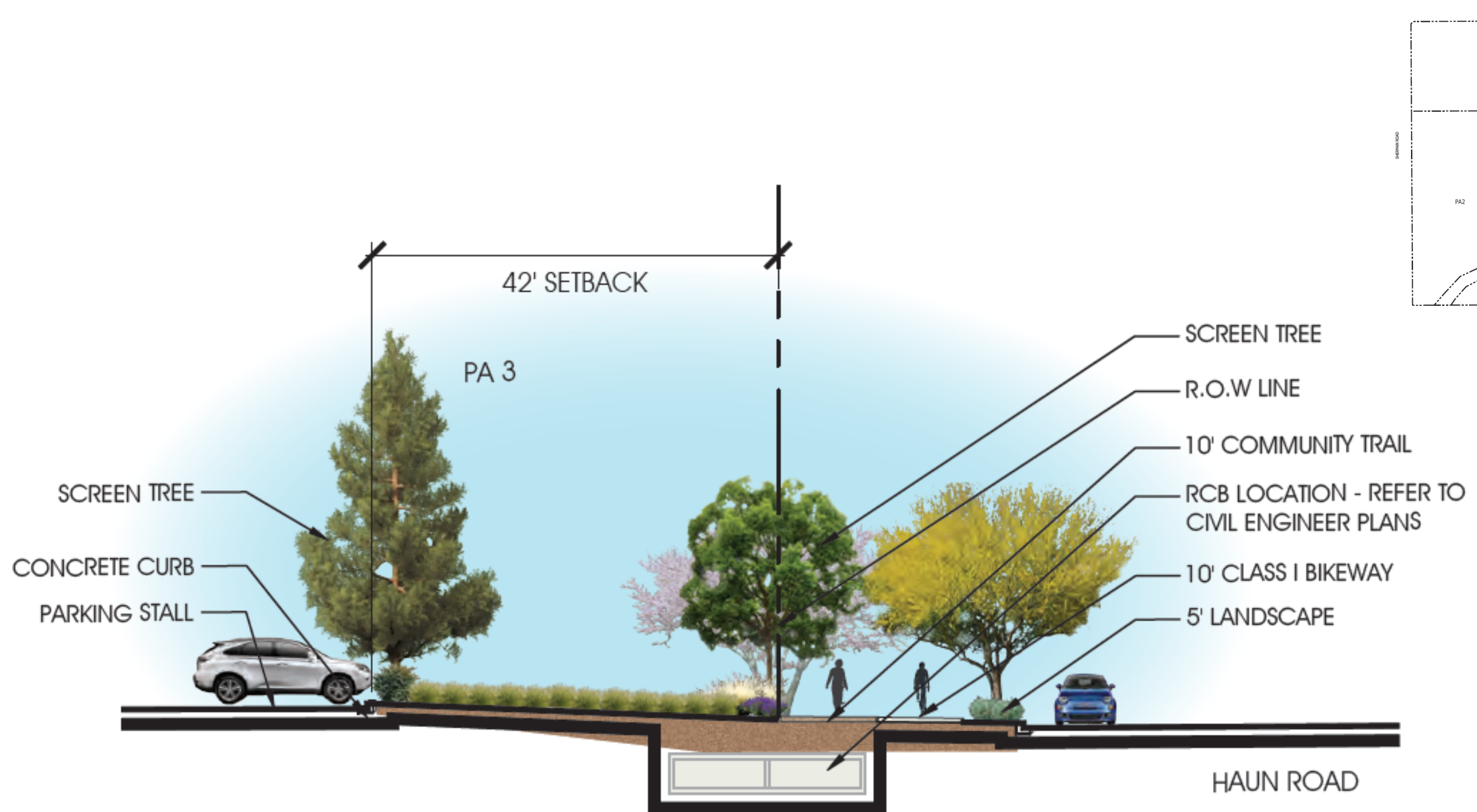
FIGURE V-13
PA3 – COMMERCIAL RETAIL AND
GARBANI ROAD EDGE CONDITION





For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-14
PA3 – COMMERCIAL RETAIL AND
HAUN ROAD NORTH EDGE CONDITION



For landscaping refer to Figure V-2, *Plant Palette*.
 Channel to remain untouched.
 RCB = Reinforced Concrete Box

FIGURE V-15
PA3 – COMMERCIAL RETAIL, RCB LOCATION,
AND HAUN ROAD EDGE CONDITION

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n. PA3 - Commercial Retail and Haun Road South Edge Condition

Instances where PA3 is adjacent to Haun Road in the southerly portion of PA3 are depicted in Figure V-16, *PA3 - Commercial Retail and Haun Road South Edge Condition*. PA3 will be typically separated from Haun Road by a 25-foot ROW, and a minimum 35-foot landscaped building setback that includes a 6' walkway. It is anticipated that the finished floor pads will be slightly higher than the roadway grade in this edge condition. This condition includes a 10-foot community trail, 10-foot Class I Bikeway, and a 5-foot landscaped parkway within the ROW. The trail and the 6' walkway will contribute the overall Project walkability.

o. PA3 - Commercial Retail and Adjacent Off-site Edge Condition

Instances where PA3 abuts the adjacent, off-site property are depicted in Figure V-17, *PA3 - Commercial Retail and Adjacent Off-site Edge Condition*. PA3 will be typically separated from the off-site property by screen trees. It is anticipated that there will be little grade differentiation between PA3 and the off-site areas in this edge condition.

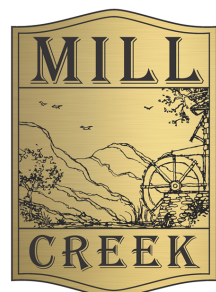
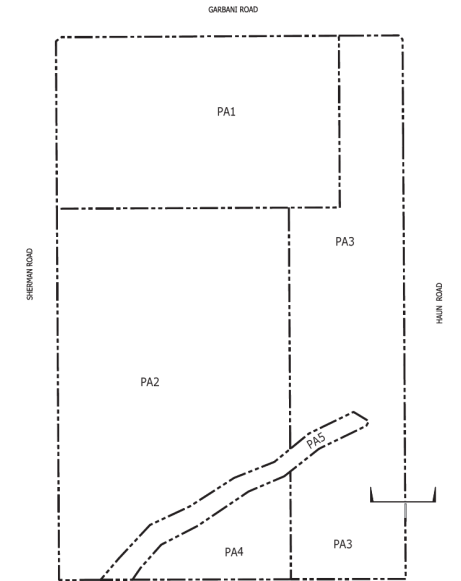
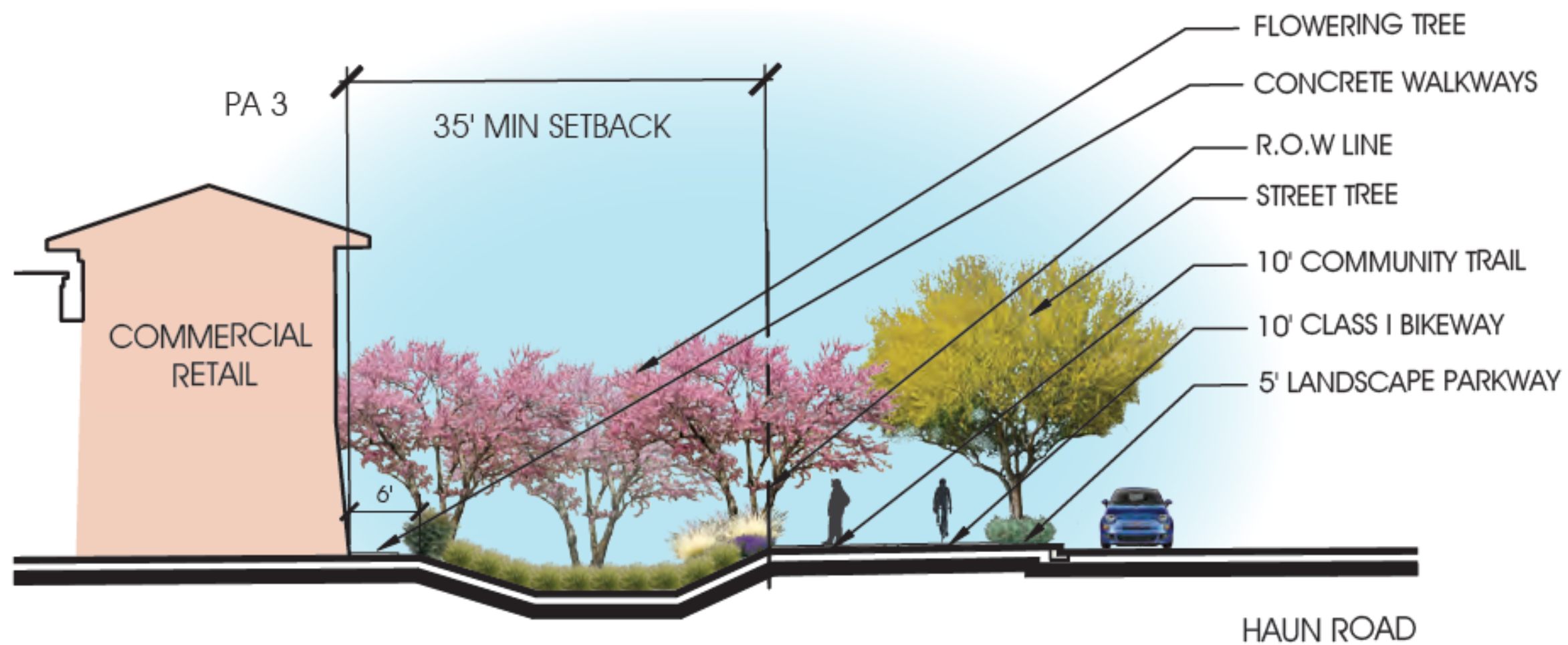
p. PA3 - Commercial Retail and PA4 - Business Park Edge Condition

Instances where PA3 abuts PA4 are depicted in Figure V-18, *PA3 - Commercial Retail and PA4 - Business Park Edge Condition*. PA3 will be typically separated from PA4 by a landscape planter with ample parking lot and screen trees. Since these uses are generally compatible, no walls are proposed.

q. PA4 - Business Park and Adjacent Off-site Edge Condition

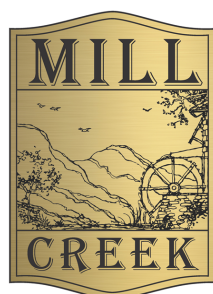
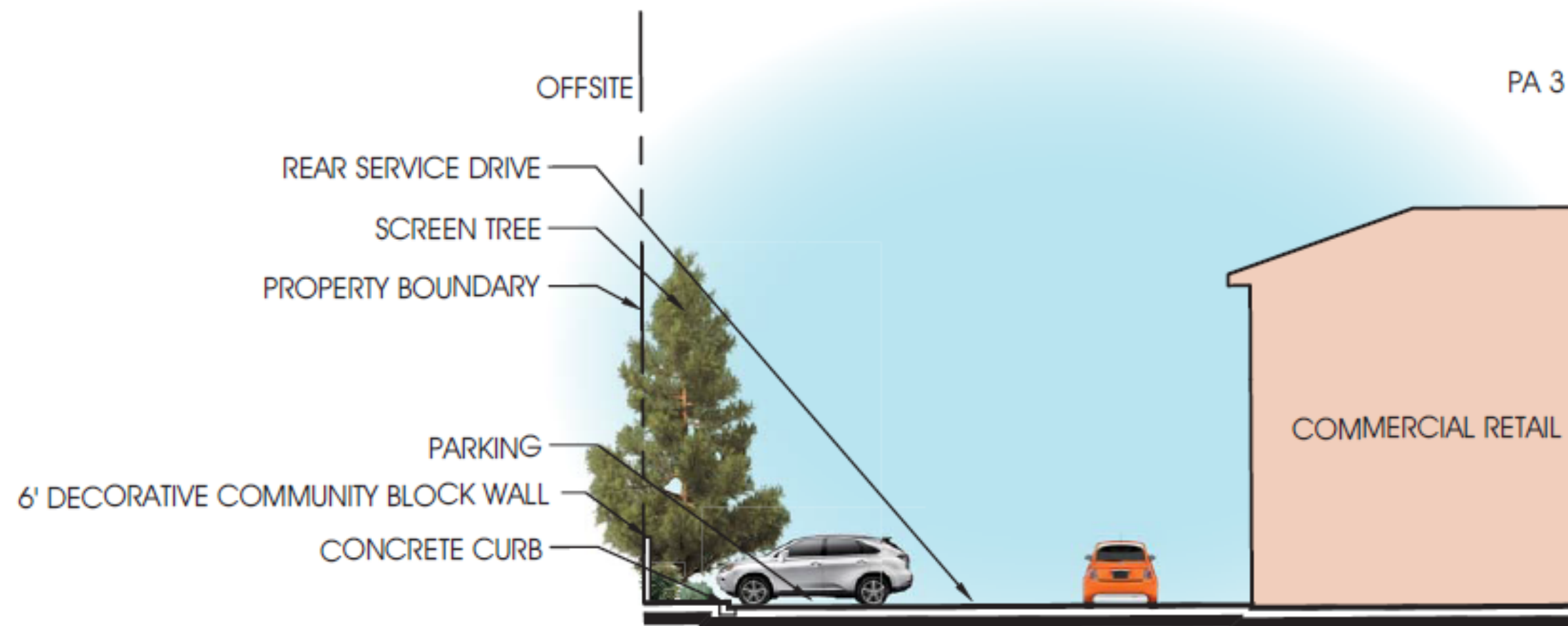
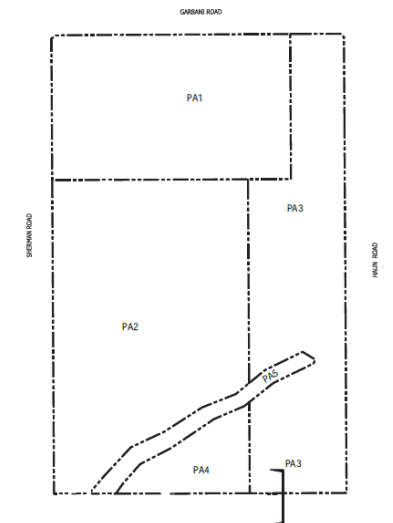
Instances where PA4 abuts the adjacent, off-site property are depicted in Figure V-19, *PA4 - Business Park and Adjacent Off-site Edge Condition*. PA4 will be typically separated from the off-site property by screen trees. It is anticipated that there will be little grade differentiation between PA4 and the off-site areas in this edge condition.

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For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-16
PA3 – COMMERCIAL RETAIL AND
HAUN ROAD SOUTH EDGE CONDITION



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-17
PA3 – COMMERCIAL RETAIL AND ADJACENT
OFF-SITE EDGE CONDITION

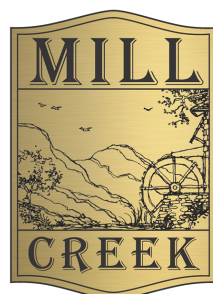
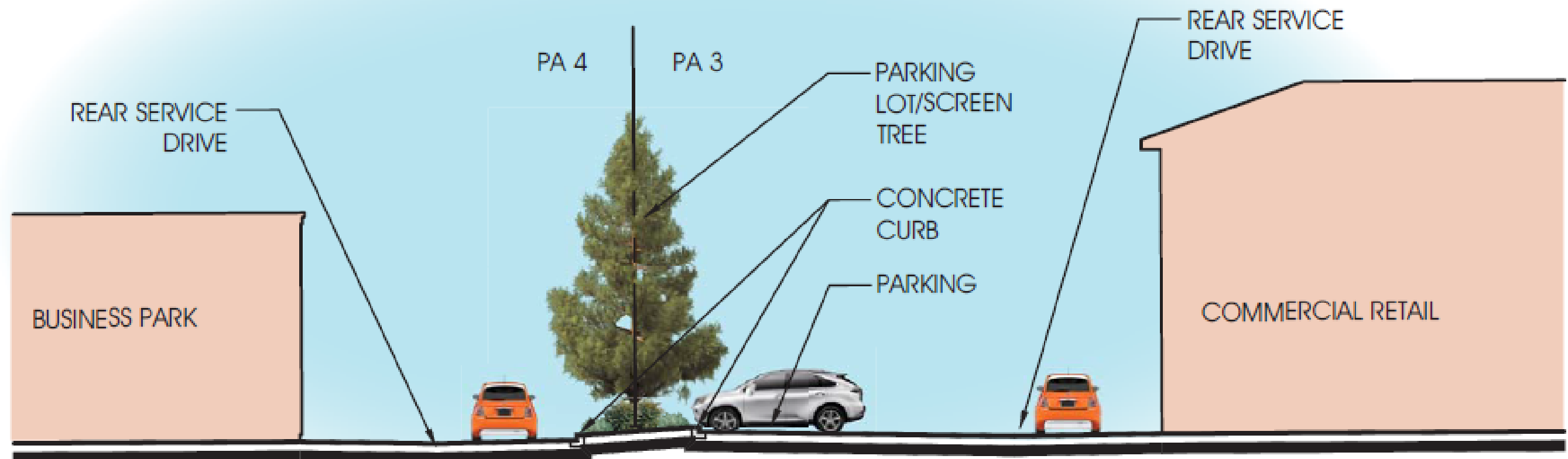
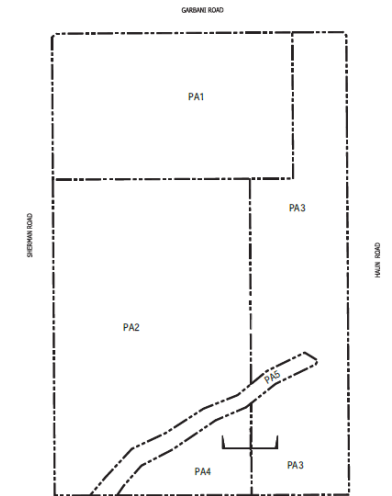
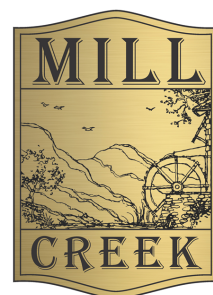
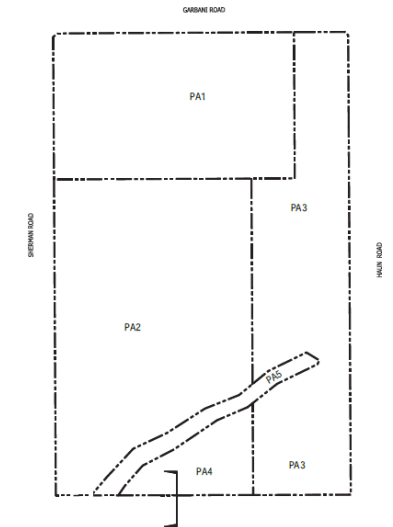
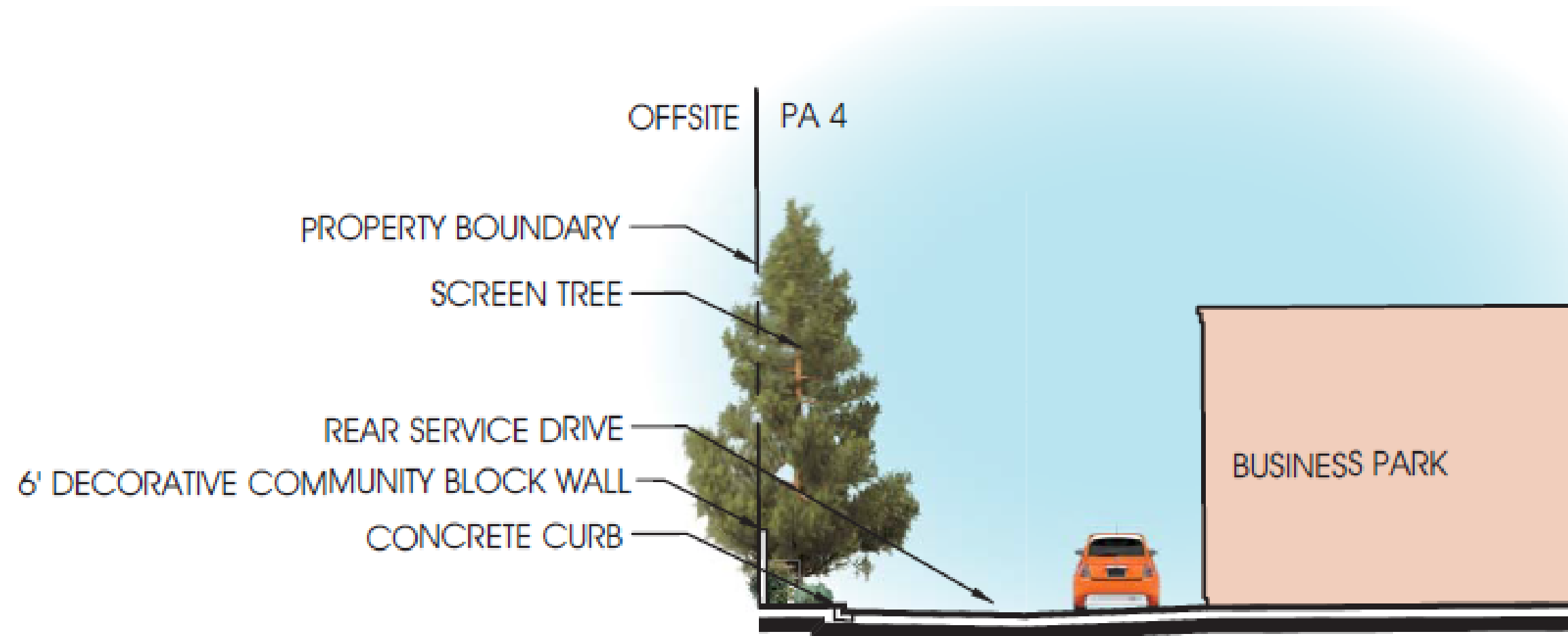


FIGURE V-18
PA3 – COMMERCIAL RETAIL AND PA4 -
BUSINESS PARK EDGE CONDITION

For landscaping refer to Figure V-2, *Plant Palette*.



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-19
PA4 - BUSINESS PARK AND ADJACENT
OFF-SITE EDGE CONDITION

6. Monumentation

Various types of entry monumentation are planned within the Specific Plan to create a sense of identity for the overall community and for individual Planning Areas within the community. It is the intent of these entry monuments to identify the Project, reinforce the general landscape theme, establish the character of the community, and provide a prominent reminder of the quality and distinctiveness of the Specific Plan. The hierarchy of entry monumentation consists of primary monuments for the Planning Areas (residential, commercial, and business park), and park/path monuments. Please reference the Figures provided on the pages to follow.

All entry monuments are comprised of a thematic blend of built features, landscape features, signage and specialty lighting that provides strong landmarks and reinforces the distinctiveness of the Specific Plan. Monument signage shall be designed to be compatible with the character of the community but flexible enough to respond to the individual contexts. Logos, type styles, and color schemes should be consistent throughout the Planning areas. Monument signs shall vary in size and detail in a manner that reflects their relative importance within the signage hierarchy.

a. PA1 High Density Residential Entry Monumentation

The PA1 Residential Entry Monumentation reflects the same character and materials utilized in the other entry monumentation utilized throughout the Specific Plan. This Residential Entry Monumentation will be approximately 6-feet, 6-inches in height, and 10-feet 6-inches across. The base will consist of river rock/coble stone veneer, and the end pilasters will consist of river rock/coble stone veneer, with a solid cap. Room will be provided for signage. This entry will feature operational decorative, tubular steel gates. A pedestrian gate shall be included as well. An entry kiosk, consisting of river rock/coble stone veneer, with a solid cap will be located here.

In addition, a 10-foot high Logo Monument will be located in the center, landscaped median. This Logo Monument will also reflect the materials used on the Residential Entry Monumentation. Lastly, a combination of specimen, flowering and shade trees, as well as shrubs and groundcover, and decorative pavement will be utilized here to round out the aesthetic of the monumentation. Please reference Figure V-20, *PA1 High Density Residential Garbani Entry Monumentation*.

b. PA2 High Density Residential Entry Monumentation

The PA2 Residential Entry Monumentation reflects the same character and materials utilized in the other entry monumentation utilized throughout the Specific Plan. This Residential Entry Monumentation will be approximately 6-feet, 6-inches in height and 10-feet 6-inches across. The base will consist of river rock/coble stone veneer, and the end pilasters will consist of river rock/coble stone veneer, with a solid cap. Room will be provided for signage. This entry will feature operational decorative, tubular steel gates. A pedestrian gate shall be included as well. An entry kiosk, consisting of river rock/coble stone veneer, with a solid cap will be located here.

In addition, a 10-foot high Logo Monument will be located in the center, landscaped median. This Logo Monument will also reflect the materials used on the Residential Entry Monumentation. Lastly, a combination of specimen, flowering and shade trees, as well as shrubs and groundcover, and decorative pavement will be utilized here to round out the aesthetic of the monumentation. Please reference Figure V-21, *PA2 High Density Residential Sherman Road Entry Monumentation* for the monumentation at the main entry to this PA and

Figure V-22, *PA2 High Density Residential Internal Entry Monumentation* for secondary entry monumentation into PA2 from PA3.

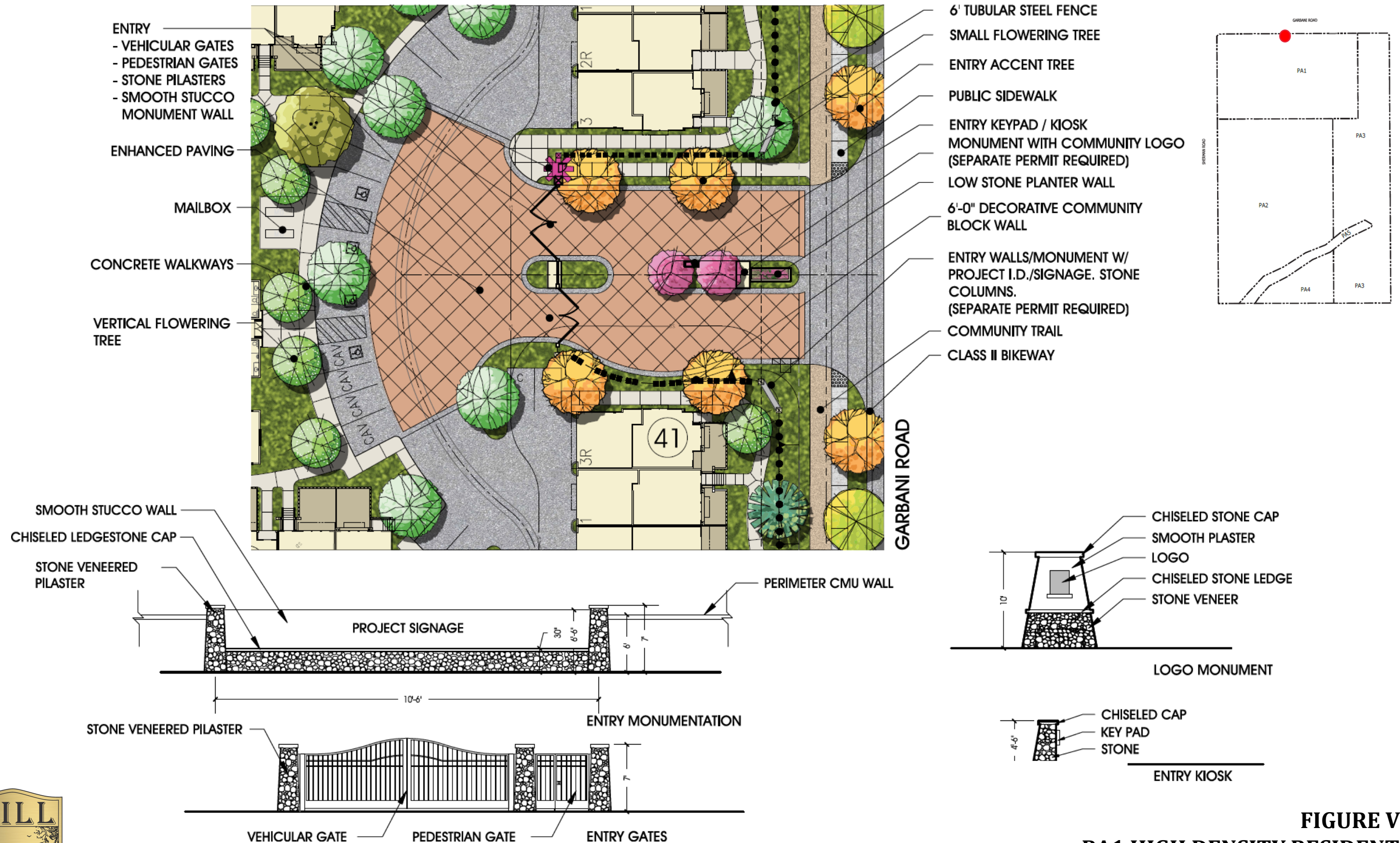
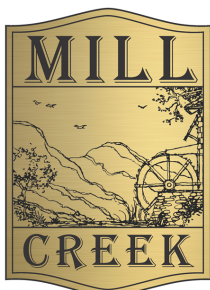


FIGURE V-20
PA1 HIGH DENSITY RESIDENTIAL
GARBANI ENTRY MONUMENTATION

For landscaping refer to Figure V-2, *Plant Palette*.



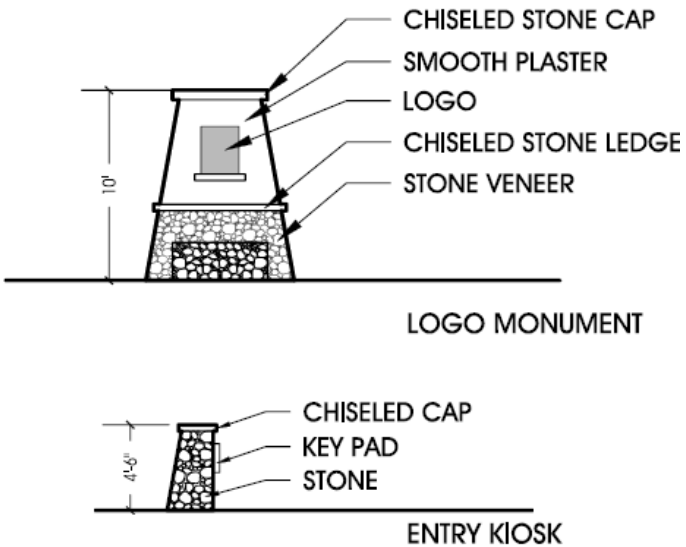
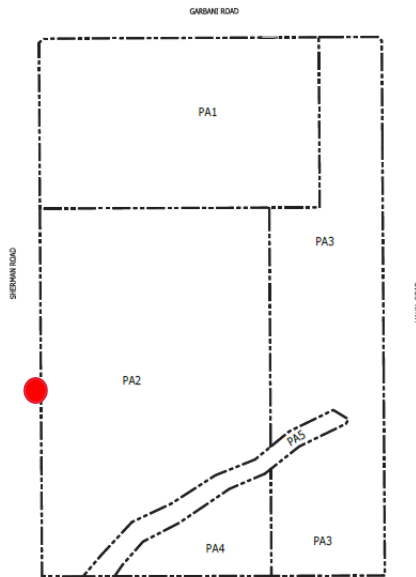
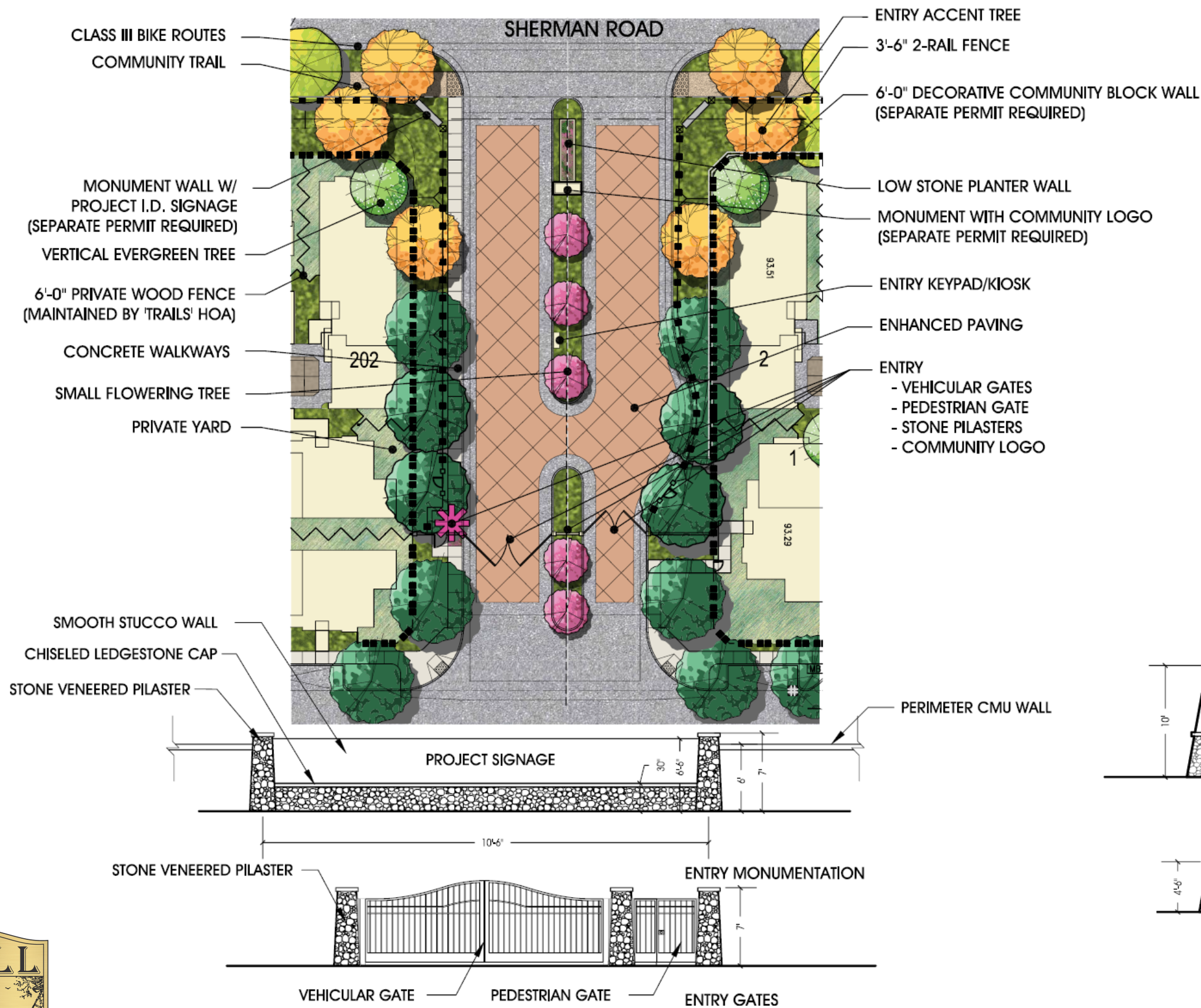
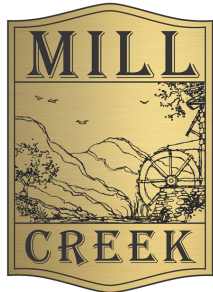
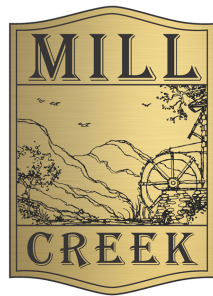
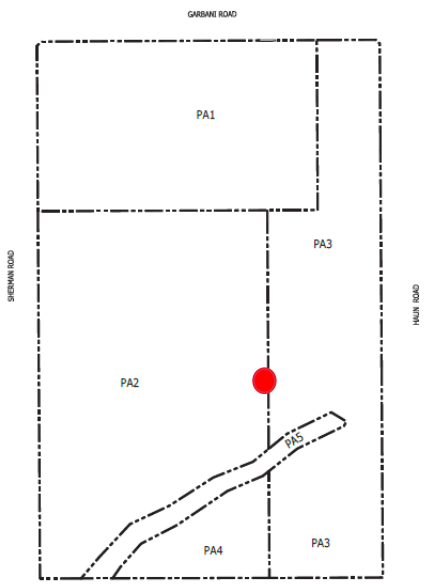
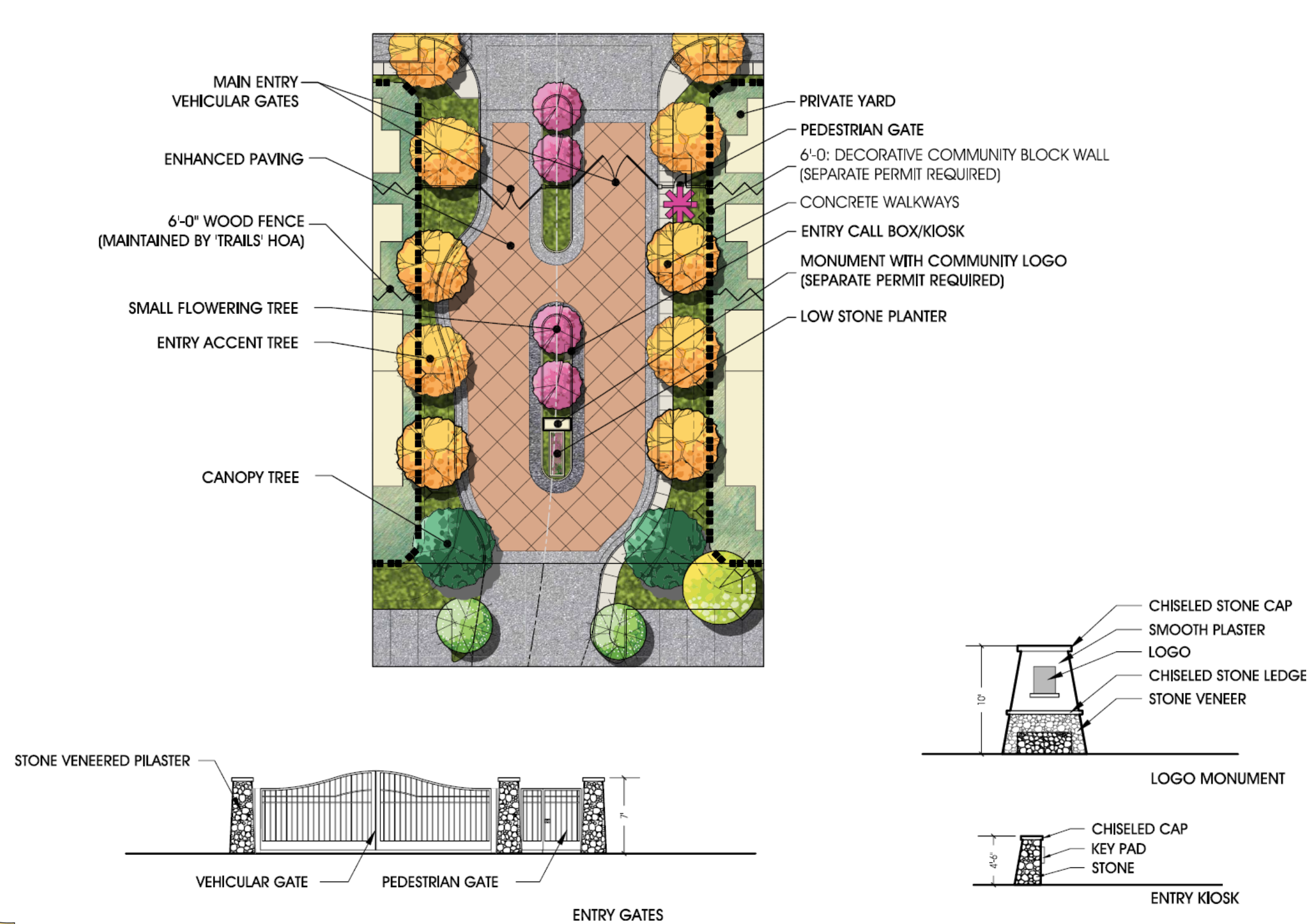


FIGURE V-21
PA2 HIGH DENSITY RESIDENTIAL
SHERMAN ROAD ENTRY MONUMENTATION

For landscaping refer to Figure V-2, *Plant Palette*.



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-22
PA2 HIGH DENSITY RESIDENTIAL
INTERNAL ENTRY MONUMENTATION

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c. Commercial Retail Entry Monumentation

Commercial Retail Entry Monumentation identifies the entrances to PA3 from Haun Road. The Commercial Retail Entry Monumentation reflects the same character and materials utilized in the other entry monumentation utilized throughout the Specific Plan, as depicted in Figure V-23a, *PA3 Commercial Retail Haun Road North Entry Monumentation*. The base will consist of river rock/coble stone veneer, and the end pilasters will consist of river rock/coble stone veneer, with a solid cap. Room will be provided for center signage. In addition, a 10-foot high Logo Monument will be located in the center, landscaped median. This Logo Monument will also reflect the materials used on the Commercial Retail Entry Monumentation. Lastly, a combination of specimen, flowering and shade trees, as well as shrubs and groundcover, and decorative paving will be utilized here to round out the aesthetic of the monumentation.

Figure V-23b, *PA3 Commercial Retail Haun South Road Entry Monumentation* depicts the south Haun Road entry, which provide ingress/egress to PA1 and PA3. Access to PA 4 is also provided here, via PA3. The Commercial Retail Entry Monumentation will be approximately 6-feet, 6-inches in height and 24-feet across. The base will consist of river rock/coble stone veneer, and the end pilasters will consist of river rock/coble stone veneer, with a solid cap. Room will be provided for center signage. In addition, a 10-foot high Logo Monument will be located in the center landscaped median. This Logo Monument will also reflect the materials used on the Commercial Retail Entry Monumentation. 4-foot high Stone Gateway Monuments will be provided as the entries into PA 1 and PA3. In addition to the monumentation and the landscaped median, a water wheel and water feature, as well as garden plaza features, will be provided here. Lastly, a combination of specimen, flowering and shade trees, as well as shrubs and groundcover, and decorative paving will be utilized here to round out the aesthetic of the monumentation.

d. PA3 Haun Road/Garbani Road Corner Treatment

Figure V-23c, Haun Road/Garbani Road Corner Treatment depicts the northwest corner of the Project at Haun and Garbani Roads. This treatment has been sited here to provide a sense of arrival into the Southern Gateway (EDC-SG) District. This arced corner treatment is situated on a decomposed granite and landscaped area and will provide a single-beam trellis with four 8-foot high, tapered stone columns; it is approximately 50-feet long. In between the columns there will be a decorative, low stone wall that will offer seating. This corner treatment will also feature an 18-foot high metal water tank (6-feet, six-inches in diameter) with signage. Street and accent trees are provided.

e. PA3 Bridge

Figure V-24, *PA3 Bridge* depicts the bridge that will connect the north and south portions of PA3 at the southern Haun Road entry. The bridge will allow access across the PA5 drainage course channel. The PA3 bridge will feature a stone wall with stone cap and pedestrians will have access via a 6'-0" concrete walk with a 42" guard rail along the channel. A 5'-0" stone veneered pilaster with light fixture, logo, and chiseled stone ledge will be provided.

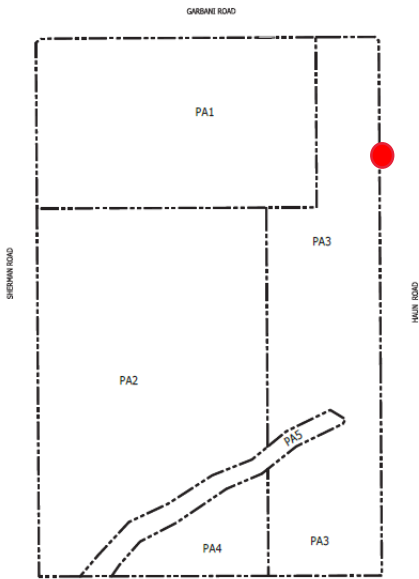
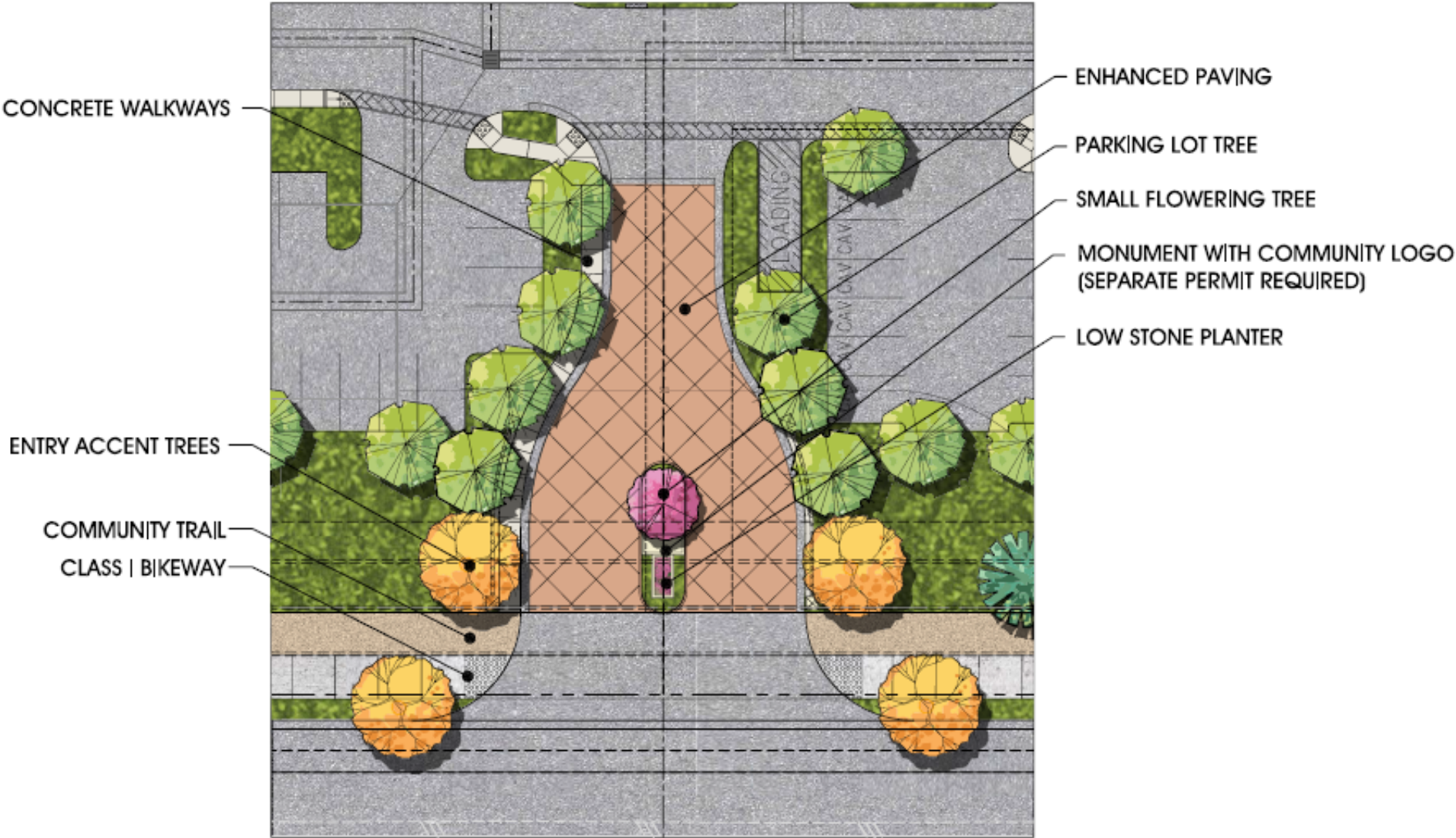
f. Business Park Entry Monumentation

Business Park Entry Monumentation identifies the entrance to the business park from PA3. The Business Park Entry Monumentation reflects the same character and materials utilized in the other entry monumentation; however, due to its location internal to the Specific Plan, will not be

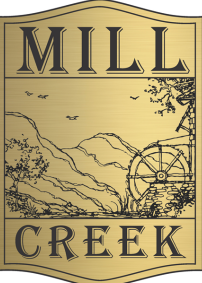
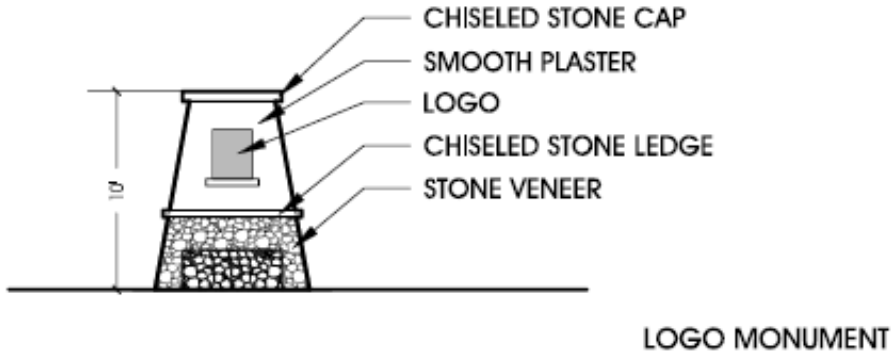
overstated. This Business Park Entry Monumentation 4-feet in height, and a minimum of 4-feet wide with a broad base that tapers to the top. The This Business Park Entry Monumentation will consist of river rock/coble stone veneer, with a solid cap. Signage, which may include names of business located in the business park shall be included. Please reference Figure V-25, *PA4 Business Park Entry Monumentation*.

g. Park/Path Monumentation

Park and Path Monumentation indicates entrances to the recreational areas in PA1 and PA2, and at key points along sidewalks and paths, Figure V-26, *Park/Path Monumentation* illustrates this concept. The Park and Path Monumentation reflects the same character and materials utilized in the other entry monumentation. This Park and Path Monumentation will be approximately 4-feet in height, and approximately 4-5 feet wide, with a broad base that tapers to the top. The Park and Path Monumentation will consist of river rock/coble stone veneer, with a solid cap. Signage, which may include names of parks or paths, shall be included.

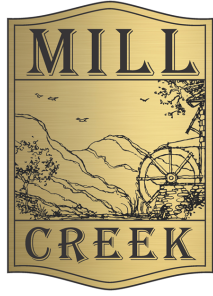
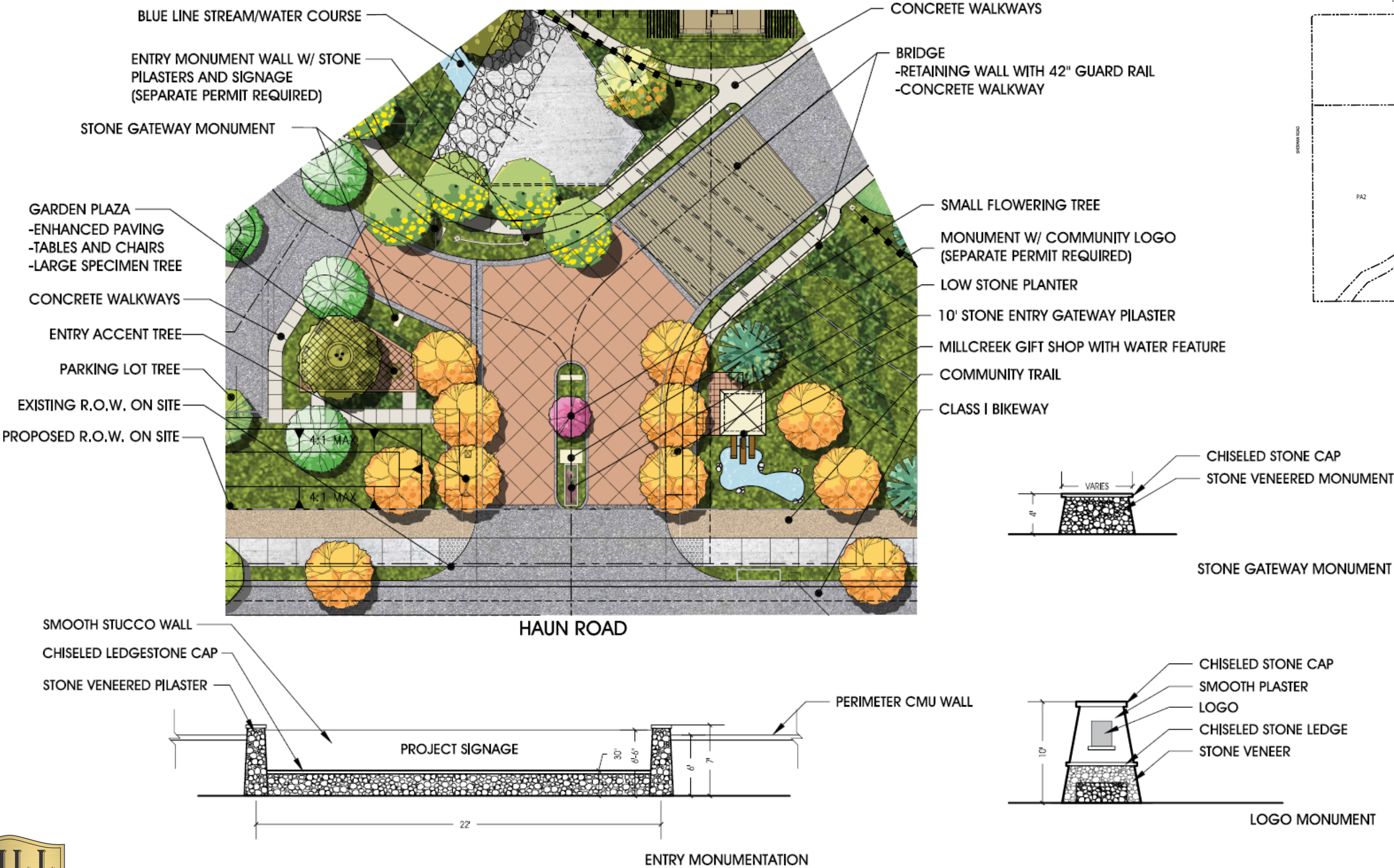


HAUN ROAD



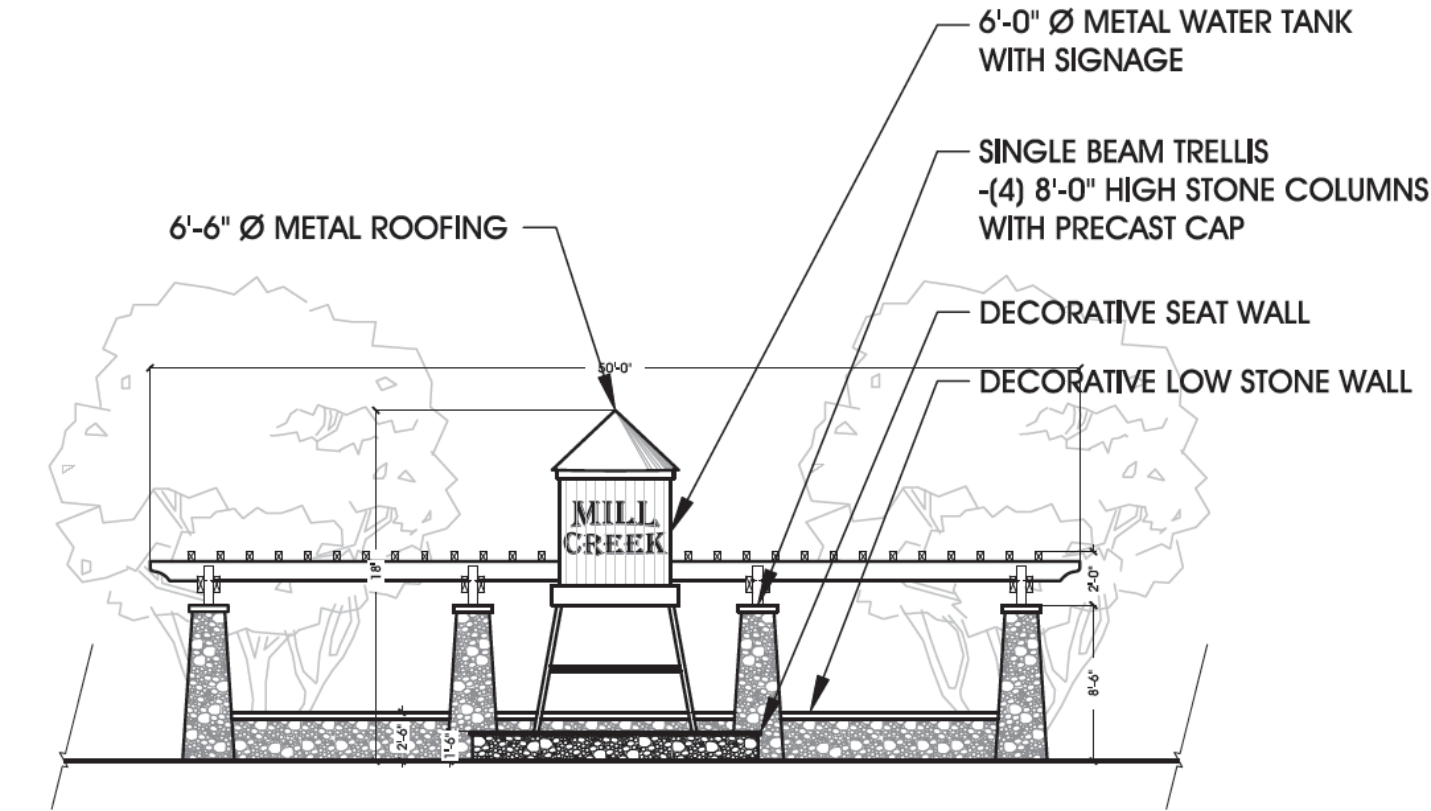
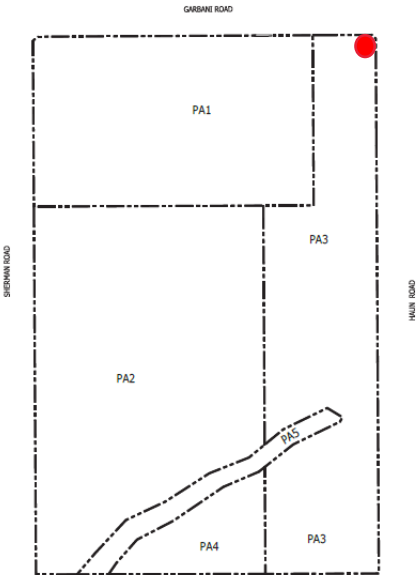
For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-23a
PA3 COMMERCIAL RETAIL HAUN ROAD
NORTH ENTRY MONUMENTATION

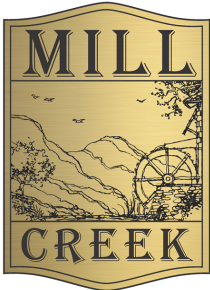


For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-23b
PA3 COMMERCIAL RETAIL HAUN ROAD
SOUTH ENTRY MONUMENTATION



WATER TOWER / TRELLIS AT CORNER - FRONT VIEW ELEVATION



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-23c
HAUN ROAD/GARBANI ROAD
CORNER TREATMENT

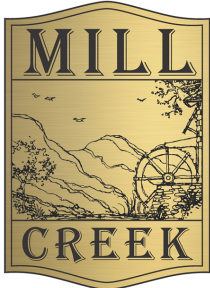
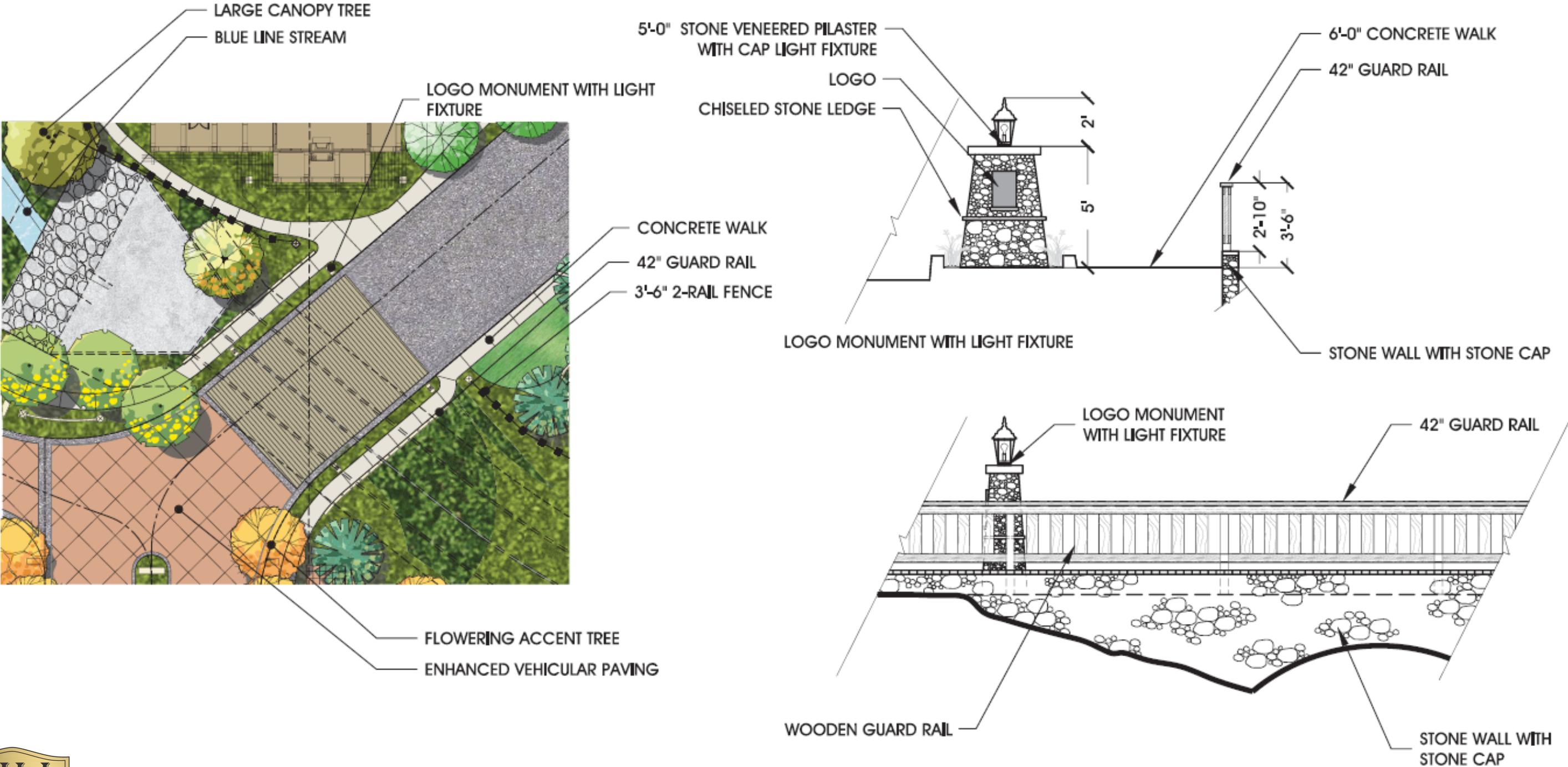
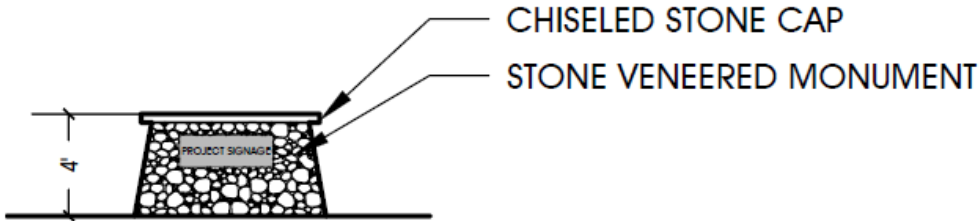
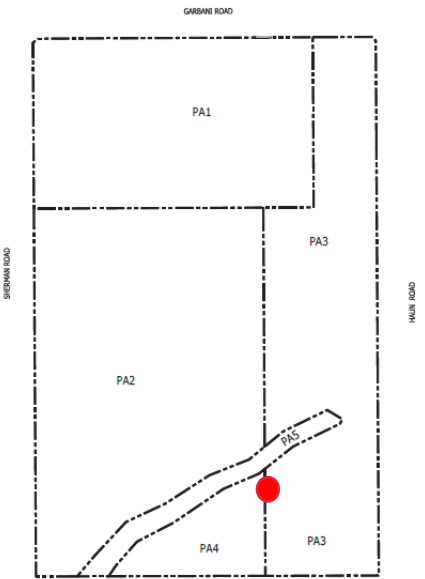
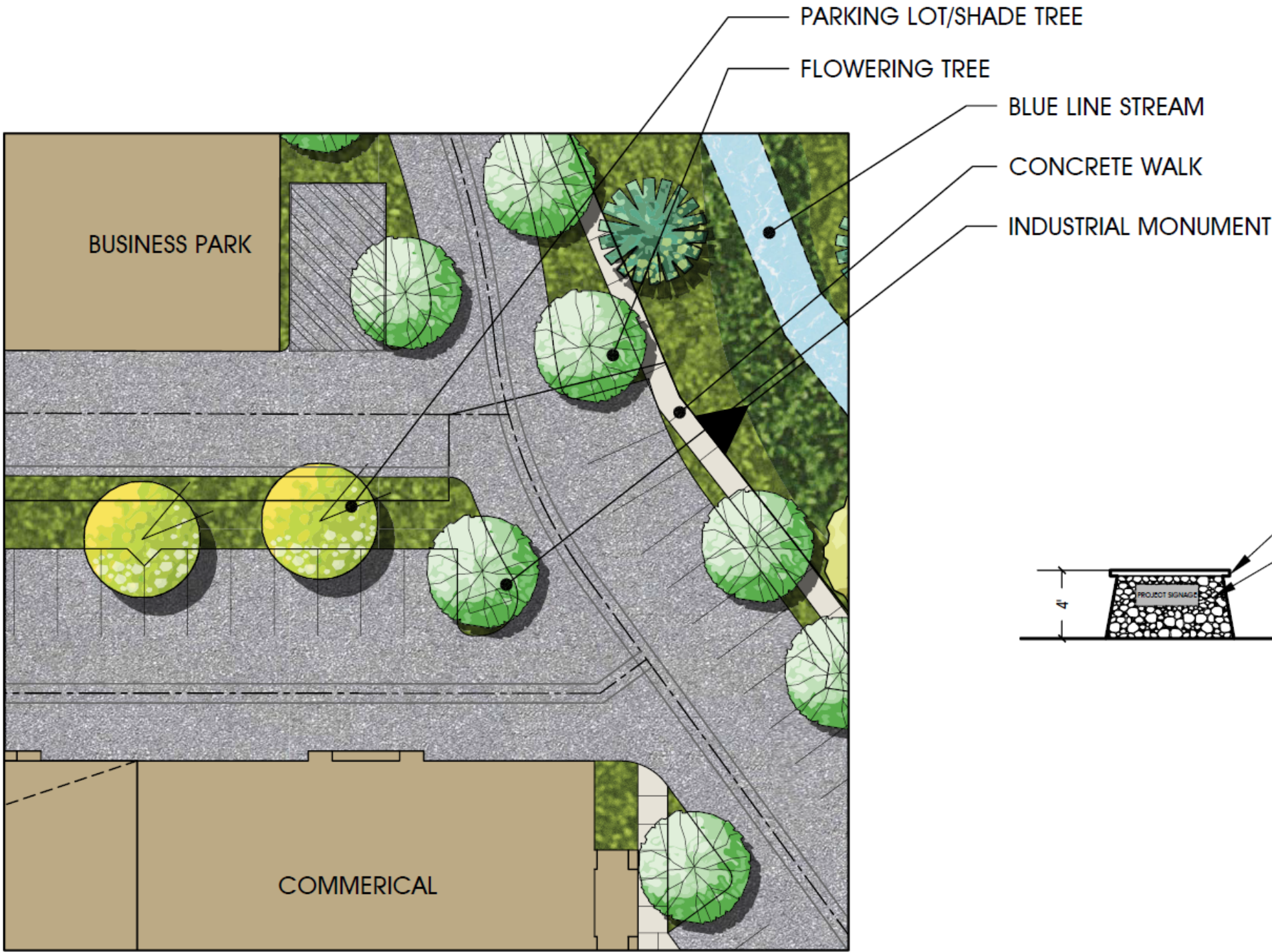
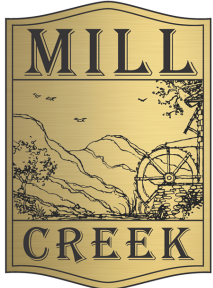


FIGURE V-24
PA3 BRIDGE



MONUMENT SIGNAGE



For landscaping refer to Figure V-2, *Plant Palette*.

FIGURE V-25
PA4 BUSINESS PARK ENTRY MONUMENTATION

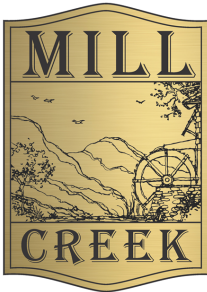
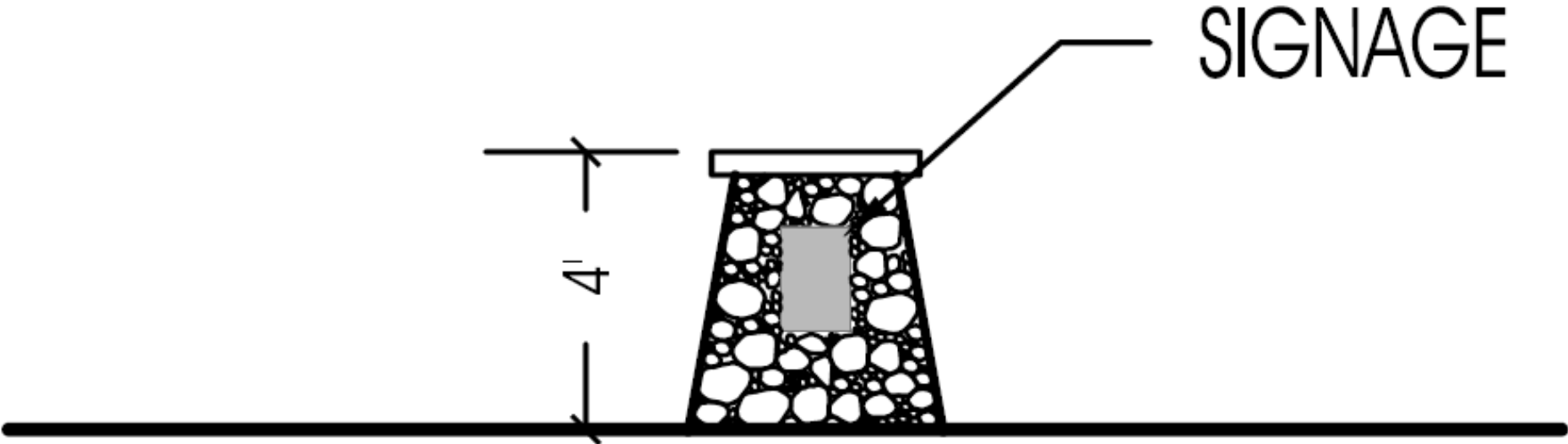


FIGURE V-26
PARK/TRAIL MONUMENTATION
Page V-48

7. Open Space and Recreational Land Uses

As shown in Figure III-2, *Open Space and Recreation Plan*, the Specific Plan will provide opportunities throughout the site for passive and active recreation. The conceptual placement of each recreational area was chosen in order to maximize its accessibility and ensure that all future residents will be within a comfortable walking distance to a recreational amenity.

Three (3) private recreational areas are located in PA1. As illustrated in Figure III-3, *PA1 High Density Residential Recreation Area 1*, anticipated recreational components may include shade trees, walkways, picnic areas, turf areas, basketball court, sand volleyball court, picnic pavilion, benches, and BBQ areas.

As shown in Figure III-4, *PA1 High Density Residential Recreation Area 2*, anticipated recreational components may include a clubhouse, pool, tot lot, shade trees, walkways, picnic areas, and turf areas.

As shown in Figure III-5, *PA1 High Density Residential Recreation Area 3*, anticipated recreational components may include tot lots (2), shade trees, walkways, picnic areas, gazebo, turf areas, and a community garden.

One main private recreational area is located in PA2. As illustrated in Figure III-6, *PA2 High Density Residential Recreation Area*, anticipated recreational components may include a pool, spa, clubhouse, shade trees, play areas, walkways, picnic areas with gazebos, and turf areas, tot lots/play areas, a basketball half-court court, and a sand volleyball court.

Typical tot lots/play areas and passive recreational areas with gazebos are shown in Figure III-7, *Typical Tot Lot*, and Figure III-8, *Typical Gazebos*, respectively.

Careful thought and consideration has been given to the location of each park to ensure that all future residents can benefit from their use.

Open Space Conservation

PA5 is approximately 1.69 acres. It will remain mostly undisturbed within the Specific Plan. Sidewalks and paths will be provided in the PAs that abut this conserved area; thereby providing an aesthetic passive recreational resource for the residents and visitors to the Specific Plan communities.

Common Landscape Areas

Common landscape areas will be part of PAs 1-4. The common landscape areas are not expected to provide any active recreational or park amenities, but they will serve as an open space amenity for the community. The common open space areas are envisioned to contain a special landscape treatment that will reinforce the community landscape theme.

8. Walls & Fences

As shown in Figure V-27, *Conceptual Wall and Fence Plan*, and Figures V-28 a & b, *Conceptual Wall and Fence Details*, several types of walls and fencing are proposed for the Specific Plan community. Where possible, landscaping and berms are used to separate land uses in order to create a sense of openness. Where walls and fencing are necessary, they are intended to

create a sense of community space, increase privacy and security, provide noise attenuation, and act as a buffer between residences and neighborhoods.

Walls will be predominantly located around the perimeter boundaries of the residential planning area where interfaces with commercial/office, business park, roads, and/or off-site land uses occur. The walls and fencing within the Specific Plan are major visual elements and have been carefully designed to complement the Project. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines. The walls and fencing will be easy to maintain and provide a durable, long-term edge. Block walls will be located where either noise attenuation or privacy is needed. View fencing shall be provided in instances where noise and privacy concerns can be met, view potentials can be realized.

Community walls and fences shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Walls and fences may be offset occasionally to avoid visual monotony.

The types of walls and fencing proposed for the Specific Plan include:

Community Wall

As shown in Figure V-27, *Conceptual Wall and Fence Plan*, community walls are provided along the PA2 residential property boundary along Sherman Road at the bottom of the slope, at both the PA1 and PA2 Project entries. As shown in Figures V-28 a & b, *Conceptual Wall and Fence Details*, community walls shall consist of a 6-foot high decorative block wall set within pilasters. In instances where the wall faces a public view, it will be a split face block. Pilasters shall be provided at property lines and at breaks between public and private spaces where walls or fences are provided, but at a minimum, at least every 100 feet. Pilasters shall be constructed of split face block. The walls and pilasters shall feature a cap of decorative block, concrete or stone.

Combination Fence & Wall

As shown in Figure V-27, *Conceptual Wall and Fence Plan*, a combination wall and fence is proposed around portions of the basin located in PA2 and along the trail that is provided in the southern portion of PA2 adjacent to PA5.

As shown in Figures V-28 a & b, *Conceptual Wall and Fence Details*, the combination wall shall be composed of a decorative block wall foundation with vertical portions of tubular steel panels. Pilasters may be constructed of decorative block. Pilasters shall occur at all property line changes, intervals appropriate to the wall run and at least every 100 feet along long spans. The combination wall is intended to be used where partial privacy is needed, but views add to the aesthetic value.

Open View Tubular Steel Fence

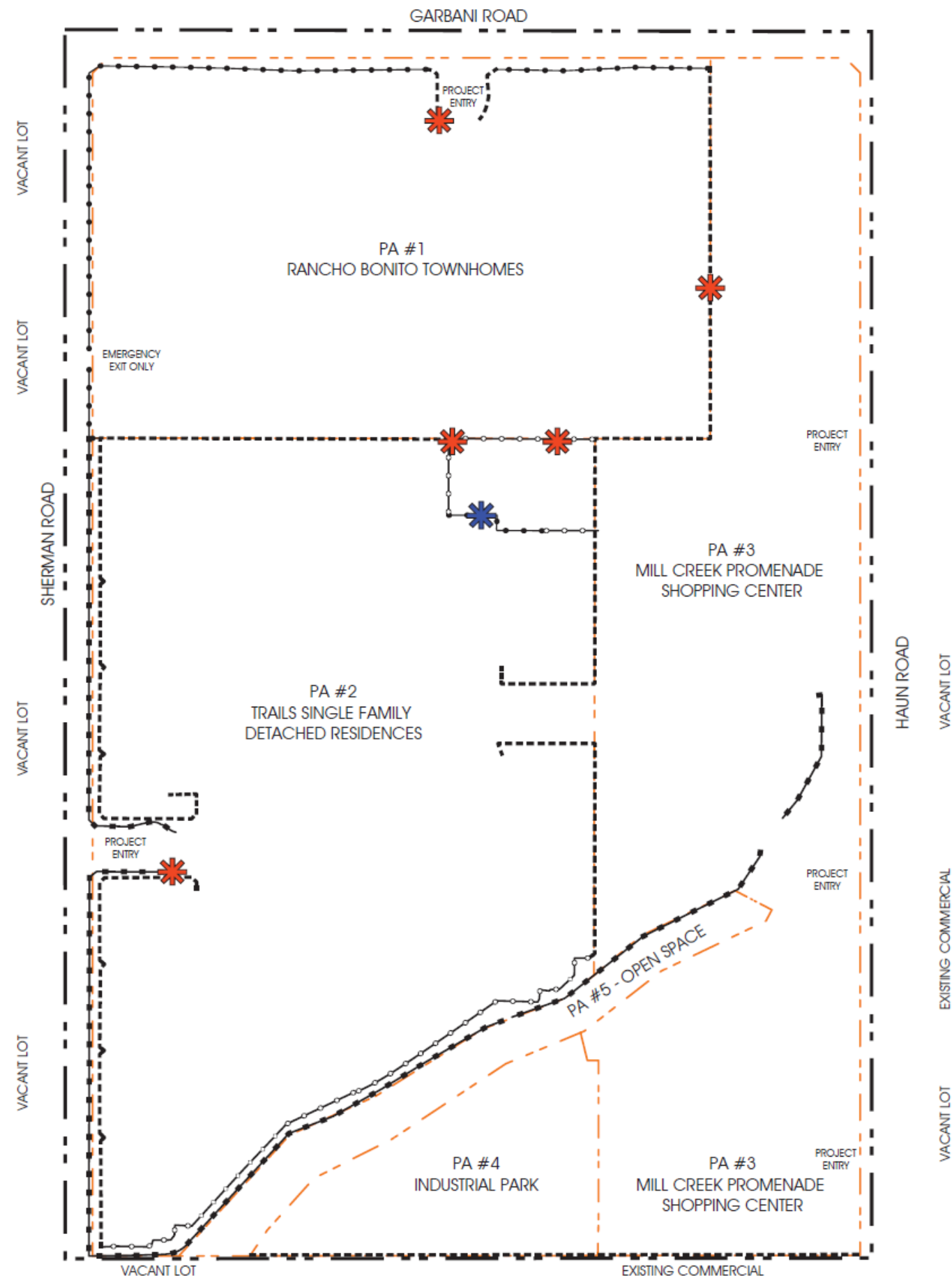
The design intent of open view fences is to provide security while allowing visual permeability. Open view fences are provided along the PA1 residential property boundary where it abuts Sherman and Garbani Roads and around a small portion of the basin located in PA2, as shown

on Figure V-27, *Conceptual Wall and Fence Plan*. As shown in Figures V-28 a & b, *Conceptual Wall and Fence Details*, the view fence would be constructed of tubular steel panels or other appropriate materials and shall meet the minimum height requirements.

2-Rail Fence

2-rail fences are shown along the PA2 residential property boundary along Sherman Road at the top of the slope and adjacent to PA5 as depicted on Figure V-27, *Conceptual Wall and Fence Plan*. As shown in Figures V-28 a & b, *Conceptual Wall and Fence Details*, the fence would consist of a 3'-6" high, 2-rail vinyl fence, with 2' x 6' rails and 4' x 4' posts (with caps).

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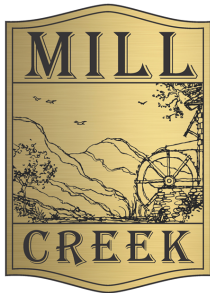


LEGEND	DESCRIPTION
	3'-0" WIDE TUBULAR STEEL PEDESTRIAN ACCESS GATE
	6'-0" TUBULAR STEEL VEHICULAR ACCESS GATE
	6'-0" DECORATIVE COMMUNITY BLOCK WALL
	6'-0" DECORATIVE COMBO BLOCK WALL-TUBULAR STEEL FENCE
	3'-6" 2-RAIL RENCE
	6'-0" TUBULAR STEEL FENCE
	PLANNING AREA BOUNDARY
	PROJECT BOUNDARY

- NOTES
1. SEPARATE PERMIT REQUIRED FOR SIGNAGE AND SITE WALLS.
 2. IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASTER, ETC. SHALL BE MAINTAINED BY THE HOA OR PRIVATE OWNER(S).

This is a concept plan that shows the general type and location for the walls and fences. The specific types and quantities of walls and fences will be provided at the Plot Plan stage of development.

FIGURE V-27
CONCEPTUAL WALL AND FENCE PLAN



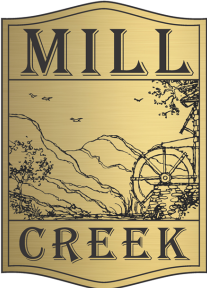
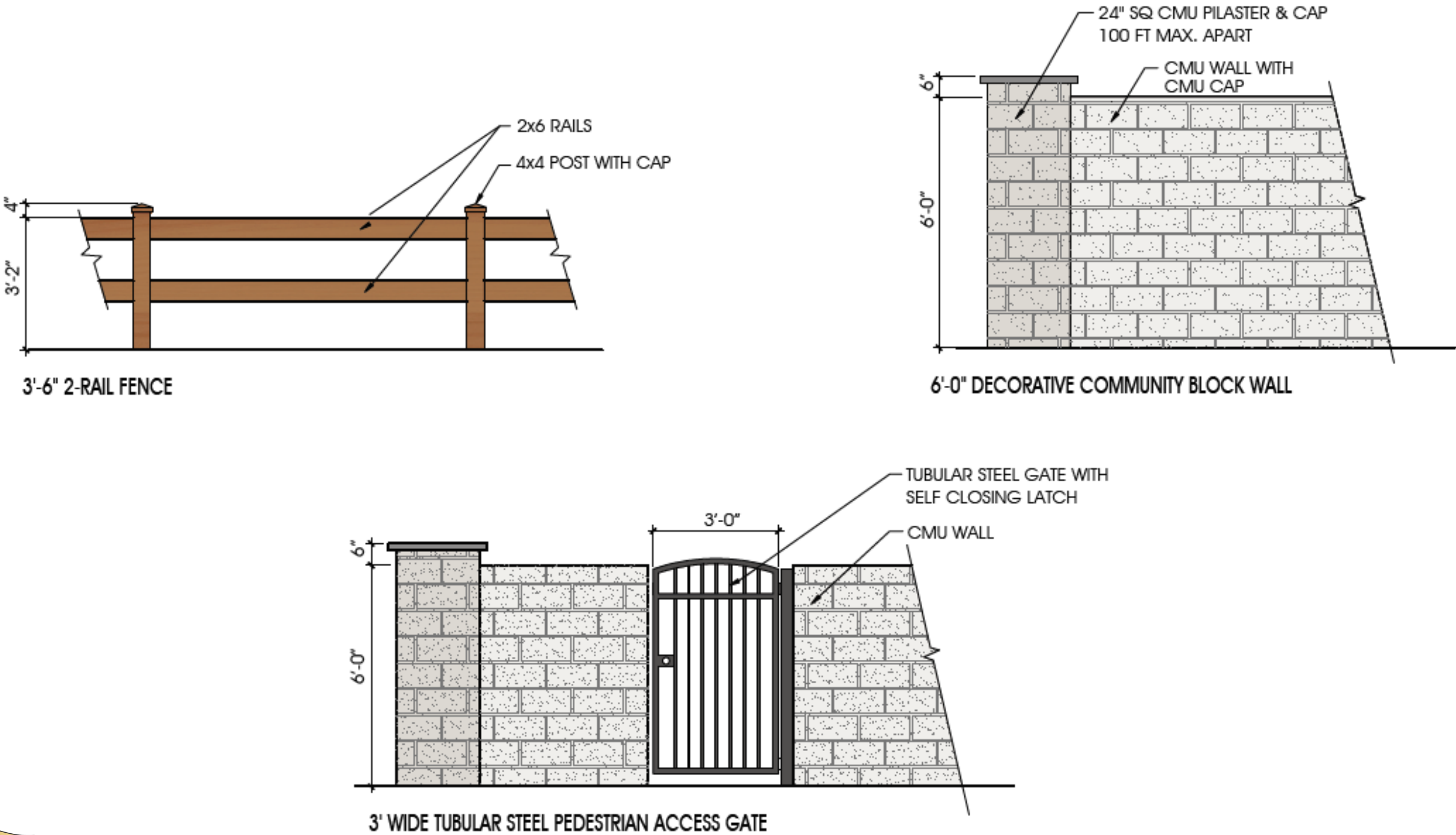


FIGURE V-28a
CONCEPTUAL WALL AND FENCE DETAILS

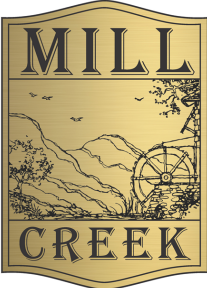
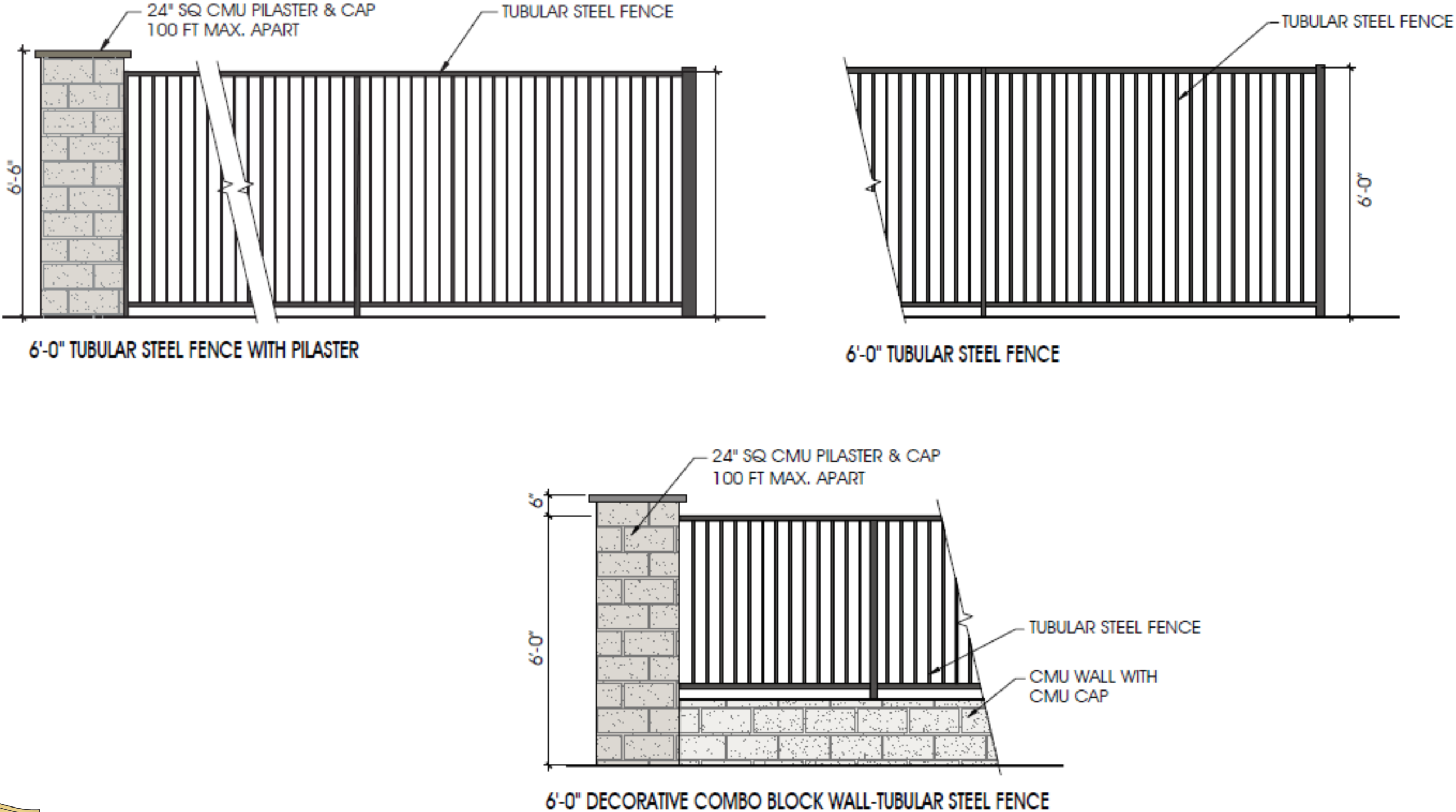


FIGURE V-28b
CONCEPTUAL WALL AND FENCE DETAILS
Page V-55

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9. Lighting

Street Lighting

The Project is located within approximately 48 miles of the Mt. Palomar Observatory and City Ordinance Chapter 6.01 will be observed. This ordinance requires that projects incorporate “Dark Sky” provisions such as lower lighting levels, backlit addresses and street signs, shielded lights, and other indirect lighting methods. A master plan for street lighting will be created at the final map level for each phase of the Project and coordinated with the appropriate governing departments. All streets and business park developments in the Specific Plan should have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Lighting fixtures should be well integrated into the visual environment. Styles should be selected that are complementary to the Project, and City standards and guidelines.

C. Architectural Design Guidelines

1. Purpose

The purpose of these design guidelines is to promote product quality and community diversity by encouraging builders to expand and explore the range of detailing within the selected architectural styles without sacrificing quality control over the design process.

Three (3) separate and distinct architectural styles have been selected for the palette in this Specific Plan. Each style is presented on the following pages, and figures, in the form of a photo collage with a brief description of the main elements that delineate each style. Accordingly, these Design Guidelines are provided as a resource to those involved in the design and implementation of this Specific Plan, illustrative in nature, and are meant to be flexible to respond to the changes in taste over time.

2. Residential Architectural Styles and Elements

The residential structures in the Specific Plan shall be rich, traditional styles, which are endemic to the region. Other styles may be allowed, provided that they serve to complement these styles, and add visual diversity, and reinforcing the overall character of the street scene. A variety of architectural styles is pivotal to creating a high-quality community. The Specific Plan features three (3) architectural styles that adhere to the overall community theme. In developing the architectural character for the community, the following approved styles may be used:

- Spanish;
- Craftsman; and
- California Ranch.

All three (3) architectural styles are acceptable for both single-family and multi-family attached housing developments. However, the list is not meant to be an exclusive list of architectural styles. The Planning Director may approve other acceptable and compatible styles as described in Chapter VI, *Administration, Implementation, and Maintenance*.

The above list of compatible architectural styles is intended to provide a range of architectural variation, appealing to a variety of potential homebuyers and creating visually interesting street

scenes. The three (3) architectural styles and their various design elements are discussed below. Subchapter C.a., *Architectural Residential Criteria*, below, discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within the Specific Plan. These criteria will also apply to the architectural styles.

a. Residential Architectural Styles

Spanish

Inspired by architecture from the coastal regions of Spain, the Spanish style emerged as a response to a wonderful climate. The style features long verandas, low- pitched red tile roofs, little or no overhanging eaves, stucco siding and arches, especially above doors, porch entries and main windows. Other defining characteristics include an asymmetrical shape with cross gables and side wings, spiral columns and pilasters, courtyards, carve stonework or cat ornaments and patterned tile accents. As shown in Table V-1, *Spanish Architectural Style Elements*, below, and on Figure V-29, *Spanish Residential Architectural Style*, elements common to the Spanish style include:

**Table V-1
Spanish Architectural Style Elements**

ELEMENTS	DESIGN DETAILS
Design Features	Arcades and trellis features Terra Cotta clay pipe vents Elaborate entry surrounds Arched openings
Roofs	Shallow pitched roofs Simple gabled and hipped roofs Concrete or Terra Cotta Barrel tile
Windows	Windows on front elevation Arched or half elliptical windows Decorative grills
Colors	White Earth tones Brown or Beige window frames Dark brown accents Vibrant accent colors at shutters
Accent Material	Stucco Cut “stone” accents Painted ceramic tiles

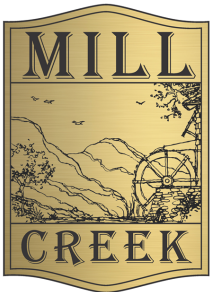
SPANISH ARCHITECTURAL STYLE

- 1. Low pitched roofs with plaster eaves or exposed rafter tails
- 2. ‘S’ tile roofs
- 3. Arches used at main entrance and focal point windows on front elevations
- 4. Exterior plaster walls
- 5. Decorative window grilles, shutters, and/or awnings at key locations
- 6. Balconies with iron railings

HISTORY and CHARACTER

The Spanish Style is an enriched style that has been adapted from Latin American heritage and character of the Panama-California Exposition of 1915. This historic style is embodied by simple forms, massing and details, along with contrast of materials and textures. A key feature of this style was adapting courtyards as informal living spaces to enhance indoor and outdoor living for the family.

Simple courtyards with shade trees and gardens were part of the foreground to the architectural distinction of tile roofs, stucco walls, ironwork accents, and timber doors and gates.



This is a concept plan that shows typical Spanish elevations that may be developed utilizing the standards and guidelines contained in the Specific Plan. The final design will be provided at the Plot Plan stage of development.

FIGURE V-29
SPANISH RESIDENTIAL
ARCHITECTURAL STYLE

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Craftsman

The Craftsman style is an American architectural style that focuses on the harmony of indoor and outdoor life and stresses honesty of form, materials and workmanship, and eschews applied decoration in favor of the straightforward expression of the structure. The Craftsman style draws from wood building traditions of Japan and Switzerland, as well as medieval themes favored by the Arts and Crafts philosophies. Natural materials are used to signify oneness with nature and to set a unifying theme for a home. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. Craftsman style homes are considered easy, asymmetrical, gables and stuccoed works of art that form a large part of Southern California's architectural heritage. As shown in Table V-2, *Craftsman Architectural Style Elements*, below, and on Figure V-30, *Craftsman Residential Architectural Style*, elements common to the Craftsman style include:

Table V-2
Craftsman Architectural Style Elements

ELEMENTS	DESIGN DETAILS
Design Features	Use of stone, shingles, stucco, natural materials Square or tapered columns featured on deep, broad porches Structural elements such as rafter, brackets, braces Covered front porch beneath main roof Tapered, square columns with wood, stone or brick
Roofs	Shallow pitched roofs Gabled ended roofs with deep overhangs Flat concrete tile - shingle appearance
Windows	Multi-paned with wood trim Accent shutters on front elevations
Colors	Earth tones Contrasting window sash and trim
Accent Materials	Stucco Stone

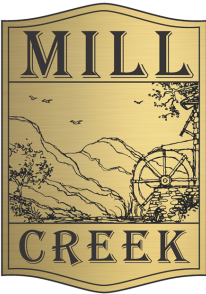
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CRAFTSMAN ARCHITECTURAL STYLE

- 1 Shallow-pitched gable-ended roofs with deep overhangs
- 2 Deep, broad porch element with expressive structural components such as square or tapered columns
- 3 Expressive structural elements such as rafters, brackets, braces and columns
- 4 A mixture of materials such as stone, shingles, stucco, and wood siding
- 5 Multi-paned windows with wood trim

HISTORY and CHARACTER:

The Craftsman style is an American architectural style that focuses on the harmony of indoor and outdoor life and stresses honesty of form, materials and workmanship, and eschews applied decoration in favor of the straightforward expression of the structure. The Craftsman style draws from wood building traditions of Japan and Switzerland, as well as medieval themes favored by the Arts and Crafts philosophies. Natural materials are used to signify oneness with nature and to set a unifying theme for a home. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. Craftsman style homes are considered easy, asymmetrical, gables and stuccoed works of art that form a large part of Southern California’s architectural heritage.



This is a concept plan that shows typical Craftsman elevations that may be developed utilizing the standards and guidelines contained in the Specific Plan. The final design will be provided at the Plot Plan stage of development.

FIGURE V-30
CRAFTSMAN RESIDENTIAL
ARCHITECTURAL STYLE

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California Ranch

Inspired by the California cattle ranches developed by early Californians in the late 1800's, the California Ranch architectural style evolved from native materials with considerations of climate and lifestyle. Primary building materials have evolved from adobe and wood to shingles for roofs, board and batten siding, and other colonial features. Current versions of the style are typically simple and straightforward with stucco walls, gabled roofs, and wood accents. As shown in Table V-3, *California Ranch Architectural Style Elements*, below, and on Figure V-31, *California Ranch Residential Architectural Style*, elements common to the California Ranch style include:

**Table V-3
California Ranch Architectural Style Elements**

ELEMENTS	DESIGN DETAILS
Design Features	Horizontal, one and two-story massing form First story elements occasionally feature brick or stone veneers Main body features stucco with lap siding or board and batten accents Entries may integrate a porch with simple columns
Roofs	Low to medium pitched roofs Flat concrete tile - shingle appearance
Windows	Multi-paned with trim Accent shutters
Colors	Earth tones Contrasting window shutter or trim
Accent Materials	Stucco Stone Siding

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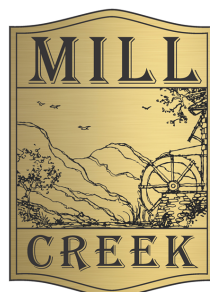
CALIFORNIA RANCH ARCHITECTURAL STYLE

1. Horizontal, one and two-story massing form
2. Low to medium pitched main gable roof with standard overhangs
3. Flat, shake-textured concrete tile or asphalt shingle roof material
4. Lap siding or board and batten accents
5. Sometimes features brick or stone veneers on first story elements

HISTORY and CHARACTER:

In the late 1800's, cattle ranching was the principal occupation in California. The "Ranch House" was generally the centerpiece for the enormous ranches developed by early Californians. Representing one of California's true vernacular styles, the California Ranch house evolved naturally from native materials with considerations of climate and lifestyle.

In the later years of its evolution, the California Ranch style was adapted to also include shingles for roofs, board and batten siding, and other colonial features. Current versions of this style are typically simple and straightforward with stuc-co walls, gabled roofs and wood accents.



This is a concept plan that shows typical California Ranch elevations that may be developed utilizing the standards and guidelines contained in the Specific Plan. The final design will be provided at the Plot Plan stage of development.

FIGURE V-31
CALIFORNIA RANCH RESIDENTIAL
ARCHITECTURAL STYLE

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b. Residential Architectural Elements

This subchapter discusses general attributes that are common to each of the three (3) architectural styles, yet it is the way that they are adapted and modified to suit a particular style that creates a richness of diversity in a master planned community. Variety in residential housing types and building forms provide diversity and visual interest to the neighborhood street scene. Building massing, scale, and proportions of the elements such as roofs, walls, windows, doors, etc., provide balance and style. Below are requirements intended to achieve this balance. Please refer to Appendix C, *EDC Consistency Analysis* for a detailed analysis of how these residential architectural elements are consistent with the EDC requirements.

Massing and Scale

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of the building through design articulation of the building facades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of a street friendly and pedestrian scale architecture. Attention to front yard setbacks, building types, and architectural styles helps provide variation in the mass and scale of buildings. The following massing and scale criteria are intended to develop variation in appearance and sense of individuality for each building.

- The size and scale of the building should be proportionate to the size of the lot and the building's setting.
- Combinations of one and two-story forms are encouraged where feasible.
- Roof lines should be varied where appropriate from building to building in terms of massing, color and roof selection.
- Details, such as porches, doorways and windows, should be in proportion to the overall massing of the building.

Materials

The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complementary color and material palettes along any given street. The selected architectural styles for the Specific Plan allow for a variety of colors and materials, and further define the elements below as they pertain to the particular architectural style.

Specifically, building materials within the Specific Plan should conform to the following requirements:

Roof

- Clay, concrete, or an approved composite (comparable in thickness and appearance as approved by the Community Development Director) roof tile.
- Flat, one piece "S" or traditional barrel shapes.

Exterior Walls

- Stucco.
- Stone, brick and wood siding as wall materials or accent.

Doors

- Stained or painted.
- Authentic styles to structure.

Windows

- Vinyl or aluminum.

Accent Materials

- Masonry Trim: Pre-cast stone, smooth cut stone, and brick used as a base. To be used at entrances and prominent corners depending on the architectural theme.
- Wood Trim: Painted at walls, gates, doors, windows, eaves, balconies, outlookers and pickets. Significant in scale (i.e., 3x material and appropriate to building character).
- Ironwork: Ornamental metalwork at gates, window grilles, balcony rails and fencing where appropriate. Significant in scale and shape while detailed authentically.
- Foam pop outs and accent materials.

Colors

Building colors are an important element when used to achieve a true representation of a specific architectural style. Colors should be authentic as possible when compared to the traditional color palette of a selected style. Consideration may also be given to colors available in the contemporary market that are complementary to the overall community theme and the individual structure's specific architectural style.

Specifically, color materials within the Specific Plan should conform to the following requirements:

Roof and Materials

- Natural colors to emulate the appropriate historic-authentic style (i.e., concrete).

Walls

- Deep to light value "earth" and natural toned colors.

Accents

- Traditional and historic colors that complement the palette of the structure.

Porches and Balconies

The incorporation of front porches is not required but is encouraged. Front and rear balconies

are also encouraged for both aesthetic and practical reasons. Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the structure at the street and sidewalk edge. Along ambiance streets, front porches add an element of personal scale and ambiance, where neighbors can socialize with one another. Porches and balconies within the Specific Plan should conform to the following standards:

- The use of front porches with a usable width of at least 5 to 6 feet is encouraged.
- A porch railing should be included in some instances to define the space and add architectural detail to the porch and front elevation of the structure; however, a railing is only needed with certain architectural styles.

Garages

To achieve an attractive street scene, particular attention should be given to the design, placement and orientation of garages in PA1 and PA2. While maintaining an awareness of the contemporary market and the targeted market segment, an effort should be given to minimize the impact of the garage on the residential neighborhood through architectural enhancement and site location.

Rear and Side Articulation/Façade Treatment

The design consideration and treatment of the rear and side facades of residential buildings, particularly those facing onto spaces visible to the public, has become recognized as an important element in the success of a community's visual character and environment. Enhancement considerations include:

- Foam window trim or shutters where not publicly visible.
- Rear balconies or porches.
- Other design details and amenities, as appropriate to the architectural style.

Elevations

Each residential planning area shall be required to have a minimum number of three (3) different elevations, along with different color schemes.

Single Story Elements

The introduction of single-story elements is encouraged to add variety to the street scene and help establish pedestrian scale. Where appropriate to the architectural style, single-story elements should include:

- Porch.
- Porte-cochere.
- Pop-out gable element (enclosed or open).

Outdoor Lighting

Outdoor lighting is considered to be an integral part of the architectural theme and foremost,

required for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas and allow for safety of the residents. All Project lighting will comply with City of Menifee requirements. In addition, prior to the of a building permit within the commercial retail area, a master lighting plan shall be developed and approved by the Planning Department.

The following Guidelines shall be implemented, as they pertain to outdoor lighting:

- All outdoor lighting shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
- The interface between residential and non-residential uses should have a balance between safety, aesthetics, and function.
- Energy conservation, safety, and security shall be emphasized during the designing and siting of Project lighting. Low intensity, energy conserving night-lighting is preferred.
- Light fixtures and standards shall be coordinated along public rights-of-way.
- Light standards shall blend architecturally with buildings and shall not interfere with required shade trees.
- Parking areas shall use lighting standards and fixtures that are consistent with, and a continuation of, the character of the community.
- Freestanding lighting fixtures shall not exceed 30 feet in height.
- Non-decorative wall-pacs and light standards shall not be permitted.
- “Shoe-box” style lighting fixtures shall be prohibited.



3. Commercial Retail Architectural Styles and Elements

The commercial retail area will provide local support services and some professional office type uses to the residents of the Specific Plan, as well as convenience to those in proximity to the Specific Plan. It is the intent to create an interesting area with opportunities for shopping, entertainment and socializing. Architectural quality should enhance surrounding land uses and promote compatibility. Desirable architectural treatment typically creates visual interest by breaking up uniform blank walls, glass and other building forms into areas that are more visually pleasing.

Careful consideration has been given to the architectural design guidelines. The ultimate overall theme of the commercial area shall serve to further define and reinforce the fabric and

motif of the prior developed portions of the Specific Plan. Reference Figure V-32, *Craftsman/Ranch Commercial Retail Architectural Style*. Please refer to Appendix C, *EDC Consistency Analysis* for a detailed analysis of how these commercial retail architectural styles are consistent with the EDC requirements.

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CRAFTSMAN / RANCH COMMERCIAL ELEVATION EXAMPLE - VARIED ROOF DESIGN, BALCONY AND TOWER ELEMENT, HUMAN SCALE ELEMENTS



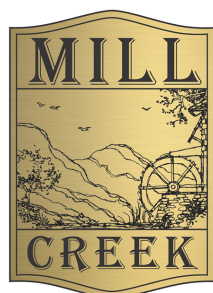
VARIETY OF MATERIALS, PEDESTRIAN SCALE ELEMENTS



RAFTERS, BRACES, AND COLUMNS, PEDESTRIAN INTEREST AND SCALE AT ENTRIES



MULTI-PANED WINDOWS, TOWER ELEMENTS, AWNINGS



This is a concept plan that shows typical Craftsman/Ranch combination elevations that may be developed utilizing the standards and guidelines contained in the Specific Plan. The final design will be provided at the Plot Plan stage of development.

FIGURE V-32
CRAFTSMAN/RANCH COMMERCIAL
RETAIL ARCHITECTURAL STYLE

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a. Site Planning Design Guidelines

These site planning guidelines for the commercial/office portion of the community are not intended to restrict taste or preference but are designed to avoid harsh contrasts and to foster harmony of development. For example:

- Within parking lots, all ingress and egress locations should be designed to reduce impacts on the existing circulation system.
- Large parking lots open to public view should be divided into smaller, less imposing lots.
- Open areas should be large enough to be usable, but not so large as to appear empty. Fifteen feet to thirty feet is generally appropriate.

Streetscene

This portion of the community must provide adequate separation between parking and storefronts to allow for comfortable pedestrian spaces. The following concepts shall be incorporated into mixed-use buildings and commercial retail stores:

- The distance along the face of the building should be varied to provide visual interest.
- Awnings shall be encouraged to promote interest and a human scale.
- Loading zones shall be site planned to avoid exposure to adjacent streets, highways and residential uses.
- Incorporating walls and fences can also be used to help screen areas.
- Exterior storage areas and trash enclosures shall be planned in such a manner to minimize the exposure of such elements to sensitive adjacent uses.
- Parking areas shall be planned in such a manner to allow for landscaping or low, decorative walls, or a combination thereof, for screening. Where possible, buildings should be designed to separate service and delivery circulation from parking areas.

Building Plotting Concepts

Site design should orient buildings, parking and drive aisles, sidewalks and plazas to provide users a clear indication of the building entrance and clear pathways from parking to the entry. Providing a view corridor along the pathway and a unique and consistent landscape or paving theme along the pathways, are good techniques to achieve orientation.

Buildings should be oriented to take best advantage of arterial visibility. At a minimum, buildings located within the commercial area shall relate to a street or main drive lane, a required pedestrian path, a vertical landmark element, a small plaza or other focal point. Where structures are adjacent to water features (not including PA5), buildings and courtyards shall be oriented to maximize visual and physical access to water. Buildings will be designed to locate high activity uses, such as restaurants and entertainment facilities, adjacent to major pedestrian ways. Buildings shall also be oriented toward activity centers, shopping and entertainment areas, and gathering spaces. Buildings shall frame the street/drive lanes with the front of the buildings located adjacent to the vehicular and pedestrian pathways.

Building masses shall be articulated to avoid long straight building facades and create enclosed courtyards and pedestrian spaces where possible. Examples of ways to articulate mixed-use buildings and commercial retail stores are:

- Buildings should be designed to create smooth transitions in scale through the use of low and mid-rise building forms or through the use of terraced elevations.
- Arcades and trellises, or other structures approved by the Planning Department, may be used to enclose gathering spaces.
- Vertical mass at residential edges should be minimized.

The plotting of buildings shall take into account shade elements and maximize shade created by surrounding buildings.

Vehicular Circulation/Parking

Entry areas provide an open window orienting to a focal element of the development by providing distinguishing characteristics, including, but not limited to: enhanced landscaping, a monumentation, and textured paving, as sense of arrival at a unique place is firmly established. Positive public image features, i.e. water fountains or sculptural art, or dramatic landscape elements, i.e. tree masses, will be located at key focal points and will serve to enrich the character of the urban village. The exact number and locations of these items will be determined when the comprehensive plan is established with the Plot Plan.

- When planning the interior vehicular circulation and parking, a hierarchy should be developed to help with traffic flow; however, the top priority must be given to the pedestrian in the ultimate design. The needs of the pedestrian are further elaborated upon below.
- Adequate areas for maneuvering, loading, and emergency vehicle access shall be accommodated on site.
- Screening shall be provided for both aesthetic and functional (i.e., noise, odors) purposes. Parking areas shall be planned in such a manner to allow for landscaping or low, decorative walls, or a combination thereof, for screening.

Landscaping shall be incorporated to soften the impact of paved areas. This will be accomplished through the use of elements such as, but not limited to: shading, accents and other green elements.

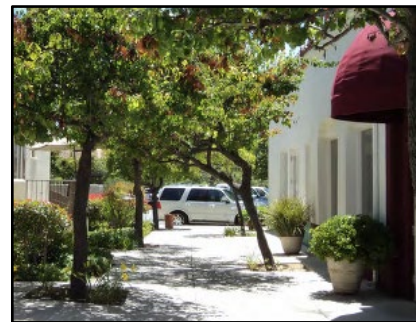
- Parking aisles shall be oriented perpendicular to complexes to allow for easy pedestrian walkways to access shopping.
- Large parking lot areas should be divided into a series of smaller connected lots separated by additional landscaping.
- Low freestanding walls incorporating simple, tasteful signage with pilasters, balustrades, finials and other embellishments are desirable around and within the parking areas to provide an aesthetic and screening purpose.
- Parking areas will be located to provide convenient access to commercial and office areas and minimize impacts to residential areas.
- Residential and non-residential parking shall be exclusive of one another.
- Parking lots should generally be placed away from the street, preferably behind buildings.
- Parking areas should be arranged to minimize conflicts with commercial loading activities.
- If parking structures are used, the ground floor should be accessible to retail and other pedestrian-oriented uses.
- Parking structures shall be integrated into the mixed-use area to achieve function and an appropriate aesthetic.

Pedestrian Circulation

Different uses shall be interconnected by a strong pedestrian circulation system and interconnected by paseos, walkways and sidewalks, hardscape, and landscape. Parking shall not dominate the experience along any designated pedestrian pathway.

As shown on Exhibit LU-2 of the City's General Plan Land Use Plan, the Specific Plan is located in the Economic Development Corridor (EDC) Zoning District. The EDC consists of several distinct neighborhoods which will be interconnected to each other or connected to an EDC core and public park areas by a series of pedestrian pathways. Walkability will be ensured by allowing people to easily travel to uses throughout all Districts, including the Specific Plan area, without having to rely solely on vehicular transport. While public sidewalks provide the primary means of pedestrian mobility within the district, additional connections can be provided via pathways, paseos, bridges, trails, and walkways. The "walkability" feature connects the primary facility entrance along an adjacent public street or alley to either another adjacent public street or alley, or to a similar pathway on an abutting property. The following shall be employed in order to facilitate safe and efficient pedestrian circulation:

- Pedestrian walkways shall be located in a manner to provide clear visibility, safety and accessibility to and through the Project site. Additional site features shall include, but not be limited to, directional signage, placement of markers, landscape planters or vegetation. These features shall be used to emphasize the location of the pedestrian walkway at the public right-of-way and throughout the development.
- Pedestrian walkways shall be located to provide the most direct access from parking areas, public sidewalks to building entrances, amenity areas, and similar on-site uses.
- Where pedestrian walkways pass through parking areas, they shall be differentiated from parking areas using raised walkways, raised curbs, enhanced paving clearly differentiated from the parking area paving, and/or landscape buffers.
- Pedestrian crossing distances at driveways shall be minimized.
- Raised medians shall be used to separate ingress and egress lanes and pedestrian islands shall be required.
- Additionally, walkways shall meet the following minimum standards:
 - ☐ Walkways should follow an alignment that connects building entries.
 - ☐ Whenever connecting walkways pass through parking lots, these walkways should be at least 5 feet wide (excluding car overhangs) with trees planted at least every 36 feet.
 - ☐ Pedestrian crossings shall consist of special pavers or scored concrete.



- Pedestrian access shall be provided between from any potential transit stops.
- Exact locations shall be determined at the Plot Plan stage of development within each Planning Area, and a comprehensive pedestrian plan shall be developed.

Architectural Character

The architectural character shall be consistently utilized and expressed on all faces of buildings, four sided or surround architecture. Structural elevations visible from the public right-of-way or adjoining developed property shall provide one or more appropriate design components, including but not limited to: color variation, wall indentations, window treatment, variations in materials, columns, horizontal or vertical building plane alterations, cornices, lighting fixtures or other design feature that defines space and promotes visual interest. The following shall be employed in order to achieve the desired architectural character in PA3:

- One and two-story building massing shall occur. False second-story elements can be incorporated to provide for variation in building massing and reinforce the enclosure of public spaces and plazas.
- Consideration shall be given to locating the upper floor facades behind the setback from the first-floor facade to provide relief in the building plane and provide for outdoor covered walkways, balconies, etc.
- Accent materials such as stone and brick, accent colors, door and window details, and other architectural enhancements shall occur along the first floor/pedestrian level along all publicly visible facades.
- 360 degree architecture shall be provided in the following manner:
 - Retail/commercial buildings fronting major public streets must have a high level of architectural detail and enhancement.
- Substantial variations in massing shall include changes in height and horizontal plane.
- Bay windows and stepped buildings also create added visual interest and relate directly to the pedestrian environment.
- Awnings shall be encouraged to promote interest and a human scale.
- Covered trellises, or shaded arcades, pergolas, porticos or overhanging eaves attractively connect varied masses and create a more comfortable experience along pedestrian routes.
- Higher tower elements or similar features are required at focal points, such as plazas, major entrances, or where walkways meet streets. They shall be at least 45 feet (45') tall and no more than 70 feet (70') tall.
- Large flat wall planes and the use of repetitive elements shall be avoided.
- A range of roof forms and pitches shall be used to add visual interest to the community streetscape.
- Material changes shall not occur at external corners but shall occur at "reverse" or interior corners or as a "return" at least two feet from external corners.
- Glass curtain wall construction and reflective glass are discouraged.
- No wall shall have a blank, uninterrupted length exceeding 30 feet without including one of the following: change in texture, change in plane, window (excluding clerestory windows and glass block), lattice, tree or equivalent element.
- Facades that are visible from adjacent streets or walkways shall display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, porticos, pergolas, and other architectural features.



b. Commercial Retail Architectural Style

The commercial retail portion of the Specific Plan (PA3) will be the most visible portion of the Project along Haun Road. In addition, it is the focal entry point to the “Southern Gateway” of the EDC. Therefore, the commercial retail architectural style has been developed with a high-quality aesthetic that will be complimented by the landscaping and monументation.

The commercial retail portion of the Specific Plan will be thematically and visually compatible with the overall Specific Plan. PA3 will be a landmark at the entry and a core of service for the residential and business park uses. A palette of materials and colors will provide character and identity for PA3.

c. Commercial Retail Criteria

Materials and Colors

A palette of materials and colors will provide character and identity for the commercial retail area. The natural or manufactured materials and colors used shall reflect the general theme established in the prior phases of the Specific Plan. The following guidelines shall be implemented:

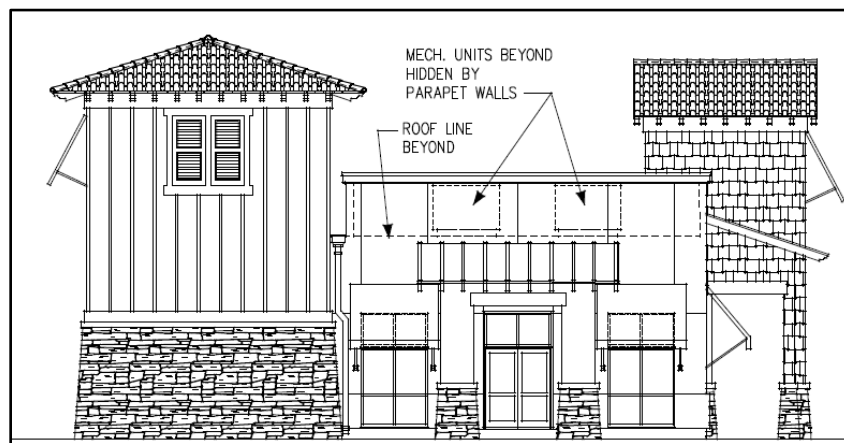
- Primary building colors shall use a combination of earth tones and light colors; bright colors shall be used sparingly.
- Varied shades of colors shall be utilized to break up façades, and should ideally feature darker-toned colors and materials at the base.
- Accent colors and materials are acceptable if they are a complementary contrast with the surroundings and are used for creating interest.
- Traditional materials, including stone, brick, concrete, precast concrete, metal, block, and stucco, shall be used creatively to provide a sense of permanence, as long as they support and foster the overall Project theme.
- Natural materials and textures as architectural accents are strongly encouraged.
- High-quality and visually complementary manufactured materials, as approved by the Community Development Director can be used for practical purposes (aesthetics, durability) and shall be of integral color of that specific material.

Roof Forms, Materials, and Screening of Mechanical Equipment

Variation(s) of roof forms shall be used to create visual distinction between buildings and to incorporate a human-scale perception that breaks down the visual bulk of structures and buildings. The variation(s) will create a sense of common identity within and throughout PA3.

The following guidelines shall be implemented as they pertain to roof forms and materials:

- Roof material(s) shall be consistent in terms of texture, color and character of the selected architectural style(s).
- Roof lines shall be articulated with shorter elements to reduce building mass.
- Sloped roof forms shall be introduced over special areas and special functions to create visual interest.
- Interesting building masses shall be created by varying rooflines and by maximizing offsets to roof planes where possible.
- Combining elements (single-story elements with two-story elements) is encouraged.
- Flat roofs with parapet walls are acceptable but should also be used in combination with simple pitched gable, hip or shed roof forms.
- Mechanical equipment shall be screened from view from public rights-of-way and parking lots through the use of parapets, screen walls, equipment wells, or design features which are architecturally integrated into the design of the structure. Screening shall be a minimum of six inches above the tallest piece of mechanical equipment.
- Mechanical equipment walls shall be integrated into the design (see example provided below) and shall not appear as an “afterthought.”
- Surrounds for individual roof mounted equipment units are prohibited.



Storefronts, Windows and Doors

The storefront on the ground floor is a key element in creating a successful pedestrian environment. The following Guidelines shall be implemented as they pertain to storefronts, windows and doors:

- Windows and doors shall be recessed from the front facade to emphasize the mass and integrity of the wall and to create a dramatic shadow line.
- Second floor windows are typically wooden sash, double hung, traditional windows. Window shutters are optional.
- Patterns of openings should correspond with the overall rhythm of the building and be in line with arcade and trellis openings.
- Interior building design shall relate to pedestrian spaces through generous use of glazing in doors and windows.

- Front doors and entrances to buildings shall be clearly defined and articulated by awnings, overhangs, and canopies and shall be easily recognizable from pedestrian and vehicular vantage points.
- Special architectural treatments, materials and colors shall be used to identify major building entries.
- Other enhancements that are encouraged include: arched windows and doorways, decorative treatments, accent trim or tile at doorways, banded windows to emphasize the horizontal, glazing which follows roof pitch, canvas awnings with complementary accent colors, and wrought iron accents.
- Silver or gold window or door frames, reflective glass or awnings, and metal awnings are all prohibited.

Balconies and Handrails

The incorporation of balconies and handrails as part of the architectural style shall be provided for both practical and aesthetic value. The following Guidelines shall be implemented:

- Balconies and handrails shall be used to integrate indoor and outdoor spaces, as well as break up large wall masses, and offset floor setbacks.
- Materials may include, but not be limited to the following: smooth stucco or wood, simple, clean, wood trimmed details, open railings, and wrought iron.

***Exterior Stairs***

Simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the buildings. The following Guidelines shall be implemented, as they pertain to exterior stairs:

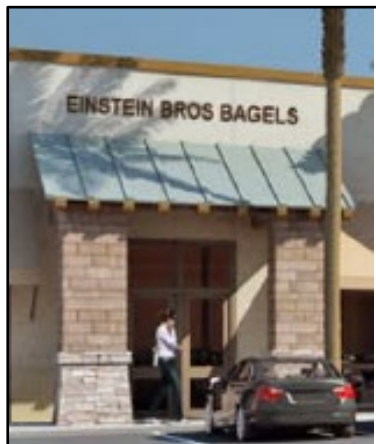
- Stairway railings shall be constructed of smooth stucco, wrought iron, or simple wood.
- Clay tile or brick can be used as tread; use of accent tile on riser, balustrades, and pilasters is encouraged.



Columns

Columns are an important feature of the architectural themes used in the Specific Plan. The following guidelines shall be implemented, as they pertain to columns:

- Columns incorporated as a structural or aesthetic design element shall convey a solid, durable image.
- Columns may be used as a freestanding form or as a support for pedestrian links.
- Columns should be made of materials such as brick, wood, rock, or freestanding plaster archways at entrance gates.



Common Space Elements

Exact locations of open space elements shall be determined at the Plot Plan stage of development and a comprehensive pedestrian plan shall be developed. Site furnishings and details that enrich the appearance of the commercial area shall be provided. As an example, seating areas shall incorporate umbrellas, awnings, trellises, pergolas, and/or other shade structures within commercial areas or plazas. Accent colored canopies and unique business identification signs are also desirable.

A minimum of three (3) garden plazas will be provided in PA3. The garden plazas will provide

open space for employees and patrons. Garden plazas serve as activity nodes and meeting places. In addition, plazas serve to enhance the overall character of the commercial area setting. The three (3) garden plazas, with seating opportunities, will be provided in proximity of the Haun Road entrances to the Specific Plan. Reference Figure V-33a, *Garden and/or Plaza Examples* and Figure V-33b, *Garden Plaza Plan*. Public art is required in the Building Garden Plaza and the Haun Road South Entry Garden Plaza.

The following Guidelines shall be implemented, as they pertain to garden plazas:

- Architecture shall be coordinated with site landscaping to create attractive spaces and environments for pedestrians.
- Shopping, eating and entertainment uses should provide courtyards and plazas geared primarily towards patrons. Tree canopies and/or trellises combined with landscaped boundaries consisting of seat walls and/or shrubs of two to three feet in height should be provided wherever possible to provide comfortable pedestrian spaces. These spaces should offer plentiful seating areas that are shaded through a combination of landscaping, umbrellas and canopies, and include features that appeal to people of all ages, with a special emphasis on public art and water features.
- Areas that contain office buildings, the public plaza space shall be geared primarily towards both employees and clients who will use areas for breaks, lunches and informal meetings/gatherings. The plaza space can be located at the ground or upper levels of the office building, including the roof. The plazas do not have to be open to the general public but should be accessible to all tenants. Features should include permanent or movable seating areas and a combination of hardscape, potted plants, and shade trees. Office buildings can also incorporate small and medium turf areas that include an abundance of shade trees and other drought tolerant and water efficient landscaping.
- Along the Haun Road right-of-way, the plaza(s) shall be clearly oriented immediately toward the roadway. The garden plaza(s) shall:
 - (1) Provide a place that expands the area for use by pedestrians for passive recreation and public gathering; and
 - (2) Provide areas for landscape amenities, display of public art, and similar uses. Garden plaza features enhance the appearance and function of development. For projects that are focused on shopping, eating, and entertainment uses, the garden plaza features shall be provided at grade of the adjacent public right-of-way and conform to the following:
 - *Allowed uses.* Garden plaza features may include landscaped and paved areas, outdoor dining areas, public art display, fountains, or similar uses and amenities permitted in the applicable zone. Non-vehicular sales kiosks are also permitted where appropriate.
 - *Garden plaza location.* The plaza area may be located anywhere on a site in a manner that provides easy accessibility and maintenance. The plaza area should be well integrated into other development features and pedestrian access ways on the site. Proposed locations shall be reviewed through the plot plan review process.
- A pedestrian plaza shall be required in lieu of a garden plaza when a building is located toward the rear of a lot and a surface parking lot is located between the public right-of-way and buildings on the site. A pedestrian plaza is an area of a development reserved for pedestrian-only use where automobile or other wheeled traffic is prohibited.
- A minimum area of 25% of the garden plaza area shall be landscaped with live plant materials. Quality landscaping provided in raised planters or pots is allowed and will count toward the required landscaping.

- Garden plazas shall be paved in high-quality materials such as pavers, stone or cobblestone, patterned or scored colored concrete, or similar durable materials. Asphalt is prohibited.
- Pedestrian-oriented plazas accessible to commercial/office/institutional and mixed-use developments, not otherwise allocated to specific uses or tenants, may be counted toward open space requirements.
- The garden/pedestrian plaza area shall not be enclosed or obstructed by fencing or walls and shall be well integrated with the front yard setback area, except as required for permitted outdoor dining areas.
- Garden plazas are where high levels of pedestrian activity are expected. Such plazas shall be located in proximity to major entrances and food services such as delis, restaurants, coffee shops, and bakeries. These are the natural location for the plazas given the amount of anticipated pedestrian traffic. Reference Figure V-33a, *Garden and/or Plaza Examples* and Figure V-33b, *Garden Plaza Plan*.
- Plazas shall be used to draw attention to distinctive features such as entrances, public art, fountains, or plantings.
- Building entries and windows should look onto plazas to enhance activity and security.
- Outdoor seating, tables and umbrellas, public art, water features, landscaping, gazebos, public art, or other features are encouraged in plazas and should be consistent with the overall community theme.





WATER FEATURES USING RECYCLED WATER



OUTDOOR DINING - ATTRACTIVE GATHERING AREAS



PEDESTRIAN GATHERING AND SEATING, DECORATIVE PAVING



OUTDOOR DINING AND ATTRACTIVE GATHERING AREAS, TRELLIS FEATURES

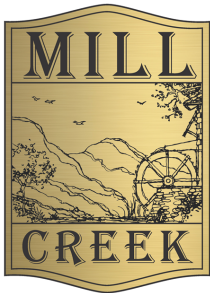
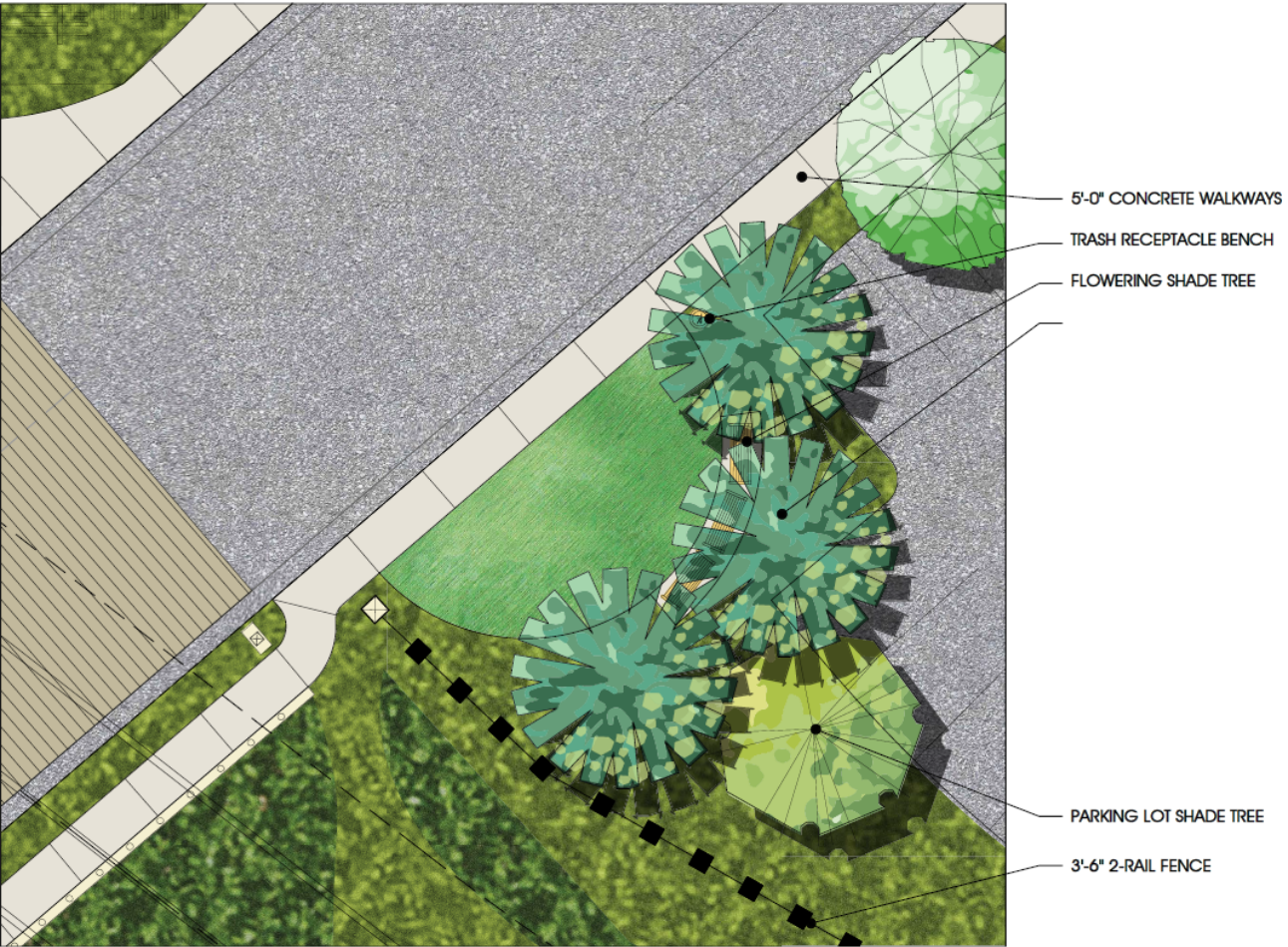


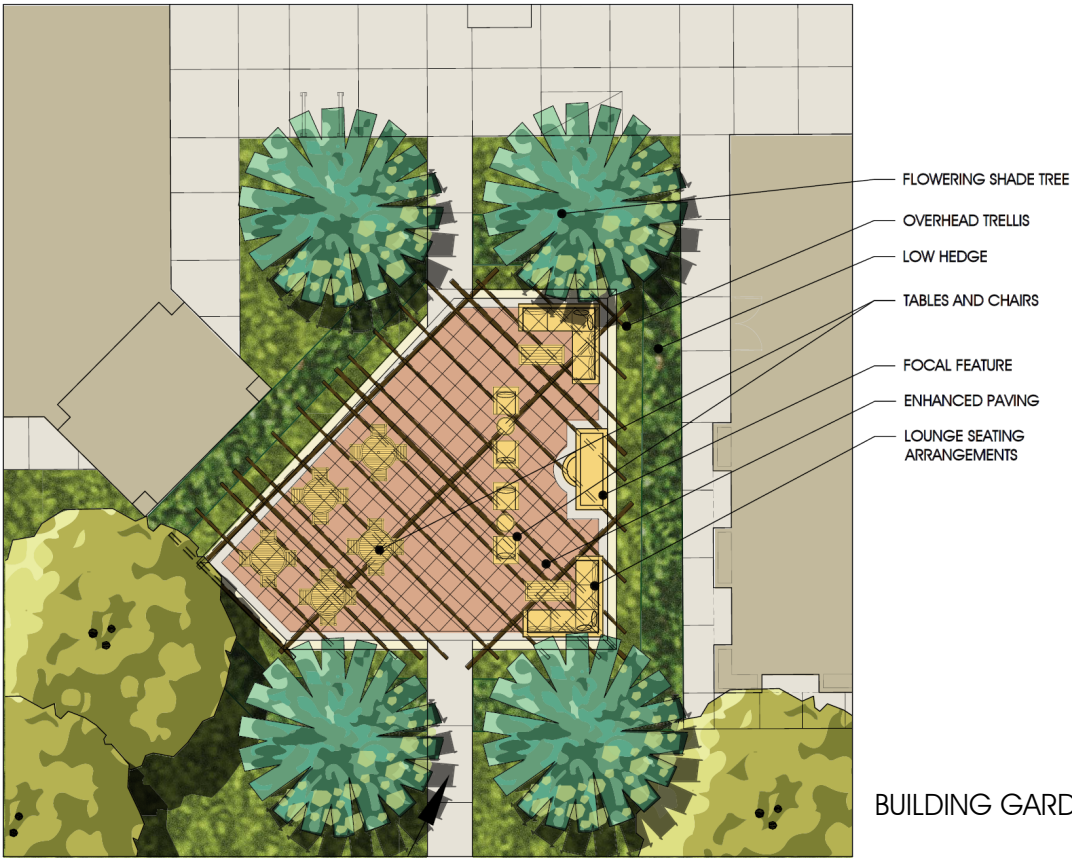
FIGURE V-33a
GARDEN AND/OR PLAZA EXAMPLES



SOUTH HAUN ROAD GARDEN PLAZA



POCKET PARK GARDEN PLAZA



BUILDING GARDEN PLAZA

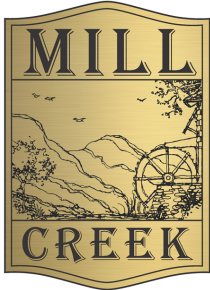


FIGURE V-33b
GARDEN PLAZA PLAN

Outdoor Lighting

Outdoor lighting is considered to be an integral part of the architectural theme and foremost, required for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas and allow for safety of the residents. All Project lighting will comply with City of Menifee requirements. In addition, prior to the of a building permit within the commercial retail area, a master lighting plan shall be developed and approved by the Planning Department.

The following Guidelines shall be implemented, as they pertain to outdoor lighting:

- All outdoor lighting (including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas) shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
- The interface between residential and non-residential uses should have a balance between safety, aesthetics and function.
- Energy conservation, safety, and security shall be emphasized during the designing and siting of Project lighting. Low intensity, energy conserving night-lighting is preferred.
- Light fixtures and standards shall be coordinated along public rights-of-way.
- Light standards shall blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture, and shall not interfere with required shade trees.
- Parking lot lighting shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
- Parking areas shall use lighting standards and fixtures that are consistent with, and a continuation of, the character of the community.
- Service/loading area lighting shall be contained within the service area boundaries and enclosure walls. Light spillover shall not occur outside the service area.
- Freestanding lighting fixtures shall not exceed 30 feet in height.
- Non-decorative wall-pacs and light standards shall not be permitted.
- “Shoe-box” style lighting fixtures shall be prohibited.
- Exposed neon shall not be permitted. All neon tubes shall be hidden from view.



Walls and Fencing

Walls and fencing shall be utilized in the commercial retail area for a variety of functions. They can be decorative and dual function, as well as function to dampen noises and separate different uses.

The following Guidelines shall be implemented, as they pertain to walls and fencing:

- Low freestanding walls incorporating simple, signage with pilasters, balustrades, finials and other embellishments shall be utilized. These types of walls shall be provided in areas to include, but not be limited to: parking areas, edge conditions and other appropriate areas.
- Walls, except for walls used to enclose loading docks and trash enclosures, should not be more than six (6) feet in height. They should be constructed of light colored stucco, concrete, or masonry.
- Fences should be used only as part of gated areas or as an extension of walls.
- Walls and fences surrounding commercial retail stores shall not prohibit pedestrian access from the adjacent residential areas.
- Chain-link fencing, chain link fencing with barbed wire, large blank and flat wall surfaces, and exposed untreated concrete block walls shall be prohibited.

Service, Loading, and Equipment Areas

The following Guidelines shall be implemented, as they pertain to service, loading and equipment areas in order to ensure that these functional site items are integrated with a sense and respect of the surrounding aesthetic:

- Storage for supplies, merchandise, and similar materials shall be prohibited on the roofs of any buildings.
- Merchandise, material, and equipment are not permitted to be stored to a height greater than any adjacent wall, fence, or building.
- Service, loading, and storage areas shall be separated from pedestrian and private automobile circulation.
- Service areas, loading docks, and equipment areas shall be screened from views by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments. A minimum treatment height of six feet is recommended.
- Outdoor displays of inventory are acceptable for certain commercial retail stores (pending City approval). Any goods shall be placed in a manner that minimizes conflicts with pedestrians.
- On-site mechanical/utility equipment visible from buildings or public streets shall be screened.
- Wall mounted mechanical/utility equipment that protrudes more than six inches from the outer building wall shall be screened from view by structural features that are compatible with the architecture or the subject buildings. Wall mounted mechanical/utility equipment that protrudes six inches or less from the outer building wall shall be designed to blend with the color and architectural design of the subject building.
- Ground mounted mechanical/utility equipment shall be screened from view by a decorative architectural structure or landscape screening that is compatible with the architecture and landscaping of the development site. Such screening devices shall be of a height equal to or greater than the height of the mechanical equipment being screened.



Trash Enclosures and Outdoor Storage

The following Guidelines shall be implemented, as they pertain to refuse containers and storage in order to ensure that these functional site items are also integrated with a sense and respect of the surrounding aesthetic and acknowledgement of the potential olfactory conflicts that may arise:

- Trash enclosures shall comply with most recent version of City Standard Plan No. 1301.11 in effect at building permit issuance and the requirements of WQMP and NPDES.
- Trash enclosure(s) shall be placed on a slab or paved area and shall be screened on at least three sides with a solid wall, made of block, masonry or other similar material.
- Trash enclosure(s) must be a minimum five feet high and shall not be visible above the wall.
- A visually solid gate shall be provided to adequately screen the containers.
- Trash enclosure design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
- The trash enclosures shall provide a screened "pedestrian" entry to allow hands-free access to the trash containers without needing to open/close the enclosure gates.
- Refuse enclosures and equipment shall be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure.
- Landscaping or trellis work shall screen enclosures visible from a street or connecting walkway and shall be permanently maintained.
- Trash enclosures (stand alone or adjacent to a parking stall) shall provide a planter area at least two-feet wide, adjacent to two walls, and incorporate shrubs, bushes or vines into this planter to screen the enclosure walls.
- Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
- Cart storage areas (if applicable) shall be integrated within the initial building and site design.
- Large freestanding enclosures or unscreened "cart corrals" are not encouraged but shall be allowed if they are constructed as a permanent structure and architecturally consistent with the district theme and include landscape treatment such as vines or planters.

- Outdoor storage areas shall be located away from the street, behind or to the side of buildings.
- Walls shall be used to screen stored materials.



Signage

Signs are a means to advertise and identify places, events, and businesses within the Specific Plan. Well-designed signs are not only pleasing in appearance but can enhance the economic value and accessibility of a shopping area. Only general guidelines are suggested in this Specific Plan in order to allow latitude for any implementing project. As a condition of approval for the first development within PA3, a companion Master Signage Program (MSP) will be crafted and implemented. Said MSP shall provide detailed standards and mandatory criteria to which all signage must conform. This will insure that a sign program will be complementary to the overall selected architectural theming developed.

The following signage guidelines provide a general framework and guidelines for the proposed signage to occur within the commercial/office area of the Specific Plan.

- Sign types shall be limited to Project identification, company and building identification, direction, and temporary “for sale and lease” signs.
- Signs should be designed to be complementary with and subordinate to the building they identify.
- Signs shall not be permitted to project above any roofline.
- Signs shall be compatible with the building in terms of color, material, and placement.
- Building and company identification signs shall be low to the ground or attached to building facades.
- Ground-mounted signs shall be well integrated into site landscaping. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings.
- Any temporary signage shall comply with Chapter 9.76 of the City’s Municipal Code.

4. Business Park Architectural Styles and Elements

This subchapter sets forth Guidelines for the business park architectural components of the Specific Plan (PA4). In conjunction with the Landscape Design Guidelines, the Architectural Design Guidelines are intended to guide the development of a cohesive and attractive business

park. The architectural quality as proposed, will enhance surrounding land uses and promote compatibility.

This subchapter establishes site planning guidelines; in addition, this subchapter identifies the key architectural “elements” that should be considered in all business park development in PA4.

Developers, builders, engineers, architects, landscape architects, and other design professionals will utilize the Guidelines when developing their plans. A primary goal of these guidelines is to ultimately develop business park structures that exhibit excellent design.

a. Site Planning Design Guidelines

These Site Planning Design Guidelines for PA4 are not intended to restrict taste or preference but are designed to avoid harsh contrasts and to foster harmony of development. The following site planning Guidelines are included within this subchapter: streetscene, building plotting concepts, vehicular circulation/parking, pedestrian circulation, and common space elements. Reference Figure V-34, *Contemporary Business Park Architectural Style*.

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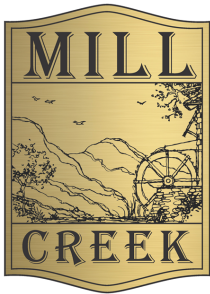
CONTEMPORARY BUSINESS PARK ELEVATION EXAMPLE - VARIED ROOF DESIGN, BALCONY AND TOWER ELEMENT, HUMAN SCALE ELEMENTS



SCREENED TRASH ENCLOSURES AND LANDSCAPING



STOREFRONT ENTRY EXAMPLE - VISUAL INTERSET, PEDESTRIAN SCALE, VARIETY OF MATERIALS



This is a concept plan that shows typical Contemporary Stucco elevations that may be developed utilizing the standards and guidelines contained in the Specific Plan. The final design will be provided at the Plot Plan stage of development.

FIGURE V-34
CONTEMPORARY BUSINESS PARK
ARCHITECTURAL STYLE

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Streetscene

The following concepts should be incorporated into the development in PA 4:

- The distance along the face of the building should be varied to provide visual interest.
- Awnings are encouraged to promote interest and a human scale.
- Loading zones should be site planned to avoid exposure to adjacent streets, highways and residential uses.
- Incorporating walls and fences can also be used to help screen areas.
- Exterior storage areas and trash enclosures should be planned in such a manner to minimize the exposure of such elements to sensitive adjacent uses.
- Parking areas should be planned in such a manner to allow for landscaping or low, decorative walls or a combination thereof, for screening.
- Where possible, buildings should be designed to separate service and delivery circulation from parking areas.

***Building Plotting Concepts***

Buildings located within the business park area should relate to a street or main drive lane, a required pedestrian path, a vertical landmark element, a small plaza or other focal point, such as a fountain, seating area, public art, etc.

Building masses shall be articulated to avoid long straight building façades. The distance along the face of the building should be varied to provide visual interest. Awnings are encouraged to promote interest and a human scale.

Examples of ways to articulate these buildings are:

- Buildings should be designed to create smooth transitions in scale through the use of low and mid-rise building forms or through the use of terraced elevations.
- Arcades and trellises can be used to connect buildings and enclose courtyards.
- Vertical mass at residential edges should be minimized.
- The plotting of buildings should take into account shade elements and maximize shade created by surrounding buildings.

The business park portion of the Project will be designed as a complementary addition to the overall theme established throughout the community. This is discussed in further detail below.

Vehicular Circulation/Parking

Vehicular Entry areas provide a focal element by providing distinguishing characteristics, including, but not limited to: enhanced landscaping, monumentation, and textured paving. Through incorporation of these elements, a sense of arrival at a unique place is firmly established. Once on-site, orderly vehicular circulation and efficient and safe parking will contribute to the efficiency and success of the business park uses. The following Guidelines shall be implemented, as they pertain to vehicular circulation/parking:

- When planning the interior vehicular circulation and parking, a hierarchy should be developed to help with traffic flow; however, priority should be given to the pedestrian in the ultimate design.
- Parking aisles should be oriented perpendicular to complexes to allow for easy pedestrian walkways to access buildings.
- Parking lot areas should be comprised of a series of smaller, connected lots, separated by additional landscaping.
- Adequate areas for maneuvering, loading, and emergency vehicle access shall be accommodated on site.
- Screening shall be provided for both aesthetic and functional (i.e., noise, odors) purposes. Parking areas shall be planned in such a manner to allow for landscaping or low, decorative walls, or a combination thereof, for screening.
- Low freestanding walls incorporating simple, tasteful signage with pilasters, balustrades, finials, and other embellishments, are desirable around and within the parking areas to provide an aesthetic and/or screening purpose.
- Parking areas will be located to provide convenient access to business park areas and minimize impacts to residential areas.
- Parking areas not to be used for outdoor storage.
- No loading shall be allowed in drive aisles or parking lots.
- Any activities to be conducted in the parking areas shall be subject to City approval.



Pedestrian Circulation

Different uses shall be interconnected by a strong pedestrian circulation system and interconnected by paseos, walkways and sidewalks, hardscape, and landscape. Parking should not dominate the experience along any designated pedestrian path.

- Pedestrian walkways shall be located in a manner to provide clear visibility, safety and accessibility to and through a site. Additional site features shall include, but not be limited to, directional signage, placement of markers, landscape planters or vegetation. These features shall be used to emphasize the location of the pedestrian walkway at the public right-of-way and throughout the development.
- Pedestrian access to and from PA4 is provided by sidewalks located internally to the Project.
- Exact locations of sidewalks shall be determined at the Development Plan stage of development.
- Pedestrian access should be provided from any potential transit stops.

***Common Space Elements***

Site furnishings and details that enrich the appearance of the business park areas and provide respites for employees shall be provided. As an example, seating areas should incorporate umbrellas or other shade opportunities. Other acceptable examples of detailing include the incorporation of many of the following elements: the use of pottery, tree grates, detailed lighting fixtures, and/or decorative embellishments. Accent colored canopies and unique business identification signs are also desirable.

In addition, the following common space elements should be integrated whenever feasible:

- Pedestrian friendly spaces and scale shall be incorporated. Outdoor seating areas, as discussed below shall be provided.
- Awnings should be encouraged to promote interest and a human scale.
- Covered trellises, or shaded arcades, pergolas, porticos or overhanging eaves attractively connect varied masses and create a more comfortable experience along internal pedestrian routes.



Outdoor Seating Areas

Outdoor seating areas serve to enhance the overall character of the business park area and provide opportunities for employees to enjoy break time. Reference Figure V-35, *Business Park Outdoor Seating Examples*. The following Guidelines should be implemented, as they pertain to outdoor seating areas:

- Outdoor seating areas should be used to draw attention to distinctive features such as entrances, public art, a fountain, or plantings.
- Building entries and windows should look onto outdoor seating areas to enhance activity and security.
- Outdoor seating, tables and umbrellas, public art, water features, landscaping, gazebos, or other features are encouraged in outdoor seating areas.



Walls and Fencing

The following Guidelines should be implemented, as they pertain to walls and fencing:

- Low walls, incorporating simple, signage with pilasters, balustrades, finials and other embellishments should be provided. These may be provided in areas to include, but not be limited to: parking areas, edge conditions and other appropriate areas.
- Walls, except for walls used to enclose trash enclosures, should not be more than six (6) feet in height. They should be constructed of light colored stucco, concrete, or masonry.
- The following should apply as it pertains to retaining walls:
- The heights of walls closest to major Project circulation roadways should be minimized to the greatest extent feasible.
- All planting shall be designed to completely cover retaining walls.

- The option always exists to build a combination of slopes and retaining walls, as long as the desired aesthetic is achieved.
- Fences should be used only as part of gated areas or as an extension of walls.
- Chain-link fencing or chain link fencing with barbed wire shall be prohibited throughout the development, unless required by the City or any outside Agency.

Service, Loading, and Equipment Areas

The following Guidelines should be implemented, as they pertain to service, loading and equipment areas in order to ensure that these functional site items are integrated with a sense and respect of the surrounding aesthetic:

- Storage for supplies, merchandise, and similar materials shall be prohibited on the roofs of any buildings.
- Merchandise, material, and equipment are not permitted to be stored to a height greater than any adjacent wall, fence, or building.
- Service, loading, and storage areas should be separated from pedestrian and private automobile circulation.
- Service areas, loading docks, and equipment areas should be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments.
- For screening of loading, service, and/or storage areas to be effective, a minimum height of six feet is recommended. Aesthetic treatments may include, but not be limited to a mixture of: pilasters, wall caps, plantings and trellises (depending on wall height function and location).
- External facilities and equipment must be enclosed and screened with landscaping to minimize adverse views from adjoining streets, buildings, or open space.
- The method of screening should be architecturally integrated with the adjacent building in terms of materials, colors, shape, and proportion.
- On-site mechanical equipment visible from buildings or public streets shall be screened.
- Wall mounted mechanical equipment that protrudes more than six inches from the outer building wall shall be screened from view by structural features that are compatible with the architecture or the subject buildings. Wall mounted mechanical equipment that protrudes six inches or less from the outer building wall shall be designed to blend with the color and architectural design of the subject building.
- Ground mounted mechanical equipment shall be screened from view by a decorative architectural structure or landscape screening that is compatible with the architecture and landscaping of the development site. Such screening devices shall be of a height equal to or greater than the height of the mechanical equipment being screened.
- Service/loading area lighting shall be contained within the service area boundaries and enclosure walls. Light spillover shall not occur outside the service area.



Trash Enclosures and Outdoor Storage

The following Guidelines should be implemented, as they pertain to refuse containers and storage in order to ensure that these functional site items are also integrated with a sense and respect of the surrounding aesthetic and acknowledgement of the potential olfactory conflicts that may arise:

- Trash enclosures shall comply with most recent version of City Standard Plan No. 1301.11 in effect at building permit issuance and the requirements of WQMP and NPDES.
- Trash enclosure(s) shall be placed on a slab or paved area and shall be screened on at least three sides with a solid wall, made of block, masonry or other similar material.
- Trash enclosure(s) must be a minimum five feet high and shall not be visible above the wall.
- A visually solid gate shall be provided to adequately screen the containers.
- Trash enclosure design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
- The trash enclosures shall provide a screened "pedestrian" entry to allow hands-free access to the trash containers without needing to open/close the enclosure gates.
- Refuse enclosures and equipment shall be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure.
- Landscaping or trellis work shall screen enclosures visible from a street or connecting walkway and shall be permanently maintained.
- Trash enclosures (stand alone or adjacent to a parking stall) shall provide a planter area at least two-feet wide, adjacent to two walls, and incorporate shrubs, bushes or vines into this planter to screen the enclosure walls.
- Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
- Outdoor storage areas shall be located away from the street, behind or to the side of buildings.
- Walls shall be used to screen stored materials.



b. Business Park (PA4) Architectural Style and Criteria

The business park portion of the Specific Plan shall have its distinctive architectural theme apart from the residential component. A palette of materials and colors will provide character and identity for the business park area. The following site planning architectural style and criteria are included within this subchapter: materials and colors, roof forms, windows and doors, columns, outdoor seating areas, outdoor lighting, walls and fencing, service, loading, and equipment areas, refuse containers and storage. Reference Figure IV-34, *Contemporary Business Park Architectural Style*.

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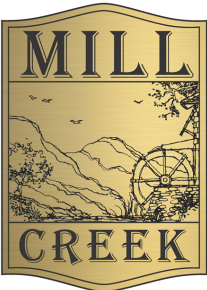
EMPLOYEE BREAK AREAS -



EMPLOYEE SEATING AREAS



EMPLOYEE GATHERING AREAS



**FIGURE V-35
BUSINESS PARK
OUTDOOR SEATING EXAMPLES**

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Materials and Colors

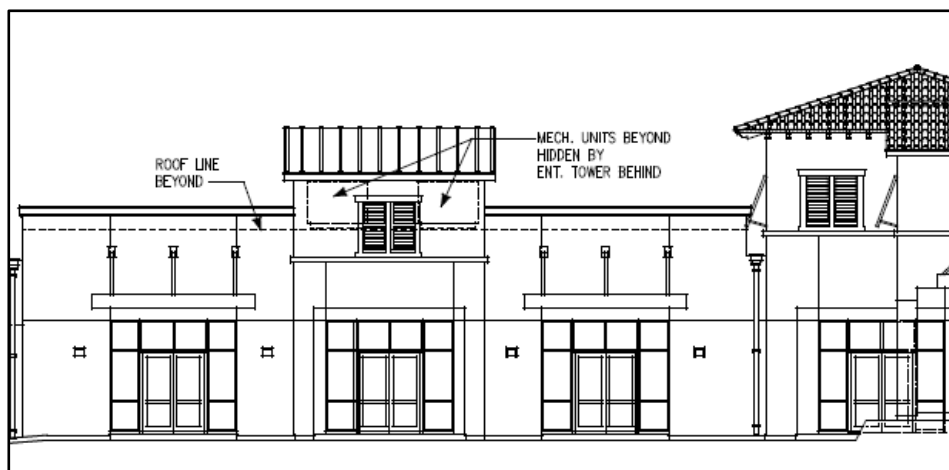
A modest palette of materials and colors will provide character and identity for the business park area. The natural or manufactured materials and colors used should reflect the general theme established in the prior phases of the Specific Plan. The following Guidelines should be implemented:

- Primary building colors should use a combination of earth tones and light colors; bright colors shall be used sparingly, and only as accents.
- Varied shades of colors should be utilized to break up facades and should ideally feature darker-toned colors and materials at the base.
- Accent colors and materials are acceptable if they are a complementary contrast with the surroundings and are used for creating interest.
- It is anticipated that concrete will be the primary building material. Traditional materials, including stone, brick, precast concrete, metal, block, and stucco, may be used creatively to provide a sense of permanence, as long as their applications are aesthetically complementary to the overall architectural theme.
- The use of natural materials and textures as architectural accents is encouraged.
- High-quality and visually complementary manufactured materials, as approved by the Community Development Director can be used for practical purposes (aesthetics, durability) and shall be of integral color of that specific material.

Roof Forms

The following Guidelines should be implemented within PA4, as they pertain to roof forms and materials:

- Designs should create interesting building masses by varying rooflines where possible.
- Flat roofs with parapet walls are the most common roof form; however, other roof forms may be permitted if the desired aesthetic affect is achieved.
- Mechanical equipment shall be screened from view from public rights-of-way and parking lots through the use of parapets, screen walls, equipment wells, or design features which are architecturally integrated into the design of the structure. Screening shall be a minimum of six inches above the tallest piece of mechanical equipment.
- Mechanical equipment walls shall be integrated into the design (see example provided below) and shall not appear as an “afterthought.”



- Surrounds for individual roof mounted equipment units are prohibited.

Windows and Doors

The entry on the ground floor is a key element in creating a successful pedestrian environment. The following Guidelines should be implemented as they pertain to windows and doors:

- Architectural treatments, materials and colors shall be used to identify major building entries.
- Windows and doors are encouraged to be recessed from the front façade to emphasize the mass and integrity of the wall and to create a dramatic shadow line.
- Consideration should be taken to relate interior building design to pedestrian spaces. This can be accomplished through the location of windows and doorways, as well as overhangs and landscaping.
- Front doors and entrances to buildings should be clearly defined and articulated by awnings, overhangs, and canopies and shall be easily recognizable from pedestrian and vehicular vantage points.
- Roll up doors shall be of a durable material that is functional, and low maintenance, while remaining complementary to the materials used for the building.

Columns

The following Guidelines should be implemented, as they pertain to columns (if applicable to the architectural style):

- Columns incorporated as a structural or aesthetic design element should convey a solid, durable image as expressed through bold forms.
- Columns may be used as a freestanding form or as a support for pedestrian links.
- Columns should be made of materials such as simple square posts, square or round stucco, concrete, or freestanding plaster archways at entrance gates.



Outdoor Lighting

Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas, as well as provide necessary security for employees and pedestrians. The City mandates that each Project's lighting conform to the lighting requirements as established in the City's Municipal Code Chapter 6.01 (Dark Sky; Light Pollution). In addition, the following Guidelines should be implemented, as they pertain to lighting:

- All outdoor lighting (including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar

areas) shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.

- Particular emphasis should be made when there is an interface between residential and non-residential uses. There should be a balance between safety, aesthetics and function.
- Energy conservation, safety, and security should be emphasized during the designing and siting of Project lighting. Low intensity, energy conserving night-lighting is preferred.
- Light fixtures and standards should be coordinated along public rights-of-way.
- Light standards shall blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture, and shall not interfere with required shade trees.
- Parking lot lighting shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
- Service/loading area lighting shall be contained within the service area boundaries and enclosure walls. Light spillover shall not occur outside the service area.
- No light spillover shall occur outside the service area.
- No freestanding lighting fixtures shall exceed 30 feet in height.
- Non-decorative wall-pacs and light standards shall only be permitted in areas that do not have a public view.
- “Shoe-box” style lighting fixtures shall be prohibited.



Signage

As a condition of approval for the first development within PA4, a companion Master Signage Program (MSP) will be crafted and implemented. Said MSP shall provide detailed standards and mandatory criteria to which all signage must conform. The following signage guidelines provide a general framework and guidelines for the proposed signage to occur within the commercial/office area of the Specific Plan.

- Sign types shall be limited to Project identification, company and building identification, direction, and temporary “for sale and lease” signs.
- Signs should be designed to be complementary with and subordinate to the building they identify.
- Signs shall not be permitted to project above any roofline.
- Signs shall be compatible with the building in terms of color, material, and placement.
- Building and company identification signs shall be low to the ground or attached to building facades.

- Ground-mounted signs shall be well integrated into site landscaping. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings.
- Any temporary signage shall comply with Chapter 9.76 of the City's Municipal Code.

VI. ADMINISTRATION, IMPLEMENTATION, AND MAINTENANCE

1. Introduction

This Specific Plan will be implemented through the processing of numerous discretionary entitlements. The implementation process provides the mechanism for reviewing precise development plans and ensuring development consistency with the Specific Plan's objectives. This Chapter provides procedures for determining consistency, substantial conformity and, if necessary, amendments to the Specific Plan. All development within the Specific Plan is subject to the implementation procedures described in this Chapter. Additional information on implementation, including potential funding mechanisms, and maintenance responsibilities are also presented in this Chapter.

A. Implementation Plan

1. Introduction

Pursuant to Government Code Section 65451, all specific plans must contain a "program of implementation measures including regulations, programs, public works projects, and financing measures" necessary to implement the specific plan. This Chapter defines the administration of the Specific Plan and the implementation process for approving new development, including the accompanying financing, phasing, and other necessary programs.

2. General Administration

The Community Development Director shall be responsible for the administration and enforcement of the Specific Plan in accordance with the provisions of this Specific Plan, the State of California Government Code, and the Subdivision Map Act, including: processing assistance, interpretations of provisions, approval of administrative permits, issuance of permits, processing of entitlements (i.e., plot plan, conditional use permit, minor plot plan etc.), approval of temporary or interim uses, and specification of conditions of approval.

The Community Development Director may take final action on the types of applications/permit/projects, including, but not limited to, documentation of California Environmental Quality Act (CEQA) exemption, and uses listed in Menifee Municipal Code (MMC) Chapter 9.01.040. Such final action shall be taken without notice or hearing except where notice otherwise is required. The decision of the Community Development Director is subject to appeal as set forth below.

Notwithstanding, the Community Development Director may refer any project to the Planning Commission and shall refer any project to the Planning Commission if it is not exempt from CEQA.

Except as otherwise provided, the Planning Commission will be the final decision-maker for applications/permits/projects listed in MMC Chapter 9.01.050 with notice and hearing required as set out in § 9.01.030 of the MMC, or as otherwise required. When the Planning Commission

Mill Creek Promenade VI. Administration, Implementation, and Maintenance

makes the final decision regarding the project, the Planning Commission is authorized to approve/adopt the appropriate document(s) under CEQA.

The City Council shall be the final decision maker for projects after advisory review by the Planning Commission. Please refer to Municipal Code Chapter 9.01.060 for those actions that may be approved by the City Council.

3. Applicability

All development and proposed uses in the Specific Plan shall comply with the requirements and standards set forth in this Specific Plan. Where conflicts exist between the standards set forth in this Specific Plan and those found in the Riverside County Zoning Ordinance No. 348, as adopted and/or amended by the City of Menifee (Menifee Municipal Code) (including Chapter 9.28: Economic Development Corridor Zoning Districts), the standards in the Specific Plan shall apply. Standards not addressed in this Specific Plan are subject to the MMC.

4. Severability

If any chapter, section, subsection, sentence, clause or phrase of this Specific Plan or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

5. Interpretation

If there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, the Community Development Director has the authority to interpret the intent of the provision, using the spirit and intent of this Specific Plan as a guide.

The Community Development Director may, at their discretion, refer interpretations to the Planning Commission for consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation. All interpretations made by the Community Development Director and decisions of the Planning Commission may be appealed to the City Council per applicable provisions of the Menifee Zoning Code.

6. Specific Plan Modifications

Modifications to the text and exhibits may be necessary during the implementation of this Specific Plan. Any modifications to the Specific Plan shall occur in accordance with the modification processes described below. Depending on the nature of the proposed modification, additional analysis pursuant to the California Environmental Quality Act may be required.

Classifications of Modifications

Changes to the adopted Specific Plan shall be classified by the Community Development Director as either:

- An amendment; or

- A Substantial Conformance.

The applicant shall submit a detailed justification explaining why either an amendment or Substantial Conformance revision is warranted and any exhibits deemed necessary by the Community Development Director.

1) Amendments

Amendments as defined in this Specific Plan, shall be processed according to the provisions of the Menifee Zoning Code. An amendment, as defined in this Specific Plan, is any of the following:

- Changes to exhibits or text that alter the intent of the Specific Plan;
- Changes to development standards and/or design guidelines, which, if adopted, would substantially change the physical character of the Specific Plan;
- A new type of land use is proposed that is not specifically discussed in this Specific Plan, and, is not of the same intensity and character as allowed by this Specific Plan; or
- Changes in land use boundaries that result in an increase of more than the maximum allowable development potential, as analyzed under the certified and/or adopted environmental documentation prepared for the Specific Plan.

2) Specific Plan Substantial Conformance

A Substantial Conformance application may be approved by the Community Development Director with input from relevant departments. Substantial conformance allows for the administrative approval and interpretation of minor modifications to the Specific Plan text, graphics, and/or project design that do not change the meaning or intent of the Specific Plan. Through the review and approval process, a project may be found in substantial conformance with the provisions of this Specific Plan and may be approved, conditionally approved, or denied by the Director under the circumstances listed below. The Community Development Director shall also have the discretion to refer any such request for substantial conformance to the Planning Commission for interpretation and action:

- Simple edits or clarifications to text, graphics or figures that do not change the meaning or intent of the Specific Plan;
- Revisions in the configuration, orientation, and size of building footprints, parking areas, recreational amenities, drainage areas, and landscape areas;
- Shifts in internal road alignments, widths, streetscape amenities, and access points that would not substantially alter the land use or circulation system set forth in this Specific Plan;
- Changes to the locations and sizes of infrastructure systems, including drainage, grading, water, and wastewater plans that would not substantially alter the plans set forth in this Specific Plan, provided the changes can be supported by technical studies reviewed and approved by the City;
- Modifications of design elements such as paving treatment, colors, architectural details, signs, landscaping, fencing, lighting, and entry treatments as long as the Community Development Director finds the change to be compatible with, equal to, or better than previous developments/approvals;
- Changes to the Phasing Plan provided that the Community Development Director determines that infrastructure is available and constructed to serve that phase and that any

mitigation measures linked to that phase, location, or level of development are implemented.

- A new type of land use that is not specifically discussed in this Specific Plan but that is similar in character and intensity to those listed in the Specific Plan; or
- Shifts in the number of dwelling units between planning areas that do not increase the overall number of dwelling units within the Specific Plan.

7. Implementation and Approval Process

Approval of this Specific Plan indicates acceptance by the City of Menifee City Council of a general framework of development for the approximately 58.5-acre Project site. Part of that framework establishes specific development standards that constitute the zoning regulations for the Specific Plan area. It is further anticipated that this Specific Plan will be implemented through a series of final tract maps, and site plans which shall be reviewed and approved by the Planning Department/Community Development Director, and/or, the appropriate hearing body, to ensure consistency with this Specific Plan.

Pre-Application Conference

It is strongly encouraged that a pre-application conference with the Community Development Director or their designee be held before an application for an implementing project in the Specific Plan is submitted. Representatives from the various City departments may be invited to attend the pre-application conference to provide input at the discretion of the Community Development Director. Multiple meetings may require the submittal of a deposit to cover staff time.

Subdivision Maps and Final Maps

The City of Menifee adopted Riverside County Ordinance No. 460, which includes a comprehensive list of required information for subdivision maps and final maps.

The subdivision map process for this Specific Plan may involve the preparation of a Tentative Parcel Map (TPM) and/or Lot Line Adjustment (LLA) and a Tentative Tract Map (TTM). The intent of the TPM and/or LLA is to have a master map for financing and land conveyance purposes only. No infrastructure improvements, building, and/or grading permits shall be issued for lots within the TPM and/or LLA. The individual planning areas will require a TTM showing each planning area, internal lots and street layout.

The TTM may be prepared by the developer and/or the builder. In the absence of a specific builder, the master developer may choose to prepare the site plan and TTM to accommodate a specific size of homesite. Additionally, the owner may choose to file a conveyance or financing map and receive tentative map approval and record a final conveyance map.

During the site plan and TTM stage of the development process, the final number of dwelling units for a particular planning area may differ from those identified in the Specific Plan under "Target Dwelling Units," so long as the density falls within the Project Density Range specified in Table III-1, Land Use Summary. However, the overall number of dwelling units shall not exceed the overall number of dwelling units allowed within the Specific Plan.

After a subdivision map or a site plan receives its tentative approval, the applicant is given a

period of time, pursuant to Ordinance No. 460, to provide the final improvement plans for streets, utilities, grading, landscaping, and all final conditions of approval prior to commencing construction.

Administrative Review and Plot Plans

Applications that comply with the provisions of the Specific Plan and do not require the approval of a conditional use permit may be approved or conditionally approved, or denied, by the Planning Commission through approval of a plot plan. For the purposes of this Specific Plan, all of the “Principle Permitted Uses” and “Accessory Permitted Uses” identified in Chapter IV, *Development Standards* are considered permitted uses that would require the approval of a plot plan. During the plot plan review, the Community Development Director, or his or her designee, shall also review applications for compliance with the development standards listed in Chapter IV, *Development Standards*, of this Specific Plan.

Minor plot plan applications, per Section 9.01.040 of the MMC, may be filed for permitted uses within the appropriate Planning Area, if the Community Development Director, or his or her designee, determines that it is in compliance with the development standards listed in Chapter IV, *Development Standards*, of this Specific Plan. Minor plot plans will be reviewed and approved at an administrative level. The minor plot plan shall be consistent with the City’s Minor Plot Plan Exhibit and Submittal Requirements in place at the time of application submittal.

The following additional applications may not be identified as “Principle Permitted Uses” or “Accessory Permitted Uses” in Chapter 4, but they are considered ancillary to the inherent land uses. The following applications may be submitted in conjunction with the plot plan application, and may be approved or conditionally approved, or denied, by the Community Development Director/Planning Commission through approval of said plot plan:

- Park design and architecture;
- Landscape plans and selected landscape materials for all open space areas;
- Entry monumentation; and
- Private property landscape plans and selected landscape materials.

Conditional Use Permits

Conditional use permits allow the City to consider special uses that are not allowed as a matter of right within a zoning district, therefore providing flexibility within a zoning ordinance.

Consideration of a conditional use permit is a discretionary action. Uses requiring a conditional use permit are those listed in Tables IV-7, Land Use Regulations – Commercial Retail and Table IV-9, Land Use Regulations – Business Park of this Specific Plan. Uses requiring a conditional use permit shall be subject to the filing, required findings, notification, hearing and appeal procedures identified in Section 18.28 of the ZC.

Architectural Review

The Specific Plan provides builders and developers with flexibility with respect to architectural styles and provides the flexibility to incorporate a wide range of complementary building designs and architectural styles. To ensure the creation of a high-quality development that exhibits

cohesive community character and complementary building design, all applications for a plot plan, or conditional use permit shall be subject to the architectural review process.

An application for architectural review shall be filed with the Planning Division as part of the plot plan, conditional use permit, or minor plot plan application. Architectural plans shall include, but not be limited to, plans, elevations, and materials and color boards. The Community Development Director or designee will review all development applications and ensure the future projects meet the intent of the development standards and design guidelines of this Specific Plan.

The decision of the Community Development Director or designee shall be final and effective 14 days after a written determination has been made unless, within said time, a written appeal to the Planning Commission is filed by the applicant, property owners subject to the architectural review, or by any member of the City Council or Planning Commission. Appeals shall be undertaken in compliance with the procedures outlined in the ZC.

B. Financing Plan

1. Introduction

Various techniques are available for financing the required improvements for this Specific Plan. A detailed financing plan should be prepared in order to successfully implement the improvements and programs proposed by the Specific Plan. Along with establishing specific goals and policies, the financing plan should analyze a series of methods to finance infrastructure and other improvements, recommend preferred alternatives, and develop a process for enacting financing methods.

The appropriate mechanism for each particular improvement shall be tied to the phasing, established conditions of approval, and site plan/design review approval. The following is a summary of possible methods that could be used to finance on-site and off-site Specific Plan improvements. There may be other sources available to finance improvement projects, such as government grants, or various types of bonds not listed below.

2. Financing Plan

The developer, or subsequent builder, shall be responsible for financing construction of the infrastructure improvements required to support the Project, such as perimeter and internal streets, water lines, sewers, and storm drains. All necessary infrastructure improvements shall be developed in conjunction with the approved phasing plan. The financing of construction, operation, and maintenance of public improvements and facilities will include funding through a combination of financing mechanisms. However, the developer or builder shall be ultimately responsible for all fair share costs associated with implementing the Project, including but not limited to the costs of providing infrastructure and complying with mitigation measures, conditions of approval, and other requirements of the Project.

Financing may involve a combination of impact fees and exacting, special assessment districts, landscaping and lighting districts, and other mechanisms agreed to by the developer and the City as noted below. Developer or builder funded improvements may be subject to a reimbursement agreement or credits against fees pursuant to provisions of a development

agreement or conditions of approval. The City and developer or builder will cooperate to ensure that the public facilities are built in accordance with all requirements of the Specific Plan and EIR. A development agreement and conditions of approval may be used to facilitate this process.

3. Developer Funding

In many cases, certain on-site facilities are tied directly to individual projects. In these cases, it is reasonable to expect the developer, guest builder or property owner to pay the entire cost of the facility in order to secure development rights. On-site local drive aisles, utility connections from main trunk lines, and drainage facilities are good examples of facilities that are normally required concurrent with development of an individual parcel funded by the developer or guest builder.

4. Special Assessment Districts

A special assessment district is a type of benefit district that requires a vote by the property owners to encompass a defined and limited geographic area. The City or other agencies may form a special assessment district under one of several different statutory acts to construct public improvements such as streets, storm drains, sidewalks, streetlights, sewers, parks landscape, and other similar capital facilities. The special assessment districts can issue bonds to finance those improvements and levy a special assessment to pay debt service on those bonds.

A special assessment district may fund improvements within the entire Specific Plan area or smaller areas in the Specific Plan where special improvements are constructed that directly benefit only certain property owners. Special assessments districts may only be used to pay for projects that are of specific and direct benefit to the property owner being assessed. The amount of the assessment must directly relate to the amount of benefit received by the property owner.

5. Maintenance Districts

Maintenance districts may be used for maintenance and servicing of public landscaping and lighting facilities through annual assessments on benefiting properties. These districts may also provide for maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities, as determined by the Public Works Director. The City has established a City-wide Community Facilities District (CFD 2015-2) for maintenance of eligible public facilities that benefit this development. The development shall annex into CFD 2015-2 prior to recordation of any final map.

6. Community Facilities Districts and Mello-Roos

The Mello-Roos Community Facilities Act of 1982 allows the creation of special districts authorized to levy a special tax and issue tax exempt bonds to finance public facilities and services. A community facilities district may be initiated by the legislative body or by property owner petition and must be approved by a 2/3 majority of property owners or registered voters (if there are more than 12 registered voters living in the area). Because there is no requirement to show special benefit, Mello-Roos levies may be used to fund improvements of general

benefit, such as fire and police facilities, libraries, and parks, as well as improvements that benefit specific properties. The provision also allows the reallocation of cost burdens to alleviate untenable burdens on specific properties.

7. Other Funding Sources

Other sources may be available to finance improvement projects, such as government grants, private developer coalitions, or various types of bonds not listed above.

C. Maintenance Plan

1. Introduction

Maintenance of open space areas, recreational facilities, and major roadway landscaping, among other areas, is of utmost importance to the performance and appearance of the Specific Plan. Therefore, a comprehensive maintenance plan will be established for standards as well as guidance for the upkeep and governance of public common areas within the Specific Plan. Please reference Figure VI-1, *Maintenance Plan*.

2. Apportionment of Costs for Maintenance of Common Areas

In order to ensure timely commencement and sufficient funding for maintenance of public facilities and common areas, the Specific Plan will annex into an existing maintenance organization, or into an active management organization such as a City-wide maintenance district or a neighborhood homeowner's association (HOA). This maintenance district will be empowered to apportion costs for shared public facilities and common area maintenance within the Specific Plan and/or respective phase of the Specific Plan.

Further, prior to final map approval the developer will provide a master maintenance authority with enumerated responsibilities.

3. Master Area Maintenance

Common areas such as pocket parks, neighborhood parks, water quality basins, open space areas and landscaped areas are identified in the Specific Plan as being available for the benefit of all residents of the Specific Plan area. Such common areas shall be maintained either by a public/private entity such as a maintenance CFD, or by an association which includes as its participating owners all property within the Specific Plan, and the responsible agency shall assume maintenance responsibility for such area.

4. Specific Facilities Maintenance

In residential areas of the Specific Plan, smaller associations may be formed to assume ownership and maintenance responsibility for common areas and facilities that benefit only the residents in those areas. Private open space areas and private roadways are examples of facilities that could come under the jurisdiction of neighborhood HOA.

5. Project Roadways and Roadway Landscaping

Prior to the recordation of a Final Map, the developer/property owner shall complete the annexation of the proposed development, into the boundaries of the City of Menifee citywide Community Facilities Maintenance District Services (CFD) CFD 2015-2. The citywide CFD shall be responsible for the maintenance of public improvements or facilities that benefit this development, including but not limited to, public landscaping, streetlights, traffic signals, streets, drainage facilities, water quality basins, graffiti abatement, and other public improvements or facilities as approved by the Public Works Director.

The developer/property owner shall be responsible for all costs associated with the annexation of the proposed development in the citywide CFD.

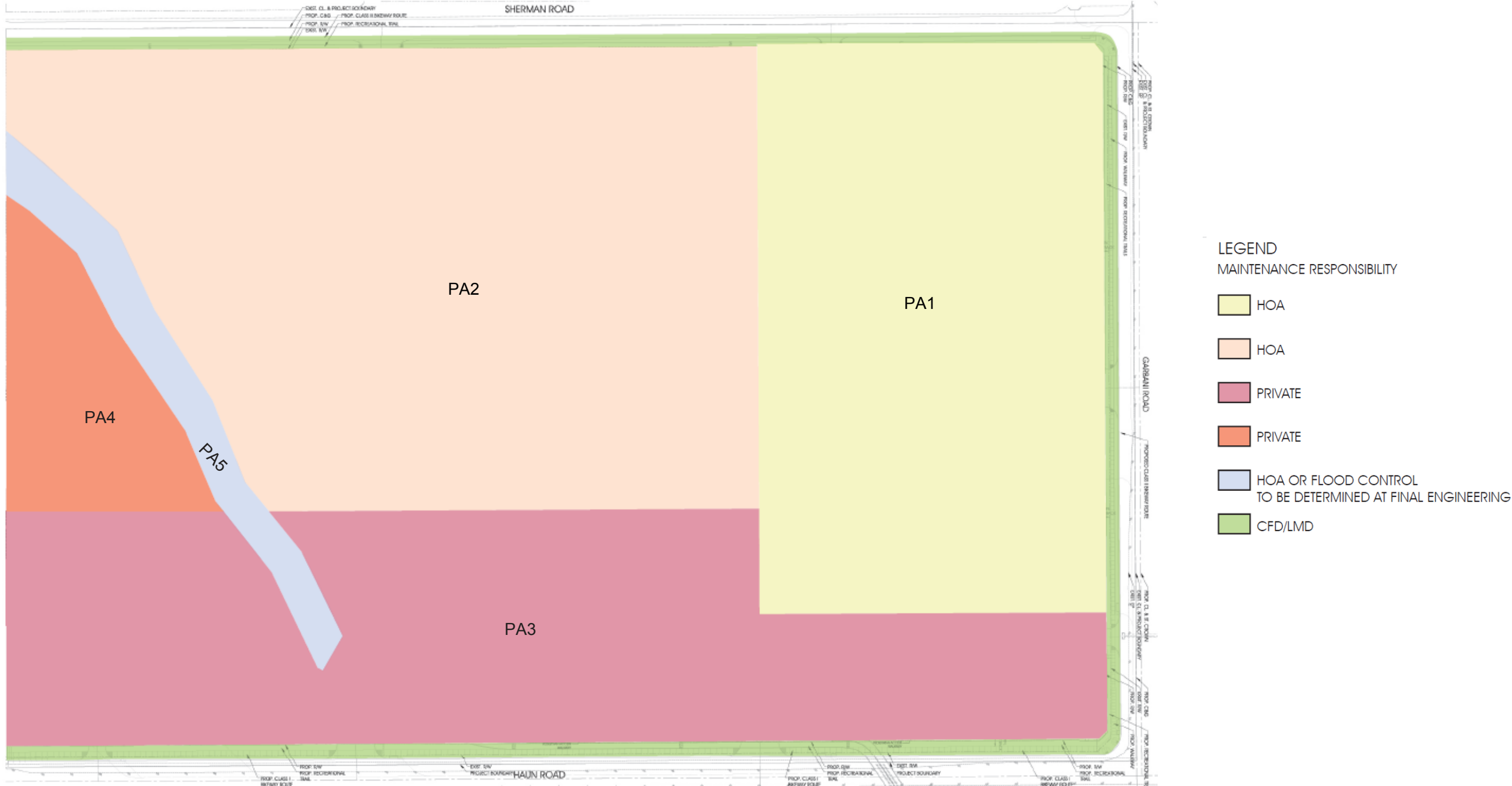
All public project roadways will be designed and constructed to standards stated in this Specific Plan and will, therefore, be entered into the City system of roads for operation and maintenance as approved by the City Council. Any private roads or accesses will be maintained by an association or other public/private entity, as described above.

Roadway landscaping within the right-of-way (such as the enhanced parkways), landscaping within the raised medians, and any hardscaping outside of any roadway right-of-way, shall be maintained by a public/private entity or other master association.

6. Private Area Maintenance

Any private roads, accesses, or common areas will be maintained by an association or other public/private entity, as described above.

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LANDSCAPE MAINTENANCE AND SEPARATION NOTE-LCP:

THE LANDSCAPE CONCEPT PLAN (LCP) INDICATES LANDSCAPE IMPROVEMENTS FOR BOTH ON SITE AND OFF SITE (PUBLIC RIGHTS- OF- WAY, PARKS, ETC,) AREAS. THE PROPERTY OWNER SHALL MAINTAIN OFF SITE AREAS UNTIL SUCH TIME AS THE OFF-SITE LANDSCAPE AREAS ARE ANNEXED INTO A SPECIAL DISTRICT (CFO OR L&LMD) AND ACCEPTED BY THE CITY FOR MAINTENANCE PURPOSES. THE PROPERTY OWNER ACKNOWLEDGES THAT SEPARATE WATER METERS FOR IRRIGATION USE ARE REQUIRED TO BE INSTALLED BY THE OWNER PRIOR TO THE CITY'S ACCEPTANCE OF THE OFF SITE AREAS FOR MAINTENANCE BY THE SPECIAL DISTRICT. IN ADDITION, PROPERTY OWNER ACKNOWLEDGES THAT COSTS FOR ANNEXATION INTO THE SPECIAL DISTRICT. AND INSTALLATION OF THE IRRIGATION WATER METERS, SHALL BE BORNE BY THE PROPERTY OWNER.

LANDSCAPE IMPROVEMENTS IN OFF-SITE AREAS/PUBLIC RIGHTS- OF- WAY SHALL BE SEPARATED FROM PRIVATELY-MAINTAINED ON SITE LANDSCAPE AREAS WITH A CITY-STANDARD, CONTINUOUS CONCRETE MOW CURB (6" X 8") ALONG THE PROPERTY LINE (ON SITE).

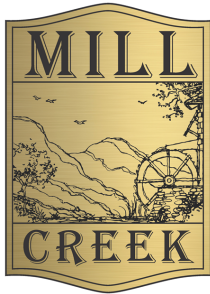


FIGURE VI-1
MAINTENANCE PLAN

Appendix A Acronyms and Abbreviations

Acronyms and Abbreviations

The following acronyms and abbreviations are utilized within this document:

BMPs	Best Management Practices
BP	Business Park
CDP	Census designated place
CFD	Community Facilities Maintenance District Services
City	City of Menifee
CR	Commercial Retail
DU	Dwelling unit
DU/AC	Dwelling units per acre
EDC	Economic Development Corridor
EDC-SG	Economic Development Corridor Southern Gateway
EIR	Environmental Impact Report
EMWD	Eastern Municipal Water District
HOA	Homeowners association
I-215	Interstate 215
I-P	Industrial Park
LLD	Landscaping and lighting district
MMC	Menifee Municipal Code
Menifee USD	Menifee Union School District
MS-C	Manufacturing - Service Commercial
MSP	Master Signage Program
MWD	Metropolitan Water District
NPDES	National Pollution Discharge Elimination System
OS-C	Open Space-Conservation
OS-R	Open Space-Recreation
PA	Planning Area
PUHSD	Perris Union High School District
RCFC&WCD	Riverside County Flood Control and Water Conservation District
RCP	Reinforced concrete pipe
ROW	Right-of-way
SF	Square feet
Specific Plan	Mill Creek Promenade Specific Plan
SWPPP	Storm Water Pollution Prevention Plan
TTM	Tentative tract map
VHDR	Very High Density Residential
WQMP	Water Quality Management Plan
ZC	Zoning code

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Appendix B General Plan Policies/Consistency Analysis

LAND USE ELEMENT

LU-1: GENERAL LAND USE

Goal

LU-1: Land uses and building types that result in a community where residents at all stages of life, employers, workers, and visitors have a diversity of options of where they can live, work, shop, and recreate within Menifee.

Response: The Mill Creek Promenade Specific Plan (SP), as designed and implemented will provide land uses and building types that result in a community where residents at all stages of life, employers, workers, and visitors have a diversity of options of where they can live, work, shop, and recreate within Menifee. The SP allows for residential, commercial, business park, and open space uses within the 5 Planning Areas. The SP serves to implement the Economic Development Corridor (EDC).

Policies

LU-1.1: Concentrate growth in strategic locations to help preserve rural areas, create place and identity, provide infrastructure efficiently, and foster the use of transit options.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Growth has been concentrated in this strategic location (the EDC) to help preserve rural areas. Through the land use plan, development standards, and the design guidelines, the SP will create a unique place and develop its own identity. As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan will ensure that that development of the SP will provide infrastructure efficiently. A combination of pathways, paseos, walkways, or similar pedestrian accesses are provided that connect the individual Planning Areas in the SP to any public transportation facilities (currently or in the future) located on key perimeter streets (Haun and Garbani Roads). Implementation of the Project will foster the use of transit options, once available.

LU-1.2: Provide a spectrum of housing types and price ranges that match the jobs in the city and make it possible for people to live and work in Menifee and maintain a high quality of life.

Response: The SP provides housing types and price ranges that attempt to match the jobs in the city. The SP contains residential, commercial, office, and business park uses, which makes it possible for people to live and work in Menifee, and maintain a high quality of life. The SP will provide opportunities for those that reside within PAs 1 or 2 of the SP to also work within either PA3 or PA4 of the SP.

LU-1.3: Develop senior housing in neighborhoods that are accessible to public transit, commercial services, and health and community facilities.

Response: The SP does not specifically call for senior housing; however, it does not inhibit attainment of this Policy.

LU-1.4: Preserve, protect, and enhance established rural, estate, and residential neighborhoods by providing sensitive and well-designed transitions (building design, landscape, etc.) between these neighborhoods and adjoining areas.

Response: There are existing suburban-density residential homes to the north of the SP, and large-lot residences to the east of the SP. The SP, as designed and implemented provides sensitive and well-designed transitions (building design, landscape, etc.) between these neighborhoods and the SP area. The streetscene along Garbani Road will complement the adjacent streetscene to the north. The streetscene along Sherman Road is also consistent with the General Plan Circulation Element. Suburban elements (landscaping/noise walls) and rural elements (2-rail fence) are proposed along Sherman Road.

LU-1.5: Support development and land use patterns, where appropriate, that reduce reliance on the automobile and capitalize on multimodal transportation opportunities.

Response: The SP is a mixed-use development with residential, commercial, office, business park, and open space uses. This type of development reduces reliance on the automobile by siting residences in immediate proximity of commercial and business park uses for commerce and potential employment and by providing a comprehensive sidewalk, trail, and bicycle network within the SP. Said network will connect to the City-wide network which is in place and which will be developed as the City builds out. A combination of pathways, paseos, walkways, or similar pedestrian accesses are provided that connect the individual Planning Areas in the SP to any public transportation facilities located on key perimeter streets (Haun and Garbani Roads). Therefore, the SP does not inhibit the potential to capitalize on current and future multimodal transportation opportunities.

LU-1.6: Coordinate land use, infrastructure, and transportation planning and analysis with regional, county, and other local agencies to further regional and subregional goals for jobs-housing balance.

Response: The SP fosters this policy by locating appropriate uses within the EDC, as prescribed by the General Plan GP. The SP will allow for 398 dwelling units, as well as 87,485 square feet of commercial, 7,606 square foot restaurant, 22,154 square feet of office, and 33,171 square feet of business park uses. The Project provides both jobs and housing.

LU-1.7: Ensure neighborhood amenities and public facilities (natural open space areas, parks, libraries, schools, trails, etc.) are distributed equitably throughout the city.

Response: The SP, as designed and implemented includes neighborhood amenities such as pools, clubhouses, multiple playground areas, a basketball court, a volleyball court, community garden, walking trails, multiple open space areas, as well as three garden courts). No public facilities (parks, libraries, schools) are proposed within the SP as they are distributed in other areas of the City.

LU-1.8: Ensure new development is carefully designed to avoid or incorporate natural features, including washes, creeks, and hillsides.

Response: The SP, as designed and implemented avoids a natural drainage course on-site (PA5) to the greatest extent feasible. This drainage course bifurcates the Project, separating PA4 from PAs 1, 2, and 3. It serves to convey drainage from the site to two inlet structures on the east side of Haun Road. There are no other natural features on-site (i.e., creeks, and hillsides).

LU-1.9: Allow for flexible development standards provided that the potential benefits and merit of projects can be balanced with potential impacts.

Response: The SP is the planning document that allows for flexible development standards. While the Project implements a vast majority of the development standards contained in the EDC zoning, the SP has incorporated standards regarding setbacks in order to better develop the site and achieve the desired objectives of the EDC in terms of the siting of appropriate uses at the appropriate locations.

LU-1.10: Buffer sensitive land uses, such as residences, schools, care facilities, and recreation areas from major air pollutant emission sources, including freeways, manufacturing, hazardous materials storage, and similar uses.

Response: The SP is located approximately 1,350 feet from the I-215 Freeway, at their closest points. This is a more than adequate spatial buffer. No other major air pollutant emission sources are located in proximity of the SP.

LU-2: ECONOMIC DEVELOPMENT CORRIDORS

Goal

LU-2: Thriving Economic Development Corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.

Response: The SP includes single-family residential, multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner: Planning Area 1 – Rancho Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community (Trails), Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space. The Project plans envision creek-side trails and pedestrian pathways connecting the different development areas to each other.

- Planning Area 1 - The Rancho Bonito Multi-Family Townhome Community: 194 units on approximately 13.82-acres [14.0 dwelling units/acre (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, three playground areas, a basketball court, a volleyball court, community garden, walking trails, and multiple open space areas.
- Planning Area 2 - The Mill Creek Promenade Single-Family Community: 204 units on approximately 20.51-acres [9.9 dwelling units/acres (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, tot lots, picnic areas with gazebos, basin with trail and benches, and a creek-side trail.
- Planning Area 3 - The Mill Creek Promenade Shopping Center: 87,485 square feet (SF) of net retail buildings, 22,154 SF of available office space, and a 7,606 SF restaurant on approximately 14.85 acres.
- Planning Area 4 – Business Park: a 33,171 SF net of single story industrial center on a 2.79-acre site.
- Planning Area 5 – Open Space: a 1.69-acre open space conservation area.

The Project provides a mix of uses within its own Project site, but more importantly, supports the overall development of the EDC-SG district. The Project concentrates 35 acres of the district's total 83 acres of residential development at a location where it makes the most sense – providing a transitioning higher density residential use adjacent to existing lower density residential to the north and concentrating residential away from the I-215 where it is prohibited pursuant to the General Plan. This will contribute to a thriving Economic Development Corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.

Policies

LU-2.1: Promote infill development that complements existing neighborhoods and surrounding areas. Infill development and future growth in Menifee is strongly encouraged to locate within EDC areas to preserve the rural character of rural, estate, and small estate residential uses.

Response: Since the SP is the 1st development project proposed in the EDC-SG, it is not considered “in-fill.” Existing lower density residential uses are located directly north of the EDC-SG district, and directly adjacent to the proposed Project site. These residents have expressed concerns regarding the impact of higher intensity uses adjacent to their homes and neighborhood. The Project therefore provides an important transitioning land use – higher density residential. This will protect existing residential and provide a well-designed transition between this existing residential neighborhood and the more intensive, non-residential EDC-SG uses.

LU-2.2: Encourage vertical and horizontal integration of uses where feasible on properties in EDCs.

Response: The SP provides horizontal integration of uses on site, concentrating residential uses on the northern portion of the site, adjacent to existing, lower density residential.

LU-2.3: Identify opportunities to link the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center, to complementary uses in EDCs.

Response: As listed in Table IV-7, Land Use Regulations – Commercial Retail (see “Institutional Uses”), and Table IV-9, Land Use Regulations – Business Park (see “Institutional Uses”) the SP will allow educational and medical facilities, which may be used as support for the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center.

LU-2.4: Actively support development of cultural, education, and entertainment facilities in EDCs and utilize these venues to generate a unique identity for the city in Southwest Riverside County.

Response: As listed in Table IV-7, Land Use Regulations – Commercial Retail (see “Institutional Uses”), and Table IV-9, Land Use Regulations – Business Park (see “Institutional Uses”) the SP will allow cultural, educational and entertainment uses. The uses allowed in the SP will contribute towards the attainment of this Goal.

LU-3: UTILITIES AND INFRASTRUCTURE

Goal

LU-3: A full range of public utilities and related services that provide for the immediate and long-term needs of the community.

Response: As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan will ensure that that development of the SP will provide for the immediate and long-term needs of the community.

Policies

LU-3.1: Work with utility providers in the planning, designing, and siting of distribution and support facilities to comply with the standards of the General Plan and Development Code.

Response: This Policy pertains to the City and the applicable utility agencies. The SP does not provide any obstacles or barriers towards the attainment of this Policy, as it pertains to planning, designing, and siting of distribution and support facilities.

LU-3.2: Work with utility provides to increase service capacity as demand increases.

Response: This Policy pertains to the City and the applicable utility agencies. The SP does not provide any obstacles or barriers towards the attainment of this Policy, as it pertains to increases in service capacity and increased demand. Service capacity and demand from the Project was anticipated under the General Plan.

LU-3.3: Coordinate public infrastructure improvements through the city's Capital Improvement Program.

Response: Per the City of Menifee Capital Improvement Program, Fiscal Years 2017-2022, the following projects are proposed by the City:

- *Transportation Project;*
- *Traffic Signal Projects;*
- *Street Improvement Projects;*
- *Drainage Projects;*
- *Facilities Projects; and*
- *Community Services Department Projects.*

The SP is located within Development Impact Fee per Ordinance No. 17-232. Public Works Staff have reviewed the SP and have ensured that there is coordination with public infrastructure improvements contained in the City's Capital Improvement Program.

LU-3.4: Require that approval of new development be contingent upon the project's ability to secure appropriate infrastructure services.

Response: The SP, as designed and implemented demonstrates through the water, sewer, and drainage plans, and through the analysis contained in the Environmental Impact Report (EIR), that the SP has the ability to secure appropriate infrastructure services.

HOUSING ELEMENT

Goal

HE-1: A diverse housing stock that offers a full range of housing opportunities for Menifee residents and supports the local economy.

Response: The SP provides housing types and price ranges that contributes to a diverse housing stock that offers a full range of housing opportunities for Menifee residents and supports the local economy.

Policies

HE 1.1: Specific Plans. Support residential growth and infill in specific plan areas and along corridors where comprehensive neighborhood planning is completed and adequate infrastructure is planned.

Response: The Project is located within the EDC-SG district and supports that district's land use mix by providing a necessary transitioning high-density residential product at the northern end of the district. Ten percent of the acreage of the EDC-SG district (or 83 acres) has been planned for residential uses. The SP serves as "comprehensive neighborhood planning" for the Project site. As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan will ensure that that development of the SP will provide for the necessary, adequate infrastructure.

HE 1.2: Housing Design. Require excellence in housing design with materials and colors, building treatments, landscaping, open space, parking, and environmentally sensitive design practices.

Response: The SP contains detailed Design Guidelines (Section V) that will ensure excellence in housing design with materials and colors, building treatments, landscaping, open space, parking, and environmentally sensitive design practices. The SP contains text and graphics that provide great detail for the development within the SP, which includes: overall landscape themes, plant palettes, streetscenes, edge conditions, monumentation, wall and fencing plan, specific architectural styles, and common space elements. Lastly, the SP will be required to comply with Title 24 requirements for energy efficiency.

HE 1.3: Housing Diversity. Provide development standards and incentives to facilitate a range of housing, such as single family, apartments, senior housing, and other housing types in rural, suburban, and urban settings.

Response: As shown in Section IV, Development Standards, the SP allows for multi-family attached townhomes, multi-family attached apartments, multi-family attached duplex/triplex, multi-family attached courtyards, single-family detached traditional, and single-family detached motor court housing types. Providing higher density residential uses, in both an attached and detached product, supports a diversified economy by providing affordable product and housing options for residents and local employees.

HE 1.4: Entitlement Process. Provide flexible entitlement processes that facilitate innovative housing solutions, yet balance the need for developer certainty in the approval process.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE 1.5: Permit Process. Permit higher density housing in the 20.1–24 R General Plan designation per City policy; incorporate new policies upon completing the Zoning Code update.

Response: This Goal pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE 1.6: Housing Incentives. Facilitate a mix of market rate and affordable housing through adoption of regulatory concessions and financial incentives, where feasible and appropriate.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE 1.7: Community Character. Protect the character of the community by preserving the unique rivers, landscape, natural features, and community features that distinguish Menifee from other cities in the region.

Response: The SP site contains a drainage channel that will remain in its natural state, to the greatest extent possible. As shown on multiple Figures in Section V, Design Guidelines, of the SP, unless required for drainage, no encroachments will be allowed within this drainage channel. While not a large feature, it will serve as a natural feature amongst the development in PAs 1-4. No other natural or community features exist on the site.

Goal

HE-2: Sustainable neighborhoods well served by ample parks, infrastructure, community amenities, and public services and facilities.

Response: The SP includes single-family residential, multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner/neighborhoods: Planning Area 1 – Rancho Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community (Trails), Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space. The Project plans envision creek-side trails and pedestrian pathways connecting the different development areas to each other. A total of 6.42-acres of a combination of recreation areas, parks, and paseos are provided in PAs1 and 2 of the SP. A total of 1.69 acres of open space/conservation is contained in PA5. Community amenities included in the SP are: paseos, trail, walkways, bicycle lanes, and garden plazas. As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan, the Project will be well served by infrastructure and public services and facilities.

Policies

HE-2.1: Housing Conditions. Support the improvement, rehabilitation, and maintenance of our housing resources to strengthen residential neighborhoods, offer quality housing, and maintain community property values.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-2.2: Property Maintenance. Support the maintenance and improvement of the quality of housing and neighborhoods through the adoption, amendment, and compliance with land use, zoning, building, and property maintenance codes.

Response: Chapter VI of the SP identifies areas and responsibility for the adoption, amendment, and compliance with land use, zoning, building, and property maintenance codes.

HE-2.3: Neighborhood Revitalization. Support the comprehensive investments needed to improve physical infrastructure, housing conditions, and public services for our many neighborhoods, focusing on those neighborhoods of greatest need.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-2.4: Parks and Recreation. Enhance neighborhood livability and sustainability by providing parks and open spaces, planting trees, greening parkways, and maintaining a continuous pattern of paths that encourage an active, healthy lifestyle.

Response: The SP, as designed and implemented, will provide neighborhood livability and sustainability by providing parks and open spaces, planting trees, greening parkways, and maintaining a continuous pattern of paths that encourage an active, healthy lifestyle. A total of 6.42-acres of a combination of recreation areas, parks, and paseos are provided in PAs1 and 2 of the SP. A total of 1.69 acres of open space/conservation is contained in PA5. Community amenities included in the SP are: paseos, trail, walkways, bicycle lanes, and garden plazas.

HE-2.5: Public Facilities and Infrastructure. Provide quality community facilities, infrastructure, traffic management, public safety, and other services to promote and improve the livability, safety, and vitality of residential neighborhoods.

Response: As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan the Project will be well served by infrastructure, and public facilities. Street improvements will be made to Haun, Garbani, and Sherman Roads. These improvements include widening streets, installation of bicycle lanes, and sidewalks. The vehicular and non-vehicular circulation plans are comprehensive plans. All of these promote and improve the livability, safety, and vitality of the residential neighborhoods in PAs 1 and 2.

HE-2.6: Neighborhood Involvement. Encourage resident participation in their neighborhood organizations to help identify local needs and implement programs to beautify, improve, and preserve neighborhoods.

Response: This Policy does not apply to the SP. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

Goal

HE-3: Improved opportunities for moderate and low income residents and those with special needs to rent, purchase, or maintain adequate housing.

Response: This Goal pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Goal.

Policies

HE-3.1: Homeownership Assistance. Increase homeownership assistance and security for lower and moderate income households through financial assistance, education, and collaborative partnerships.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-3.2: Homeownership Preservation. Work with governmental entities, nonprofits, and other stakeholders to educate residents and provide assistance, where feasible, to reduce the number of foreclosures in the community.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-3.3: Special Needs. Support the provision of community services and housing for people with special needs, such as disabled people, seniors, lower income families, and people without shelter.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy for people with special needs, such as disabled people, seniors, lower income families, and people without shelter.

HE-3.4: Preservation of Affordable Housing. Preserve affordable rental housing by working with interested parties and providing technical assistance, as feasible and appropriate.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-3.5: Collaborative Partnerships. Collaborate with nonprofit groups, developers, the business community, special interest groups, and state and federal agencies to provide housing assistance.

Response: The SP does not provide any obstacles or barriers towards the attainment of this Policy.

HE-3.6: Fair Housing. Support and implement housing law in all aspects of the building, financing, sale, rental, or occupancy of housing based on protected status in accordance with state and federal law.

Response: The SP does not provide any obstacles or barriers towards the attainment of this Policy.

CIRCULATION ELEMENT

C-1: ROADWAY SYSTEM

Goal

C-1: A roadway network that meets the circulation needs of all residents, employees, and visitors to the City of Menifee.

Response: This Goal pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Goal, as roadway improvements Haun, Garbani and Sherman Roads will be made to General Plan Circulation Element standards.

Policies

C-1.1: Require roadways to:

- Comply with federal, state, and local design and safety standards.
- Meet the needs of multiple transportation modes and users.
- Be compatible with the streetscape and surrounding land uses.
- Be maintained in accordance with best practices.

Response: This SP, as designed and implemented with comply with this Policy.

C-1.2: Require development to mitigate its traffic impacts and achieve a peak hour Level of Service (LOS) D or better at intersections, except at constrained intersections at close proximity to the I-215 where LOS E may be permitted.

Response: As demonstrated through the analysis contained in the Environmental Impact Report (EIR), implementation of the SP will mitigate its traffic impacts and achieve a peak hour Level of Service

(LOS) D or better at intersections, except at constrained intersections at close proximity to the I-215 where LOS E may be permitted.

C-1.3: Work with Caltrans, RCTC, and others to identify, fund, and implement needed improvements to roadways identified in the citywide roadway network.

Response: This Policy pertains to the City, Caltrans, RCTC, and others. The SP does not provide any obstacles or barriers towards the attainment of this Policy, as the Project will be required to pay applicable Transportation Uniform Mitigation Fees (TUMF), Development Impacts Fees (DIF), and Road and Bridge Benefit District (RBBD) fees.

C-1.4: Promote development of local street patterns that unify neighborhoods and work with neighboring jurisdictions to provide compatible roadway linkages at the city limits.

Response: The SP, as designed and implemented contains local street patterns that unify neighborhoods. The remainder of this Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

C-1.5: Minimize idling times and vehicle miles traveled to conserve resources, protect air quality, and limit greenhouse gas emissions.

Response: The SP does not provide any obstacles or barriers towards the attainment of this Policy. The Project Traffic Impact Study demonstrates that intersections and roadways affected by the Project will operate at acceptable levels of service with the incorporation of improvements, payment of TUMF, DIF and RBBD, and Project fair-share contributions.

C-2: BICYCLES & PEDESTRIANS

Goal

C-2: A bikeway and community pedestrian network that facilitates and encourages nonmotorized travel throughout the City of Menifee.

Response: The SP provides for walkways, paseos, and bicycle lanes. The SP contains a Non-Vehicular Circulation Plan (Figure III-13, Non-Vehicular Circulation Plan). This Non-Vehicular Circulation Plan provides connectivity between all PAs, as well as connections to the greater nonmotorized travel ways existing (and proposed) within the City.

Policies

C-2.1: Require on- and off-street pathways to:

- Comply with federal, state, and local design and safety standards.
- Meet the needs of multiple types of users (families, commuters, recreational beginners, exercise experts) and meet ADA standards and guidelines.
- Be compatible with the streetscape and surrounding land uses.
- Be maintained in accordance with best practices.

Response: This SP, as designed and implemented with comply with this Policy.

C-2.2: Provide off-street multipurpose trails and on-street bike lanes as our primary paths of citywide travel, and explore the shared use of low speed roadways for connectivity wherever it is safe to do so.

Response: An off-street multipurpose trail is provided along Haun Road (see Figure V-14, PA3 – Commercial Retail and Haun Road North Edge Condition). On-street bike lanes are proposed along Garbani and Sherman Roads (see Figure V-3, PA1 - High Density Residential and Garbani Road Edge Condition, and Figure V-6, PA1 - High Density Residential and Sherman Road Edge Condition). The SP, as designed and implemented, provides off-street multipurpose trails and on-street bike lanes.

C-2.3: Require walkways that promote safe and convenient travel between residential areas, businesses, schools, parks, recreation areas, transit facilities, and other key destination points.

Response: The SP, as designed and implemented provides walkways and bicycle pathways that promote safe and convenient travel between residential areas (PAs 1 and 2), businesses (PAs 3 and 4), schools (off-site), parks (off-site), recreation areas (on- and off-site), transit facilities (bus turnout along Garbani Road), and other key destination points (City-wide – current and future).

C-2.4: Explore opportunities to expand the pedestrian and bicycle networks; this includes consideration of utility easements, drainage corridors, road rights-of-way, and other potential options.

Response: The SP provides for walkways and paseos. The SP contains a Non-Vehicular Circulation Plan (Figure III-13, Non-Vehicular Circulation Plan). On-street bike lanes are proposed on Haun, Garbani and Sherman Roads. Bicycles shall also be used on internal streets and paseos. The paseo adjacent to PA5 (Open Space) implements this policy, since PA5 is a drainage channel.

C-2.5: Work with the Western Riverside Council of Governments to implement the Non-Motorized Transportation Plan for Western Riverside County.

Response: This Policy pertains to the City and the Western Riverside Council of Governments. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

C-3: PUBLIC TRANSIT

Goal

C-3: A public transit system that is a viable alternative to automobile travel and meets basic transportation needs of the transit dependent.

Response: A combination of pathways, paseos, walkways, or similar pedestrian accesses are provided that connects the individual Planning Areas in the SP to any public transportation facilities (currently or in the future) located on key perimeter streets (Haun and Garbani Roads). Implementation of the Project will not inhibit the use of transit options, once available.

Policies

C-3.1: Maintain a proactive working partnership with transit providers to ensure that adequate public transit service is available.

Response: The SP has been provided to the Riverside Transit Agency for review. A bus turnout exists on the north side of Garbani Road, north of the Project site.

C-3.2: Require new development to provide transit facilities, such as bus shelters, transit bays, and turnouts, as necessary.

Response: The SP has been provided to the Riverside Transit Agency for review. A bus turnout exists on the north side of Garbani Road, north of the Project site.

C-3.3: Provide additional development-related incentives to projects that promote transit use.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

C-3.4: Advocate expansion of Metrolink service to the area.

Response: This Policy pertains to the City. The SP is not located in proximity to the Metrolink.

C-3.5: Work with regional transit agencies to secure convenient feeder service from the Metrolink station to employment districts and transit nodes in Menifee.

Response: This Policy pertains to the City. The SP is not located in proximity to the Metrolink.

C-3.6: Require future community-wide facilities, such as libraries, schools, parks, and community centers, to be sited in transit-ready areas (can be served and made accessible by public transit). Conversely, plan (and coordinate with other transit agencies to plan) future transit routes to serve existing community facilities.

Response: This Policy pertains to the City. This Policy is not applicable.

C-6: SCENIC HIGHWAYS

Goal

C-6: Scenic highway corridors that are preserved and protected from change which would diminish the aesthetic value of lands adjacent to the designated routes.

Response: There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

Policies

C-6.1: Design developments within designated scenic highway corridors to balance the objectives of maintaining scenic resources with accommodating compatible land uses.

Response: There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east

of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

C-6.2: Work with federal, state, and county agencies, and citizen groups to ensure compatible development within scenic corridors.

Response: This Policy pertains to the City, federal, state, and county agencies, and citizen groups. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

C-6.3: Utilize design and land development strategies to gradually transition graded road slopes into a natural configuration consistent with the topography of the areas within scenic highway corridors.

Response: There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

C-6.4: Incorporate riding, hiking, and bicycle trails and other compatible public recreational facilities within scenic corridors.

Response: The SP, as designed and implemented includes walking and biking trails.

C-6.5: Ensure that the design and appearance of new landscaping, structures, equipment, signs, or grading within eligible county scenic highway corridors are compatible with the surrounding scenic setting or environment.

Response: There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

OPEN SPACE & CONSERVATION ELEMENT

OSC-1: PARKS & RECREATION

Goal

OSC-1: A comprehensive system of high quality parks and recreation programs that meets the diverse needs of the community.

Response: The residential components of the SP include approximately 3.79 acres of private recreation facilities, as well as 1.89 acres of paseos. Bike lanes are included along Haun, Garbani, and Sherman Roads. Development that results from the approval of the SP will be required to pay the applicable Quimby Fees, pursuant to Municipal Code Section 9.55. In addition, development that results from the approval of the SP will be required to pay the applicable Development Impact Fee (Ordinance No. 17-

232). *This will all contribute to a comprehensive system of high quality parks and recreation programs that meets the diverse needs of the community.*

Policies

OCS-1.1: Provide parks and recreational programs to meet the varied needs of community residents, including children, youth, adults, seniors, and persons with disabilities, and make these facilities and services easily accessible and affordable to all users.

Response: This Goal pertains to the City. This Goal is not applicable.

OCS-1.2: Require a minimum of 5 acres of public open space to be provided for every 1,000 city residents.

Response: Based on this requirement, with 398 units proposed in the SP, with 3.164 residents per unit, divided by 5 acres/1000 residents will generate the need for 6.3 acres of parkland. The SP includes 4.55 acres of private recreational facilities. Development that results from the approval of the SP will be required to pay the applicable Quimby Fees, pursuant to Municipal Code Section 9.55 in order to fulfill this requirement.

OCS-1.3: Locate and distribute parks and recreational facilities throughout the community so that most residents are within walking distance (1-half mile) of a public open space.

Response: The SP does not include any public open space. Quasi-public open spaces are provided in the garden plazas in PA3 and along paseos throughout the SP. The SP provides internal non-vehicular linkages that connect to the remainder of the City. Currently, there are no public open spaces existing within ½ mile of the Project site.

OCS-1.4: Enhance the natural environment and viewsheds through park design and site selection while preserving sensitive biological, cultural, and historic resources.

Response: PA5 is a natural drainage course that will remain in its natural state, to the greatest extent feasible. Recreation trails will be located on the adjacent PAs.

OCS-1.5: Make parks as safe as possible by promoting the latest developments in facility design and equipment technology.

Response: The SP parks will be as safe as possible by promoting the latest developments in facility design and equipment technology.

OCS-1.6: Partner with school districts and other agencies and organizations for the joint-use, maintenance, and development of parks and recreational facilities and programs.

Response: The SP does not include any joint use facilities.

OCS-1.7: Ensure that parks and recreational facilities are well-maintained by the responsible agency.

Response: Chapter VI of the SP identifies areas and responsibility to ensure that parks and recreational facilities are well-maintained by the responsible agency.

OCS-1.8: Explore conventional and creative funding options for park and program development and administration.

Response: This Policy pertains to the City, school districts and other agencies and organizations. This Policy is not applicable.

OCS-1.9: Encourage all residents to participate in recreational programs regardless of age, economic status, disability, or other factor.

Response: This Policy pertains to the City, school districts and other agencies and organizations. This Policy is not applicable.

OCS-1.10: Develop a regional park of at least 25 acres within the City of Menifee.

Response: This Policy pertains to the City, school districts and other agencies and organizations. This Policy is not applicable.

OSC-2: RECREATIONAL TRAILS

Goal

OSC-2: A comprehensive network of hiking, biking, and equestrian recreation trails that do not negatively impact the natural environment or cultural resources.

Response: The SP contains a Non-Vehicular Circulation Plan (Figure III-13, Non-Vehicular Circulation Plan). Walkways and paseos distributed throughout the individual PAs serve to interconnect the PAs and also to connect the PAs to the City at-large. The SP is located in the EDC-SG and hiking is not the focus of this area; however, a community trail will be located on Haun Road, which will connect to the City-wide network. Paseos are located adjacent to, but not within, PA5 in order to preserve the natural drainage course, to the greatest extent feasible. Biking is provided internal to the SP, as well as within bike lanes on Haun, Sherman, and Garbani Roads. The SP is not located in an equestrian area; therefore, no equestrian trails/facilities are proposed. The Project EIR determined that walkways, paseos, trails, and bikeways do not negatively impact the natural environment or cultural resources.

Policies

OCS-2.1: Develop recreational trails for hiking, biking, and equestrian use throughout the city, making them, to the extent feasible, accessible to people of different neighborhoods, ages, and abilities.

Response: This has been addressed in the response to Goal OSC-2, above.

OCS-2.2: Locate and regulate recreational trails so that they do not negatively impact the city's sensitive habitat, wildlife, natural landforms, and cultural resources.

Response: Paseos are located adjacent to, but not within, PA5 in order to preserve the natural drainage course, to the greatest extent feasible.

OCS-2.3: Recognize flood control facilities as potential locations for recreational trails, and pursue these opportunities in coordination with the Riverside County Flood Control and Conservation District.

*Response: There are no Riverside County Flood Control and Conservation District facilities within the SP **that would be used for recreational trails**. Paseos are located adjacent to, but not within, PA5 in order to preserve the natural drainage course, to the greatest extent feasible.*

OCS-2.4: Explore new acquisition opportunities for abandoned railroad rights-of-way, natural waterways, flood control rights-of-way, public utility easements, and public lands for potential designation as recreational trails.

Response: This Policy pertains to the City. This Policy is not applicable.

OCS-2.5: Equip trailheads and trail staging areas with adequate parking, restrooms, signage, or other facilities, and amenities as appropriate.

Response: This Policy pertains to the City. This Policy is not applicable.

OCS-2.6: Protect existing equestrian trails, including those in the city's rural neighborhoods, and encourage connections to new trails in other parts of the city.

Response: This Policy pertains to the City. This Policy is not applicable.

OCS-2.7: Coordinate with adjacent jurisdictions to establish recreational trails that connect to other trail systems and major destinations found outside of the city, such as Lake Elsinore, Kabian Park, and Diamond Valley Lake.

Response: This Policy pertains to the City. Response: This Policy pertains to the City. This Policy is not applicable.

OCS-2.8 Develop appropriate consultation protocols with local Native American Tribes who have ancestral territories within the city to ensure recreation trails are located to avoid impacts to cultural resources.

Response: Because the proposed Project requires a SP, City staff conducted Native American consultation for the proposed Project consistent with Senate Bill 18 (SB 18) requirements. Concurrently, City staff conducted Native American consultation for the proposed Project consistent with Assembly Bill 52 (AB52) requirements. Consultation has occurred with the Agua Caliente, Pechanga, Rincon, and Soboba Tribes. No paseos, walkways, or trails are in any location that could result in impacts to cultural resources. Tribal monitoring will be conducted during any earth disturbing activities.

OCS-2.9: Ensure safety along recreational trails through appropriate lighting, signage, and other crime prevention through environmental design (CPTED) strategies.

Response: The SP has included lighting, appropriate fencing and other environmental design (CPTED) strategies.

OSC-3: NATURAL LANDFORMS

Goal

OSC-3: Undisturbed slopes, hillsides, rock outcroppings, and other natural landforms that enhance the City's environmental setting and rich cultural and historical past and present.

Response: The SP site is relatively flat. There are no undisturbed slopes, or hillsides located at the SP site. The SP site has small, isolated rock outcroppings located sporadically on the site (primarily in the northerly portion of the site). They are not of an aesthetic significance such that they will be maintained. These will be utilized at the Haun/Garbani corner treatment (Figure V-23c, Haun Road/Garbani Road Corner Treatment) and if there are any additional rocks, they will be utilized at the Project entry monuments. PA5 is designated as Open Space Conservation in the SP. This area will remain undisturbed (to the greatest extent possible), unless encroached into for crossings or as needed for site drainage. There are no other natural landforms on the SP site.

Policies

OCS-3.1: Identify and preserve the view corridors and outstanding scenic vistas within the city.

Response: There are no scenic vistas on the SP site, nor will development of the SP site result in any impediment of a view of scenic vistas, let alone, outstanding ones. There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. I-215 is an “Eligible County Scenic Highway.”

OCS-3.2: Promote thoughtful hillside development that respects the natural landscape by designing houses that fit into the natural contours of the slope and sensitive development that preserves and protects important cultural and biological resources.

Response: This Policy pertains to the City. This Policy is not applicable.

OCS-3.3: Encourage the use of clustered development and other site planning strategies to facilitate the preservation of the city's natural landforms, boulders, and rock outcroppings.

Response: There are no natural landforms, boulders, and rock outcroppings on the SP site.

OCS-3.4: Support the preservation of natural vegetation and rock outcroppings during and after the construction process.

Response: There are no natural vegetation and rock outcroppings on the SP site. PA5 is a natural drainage course that will remain in its natural state, to the greatest extent feasible.

OCS-3.5: Develop suitable long-term preservation plans with appropriate Native American tribes who have ancestral lands within the city to ensure the perpetual preservation of cultural resources, boulders, and rock outcroppings protected under this policy.

Response: This Policy pertains to the City and the appropriate Native American tribes. Because the proposed Project requires a SP, City staff conducted Native American consultation for the proposed Project consistent with Senate Bill 18 (SB 18) requirements. Concurrently, City staff conducted Native American consultation for the proposed Project consistent with Assembly Bill 52 (AB52) requirements. Consultation has occurred with the Agua Caliente, Pechanga, Rincon, and Soboba Tribes. No paseos, walkways, or trails are in any location that could result in impacts to cultural resources. Tribal monitoring will be conducted during any earth disturbing activities.

OSC-4: ENERGY MINERAL

Goal

OSC-4: Efficient and environmentally appropriate use and management of energy and mineral resources to ensure their availability for future generations.

Response: Consistent with General Plan Policy OSC-9.5, the SP will comply with the mandatory requirements of Title 24 Part 11 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards, which have been developed to provide efficient and environmentally appropriate use and management of energy and mineral resources.

Policies

OCS-4.1: Apply energy efficiency and conservation practices in land use, transportation demand management, and subdivision and building design.

Response: The SP is considered a “mixed-use” land use. It is a potentially self-contained project that would allow people the opportunity to reside, shop, work, and recreate without reliance on automotive transportation. Consistent with General Plan Policy OSC-9.5, the SP will comply with the mandatory requirements of Title 24 Part 11 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards, which have been developed to provide for energy efficiency in subdivision and building design.

OCS-4.2: Evaluate public and private efforts to develop and operate alternative systems of energy production, including solar, wind, and fuel cell.

Response: The SP does not contain any provisions pertaining to wind and fuel cell systems of energy production. The SP will comply with the mandatory requirements of Title 24 Part 11 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards, as it pertains to solar energy.

OSC-5: PALEONTOLOGICAL & CULTURAL RESOURCES

Goal

OSC-5: Archaeological, historical, and cultural resources are protected and integrated into the city's built environment.

Response: There are no historical resources on the SP site. No archaeological and cultural resources are present on the surface of the SP site. Since these resources are below the surface, mitigation has been included to require monitoring during ground disturbance activities (clearing, grubbing, grading, etc.), consistent with the protocols developed during consultation.

Policies

OCS-5.1: Preserve and protect archaeological and historic resources and cultural sites, places, districts, structures, landforms, objects and native burial sites, traditional cultural landscapes and other features, consistent with state law and any laws, regulations or policies which may be adopted by the city to implement this goal and associated policies.

Response: There are no historical resources on the SP site. No archaeological and cultural resources are present on the surface the SP site. Since these resources are below the surface, mitigation has been included to require monitoring during ground disturbance activities (clearing, grubbing, grading, etc.), consistent with the protocols developed during consultation.

OCS-5.3: Preserve sacred sites identified in consultation with the appropriate Native American tribes whose ancestral territories are within the city, such as Native American burial locations, by avoiding activities that would negatively impact the sites, while maintaining the confidentiality of the location and nature of the sacred site.

Response: The SP, as designed and implemented will not impact any sacred sites. No sacred sites have been identified.

OCS-5.4: Establish clear and responsible policies and best practices to identify, evaluate, and protect previously unknown archaeological, historic, and cultural resources, following applicable CEQA and NEPA procedures and in consultation with the appropriate Native American tribes who have ancestral lands within the city.

Response: The SP, through its accompanying EIR establishes clear and responsible policies and best practices to identify, evaluate, and protect previously unknown archaeological and cultural resources, following applicable CEQA procedures and in consultation with the appropriate Native American tribes who have ancestral lands within the city. No NEPA compliance is required. There are no historical resources on the SP site. No archaeological and cultural resources are present on the surface the SP site. Since these resources are below the surface, mitigation has been included to require monitoring during ground disturbance activities (clearing, grubbing, grading, etc.), consistent with the protocols developed during consultation.

OCS-5.5: Develop clear policies regarding the preservation and avoidance of cultural resources located within the city, in consultation with the appropriate Native American tribes who have ancestral lands within the city

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-5.6: Develop strong government-to-government relationships and consultation protocols with the appropriate Native American tribes with ancestral territories within the city in order to ensure better identification, protection and preservation of cultural resources, while also developing appropriate educational programs, with tribal participation, for Meniffee residents.

Response: This Policy pertains to the City. This Policy is not applicable.

OSC-7: WATER

Goal

OSC-7: A reliable and safe water supply that effectively meets current and future user demands.

Response: This Goal pertains to the City and the appropriate water purveyors. The SP does not provide any obstacles or barriers towards the attainment of this Goal.

Policies

OCS-7.1: Work with the Eastern Municipal Water District to ensure that adequate, high-quality potable water supplies and infrastructure are provided to all development in the community.

Response: This Policy pertains to the City and Eastern Municipal Water District. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-7.2: Encourage water conservation as a means of preserving water resources.

Response: The SP, as designed and implemented encourages water conservation as a means of preserving water resources through landscape design and compliance with water efficiency ordinances and Title 24.

OCS-7.3: Coordinate with the Eastern Municipal Water District to educate the public on the benefits of water conservation and promote strategies residents and businesses can employ to reduce their water usage.

Response: Eastern Municipal Water District (EMWD) has created Water Efficient Guidelines for New Development (July 19, 2013). The focus of the Water Efficiency Guidelines is on incentive-driven, cost-effective, voluntary water efficiency measures for new residential development. The Water Efficiency Guidelines are divided into two primary sections – (1) indoor guidelines; and (2) outdoor guidelines. The SP will be required to comply with the provisions contained in the Water Efficient Guidelines.

OCS-7.4: Encourage the use of reclaimed water for the irrigation of parks, golf courses, public landscaped areas, and other feasible applications as service becomes available from the Eastern Municipal Water District.

Response: If available, the Project may incorporate recycled water for landscape irrigation, which helps reduce strain on environmental resources. The Project may use recycled water for irrigation of common area landscaping, open space, parkways, and roadside landscaping adjacent to public roads.

If recycled water infrastructure is available, the Project may opt to incorporate this utility to augment landscape irrigation. Recycled water is available through EMWD via an application process.

OCS-7.5: Utilize a wastewater collection, treatment, and disposal system that adequately serves the existing and long-term needs of the community.

Response: This Policy pertains to the City and Eastern Municipal Water District. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-7.6: Work with the Eastern Municipal Water District to maintain adopted levels of service standards for sewer service systems.

Response: This Policy pertains to the City and Eastern Municipal Water District. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-7.7: Maintain and improve existing level of sewer service by improving infrastructure and repairing existing deficiencies.

Response: This Policy pertains to the City and Eastern Municipal Water District. This Policy is not applicable.

OCS-7.8: Protect groundwater quality by decommissioning existing septic systems and establishing connections to sanitary sewer infrastructure.

Response: The SP will tie into existing connections to sanitary sewer infrastructure.

OCS-7.9: Ensure that high quality potable water resources continue to be available by managing stormwater runoff, wellhead protection, and other sources of pollutants.

Response: This Policy pertains to the City and Eastern Municipal Water District. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-7.10: Preserve natural floodplains, including Salt Creek, Ethanac Wash, Paloma Wash, and Warm Springs Creek, to facilitate water percolation, replenishment of the natural aquifer, proper drainage, and prevention of flood damage.

Response: This Policy pertains to the City and Eastern Municipal Water District. This Policy is not applicable.

OCS-7.11: Ensure that natural and cultural resources are protected and avoided while still maintaining important water goals.

Response: There are no historical resources on the SP site. No archaeological and cultural resources are present on the surface of the SP site. There are no scenic vistas on the SP site, nor will development of the SP site result in any impediment of a view of scenic vistas, let alone, outstanding ones.

OSC-8: BIOLOGICAL

Goal

OSC-8: Protected biological resources, especially sensitive and special status wildlife species and their natural habitats.

Response: A special status wildlife species, burrowing owl, was observed on the property during the January 2018, field investigations. Mitigation has been provided to reduce impacts to the burrowing owl to a less than significant level. The property does contain riverine/riparian habitat; however, there are no vernal pools or Urban/Wildlands interface areas on site. A delineation was conducted to evaluate and analyze the ordinary high water mark of the channel that bisects the site in southwest to northeast direction. It was determined the channel on the site does meet the criteria as Waters of the U.S. and Waters of the state. The Project will impact streambeds and/or banks corresponding with the channel. Therefore, California Department of Fish and Wildlife Section 1600, U.S. Army Corps of Engineers 404, and California Regional Water Quality Control Board 401 permits will be required due to the impacts being greater than 0.10-acres. The Project will impact Jurisdictional waters. Any impacts will be reduced to a less than significant level with the incorporation of mitigation. The Project will not have a significant adverse effect on any riparian/riverine areas on site or in the surrounding area.

Policies

OCS-8.1: Work to implement the Western Riverside County Multiple Species Habitat Conservation Plan in coordination with the Regional Conservation Authority.

Response: Consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), a Habitat Assessment and MSHCP Consistency Plan and Determination of Biological Equivalent or Superior Preservation (DBESP) for Riparian/Riverine Habitat was prepared for the Project site. The Regional Conservation Authority will review and approve the analysis and conclusions contained therein. This Policy pertains to the City and Regional Conservation Authority.

OCS-8.2: Support local and regional efforts to evaluate, acquire, and protect natural habitats for sensitive, threatened, and endangered species occurring in and around the city.

Response: This Policy pertains to the City and Regional Conservation Authority. This Policy is not applicable.

OCS-8.3: Partner with non-profit agencies at the local, regional, state, and federal level to fulfill the obligations of the MSHCP to preserve and protect significant biological resources.

Response: This Policy pertains to the City and non-profit agencies at the local, regional, state, and federal level. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-8.4: Identify and inventory existing natural resources in the City of Menifee.

Response: The Project specific biological surveys have identified natural resources on site, potential impacts and proposed mitigation measures to reduce these impacts to a less than significant level.

OCS-8.5: Recognize the impacts new development will have on the city's natural resources and identify ways to reduce these impacts.

Response: The SP, through its accompanying EIR recognizes the impacts the design and implementation of the SP will have on the city's natural resources and identify ways to reduce these impacts.

OCS-8.6: Pursue opportunities to help the public understand and appreciate Menifee's biological resources.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

OCS-8.7: Manage the recreational use of the city's unimproved open space areas for compatibility with sensitive biological resources as well as MSHCP Conservation Areas.

Response: This Policy pertains to the City. This Policy is not applicable.

OCS-8.8: Implement and follow MSHCP goals and policies when making discretionary actions pursuant to Section 13 of the Implementing Agreement.

Response: Section 13 of the Implementing Agreement pertains to "Permittees' Take Authorization and Obligations," which allows each Permittee may engage in, and receive Take Authorization for, Covered Activities as set forth in Section 7.0 of the MSHCP. The City adheres to the obligations under the

MSHCP and the Implementing Agreement. Please reference the responses to Goal OCS-8 and Policy OCS-8.1, above.

OSC-9: AIR QUALITY

Goal

OSC-9: Reduced impacts to air quality at the local level by minimizing pollution and particulate matter.

Response: The SP, through its accompanying EIR analyzes the impacts to air quality at the local level by minimizing pollution and particulate matter.

Policies

OCS-9.1: Meet state and federal clean air standards by minimizing particulate matter emissions from construction activities.

Response: The SP, through its accompanying EIR ensures that the SP will meet state and federal clean air standards by minimizing particulate matter emissions from construction activities.

OCS-9.2: Buffer sensitive land uses, such as residences, schools, care facilities, and recreation areas from major air pollutant emission sources, including freeways, manufacturing, hazardous materials storage, wastewater treatment, and similar uses.

Response: The SP is located approximately 1,350 feet from the I-215 Freeway, at their closest points. This is a more than adequate buffer. No other major air pollutant emission sources are located in proximity of the SP.

OCS-9.3: Comply with regional, state, and federal standards and programs for control of all airborne pollutants and noxious odors, regardless of source.

Response: The SP, through its accompanying EIR complies with regional, state, and federal standards and programs for control of all airborne pollutants and noxious odors, regardless of source.

OCS-9.4: Support the Riverside County Regional Air Quality Task Force, the Southern California Association of Government's Regional Transportation Plan/Sustainable Communities Strategy, and the South Coast Air Quality Management District's Air Quality Management Plan to reduce air pollution at the regional level.

Response: The Project specific Air Quality analysis has been prepared which identifies Project construction and operational emissions at the regional level. Impacts have been identified and mitigation measures and standard conditions will apply, which will reduce air quality impacts, consistent with the AQMP.

OCS-9.5: Comply with the mandatory requirements of Title 24 Part 1 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards.

Response: The SP, as designed and implemented will comply with the mandatory requirements of Title 24 Part 1 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards.

OSC-10: ENVIRONMENTALLY AWARE COMMUNITY

Goal

OSC-10: An environmentally aware community that is responsive to changing climate conditions and actively seeks to reduce local greenhouse gas emissions.

Response: This Goal pertains to the City. This Goal is not applicable.

Policies

OCS-10.1: Align the city's local GHG reduction targets to be consistent with the statewide GHG reduction target of AB 32.

Response: The SP, through its accompanying EIR aligns the city's local GHG reduction targets to be consistent with the statewide GHG reduction target of AB 32.

OCS-10.2: Align the city's long-term GHG reduction goal consistent with the statewide GHG reduction goal of Executive Order S-03-05.

Response: The SP, through its accompanying EIR aligns the city's long-term GHG reduction goal consistent with the statewide GHG reduction goal of Executive Order S-03-05.

OCS-10.3: Participate in regional greenhouse gas emission reduction initiatives.

Response: The Project specific GHG analysis has been prepared which identifies Project GHGH emissions. Impacts have been identified and mitigation measures and standard conditions will apply, which will reduce GHG impacts.

OCS-10.4: Consider impacts to climate change as a factor in evaluation of policies, strategies, and projects.

Response: This Goal pertains to the City. This Goal is not applicable.

COMMUNITY DESIGN ELEMENT

CD-1: COMMUNITY IMAGE

Goal

CD-1: A unified and attractive community identity that complements the character of the City's distinctive communities.

Response: The SP fosters this Goal by locating appropriate uses within the EDC, as prescribed by the General Plan (GP).

Policies

CD-1.1: Enhance the city's identity through the use of distinct city graphics, such as the city seal, in the design of gateways, street signs, city signage, public facilities and public gathering spaces, and other areas where appropriate.

Response: This Policy pertains to the City. This Policy is not applicable.

CD-1.2: Support the development and preservation of unique communities and rural and suburban neighborhoods in which each community exhibits a special sense of place and quality of design.

Response: The SP, as designed and implemented will support the development of a unique neighborhood which exhibits a special sense of place and quality of design. The SP, with its associated Development Standards (Section IV) and Design Guidelines (Section V), serves to implement the EDC-SG zoning. Through these Standards and Guidelines, a special sense of place and quality of design will be created by utilizing unique architecture, landscape architecture, and monumentation as it pertains to the residential (PA1 and 2), commercial (PA3), business park (PA4) and open space conservation (PA5) uses within the SP.

CD-1.3: Strengthen the identity of individual neighborhoods/communities with entry monuments, flags, street signs, and/or special tree streets, landscaping, and lighting.

Response: The SP, as designed and implemented strengthens its identity with entry monuments, special tree streets, landscaping, and lighting.

CD-1.4: Provide special landscaping and decorative monument signage in order to highlight arrival and departure from the city.

Response: This Policy pertains to the City. This Policy is not applicable.

CD-1.5: Encourage new residential development in Sun City to specifically address the needs of seniors, including projects that have smaller yards, low-maintenance landscaping, limited mobility fixtures, and appropriately-sized parking spaces.

Response: This Policy pertains to the City. This Policy is not applicable.

CD-2: RURAL DESIGN**Goal**

CD-2: Preserve and enhance the character of the city's rural areas.

Response: This is not applicable. The SP is not located in a rural area.

Policies

CD-2.1: Require open space and recreation buffers, increased setbacks/step backs, landscape screening, sensitive site planning, and/or other buffer techniques, to the extent possible, between rural/equestrian-oriented land uses and dissimilar uses.

Response: This is not applicable. The SP is not located in a rural/equestrian oriented area.

CD-2.2: Utilize wood, wrought-iron, or other types of open fencing instead of block walls in rural areas as needed.

Response: This is not applicable. The SP is not located in a rural area.

CD-2.3: Allow for the elimination of vertical curbs, paved gutters, and sidewalks in rural areas if adequate drainage conditions are provided.

Response: This is not applicable. The SP is not located in a rural area.

CD-3: DESIGN QUALITY

Goal

CD-3: Projects, developments, and public spaces that visually enhance the character of the community and are appropriately buffered from dissimilar land uses so that differences in type and intensity do not conflict.

Response: The SP provides adequate buffers between dissimilar land uses (i.e., residential and commercial and residential and business park.

Project Design

CD-3.1: Preserve positive characteristics and unique features of a site during the design and development of a new project; the relationship to scale and character of adjacent uses should be considered.

Response: The SP site is relatively flat. The SP, as designed and implemented, avoids a natural drainage course (unique feature) on-site (PA5) to the greatest extent feasible. The SP is consistent to adjacent uses, as they are suburban in nature and the SP is also a suburban style development. This is reflected in the architecture, massing, bulk and uses.

CD-3.2: Maintain and incorporate the city's natural amenities, including its hillsides, indigenous vegetation, and rock outcroppings, within proposed projects.

Response: The SP site is relatively flat. There are no hillsides, indigenous vegetation, and rock outcroppings on the SP site. The SP, as designed and implemented, avoids a natural drainage course on-site (PA5) to the greatest extent feasible. This drainage course bifurcates the Project, separating PA4 from PAs 1, 2 and 3. It serves to convey drainage from the site to two inlet structures on the east side of Haun Road.

CD-3.3: Minimize visual impacts of public and private facilities and support structures through sensitive site design and construction. This includes, but is not limited to: appropriate placement of facilities; undergrounding, where possible; and aesthetic design (e.g., cell tower stealthing).

Response: Buffering has been provided on site to promote sensitive design. This is accomplished through the use of setbacks, landscaping, architectural and landscape design guidelines, as well as development standards, all of which are contained in the SP.

CD-3.4: Develop or participate in programs to rehabilitate older residential neighborhoods and commercial centers to prevent blight and maintain the quality of the built environment.

Response: This Policy pertains to the City. This Policy is not applicable.

CD-3.5: Design parking lots and structures to be functionally and visually integrated and connected; off-street parking lots should not dominate the streetscene.

Response: Development Standards are provided for PA's 1-4 as it pertains to parking requirements. Design Guidelines provide further direction on how the parking lots (particularly PA 3 and 4) are to be functionally and visually integrated and connected. The Development Standards and Design Guidelines in the SP will ensure that parking lots do not dominate the streetscene.

CD-3.6: Locate site entries and storage bays to minimize conflicts with adjacent residential neighborhoods.

Response: The SP, as designed and implemented has located site entries and storage bays to minimize conflicts with adjacent existing and proposed residential neighborhoods.

CD-3.7: Consider including public art at key gateways, major projects, and public gathering places.

Response: The SP requires public art in the garden plazas.

CD-3.8: Design retention/detention basins to be visually attractive and well integrated with any associated project and with adjacent land uses.

Response: The SP contains graphics and text in the Design Guidelines Section for the retention/detention basins. Through location, design, as well as plant choices, the SP will ensure that retention/detention basins are visually attractive and well integrated with the SP, and with adjacent land uses.

CD-3.9: Utilize Crime Prevention through Environmental Design (CPTED) techniques and defensible space design concepts to enhance community safety.

Response: The SP has included lighting, appropriate fencing and other environmental design (CPTED) strategies (natural surveillance, natural access control and natural territorial reinforcement). The SP has been by designed by the placing physical features, activities and people in such a way as to maximize visibility of the space and its users, fostering positive social interaction among legitimate users of private and public space. In addition, the SP has selectively placed and will encourage entrances and exits, fencing, lighting and landscape to limit access or control flow, natural access control occurs. Lastly, private space has been clearly delineated in the SP.

Building Design

CD-3.10: Employ design strategies and building materials that evoke a sense of quality and permanence.

Response: Development Standards and Design Guidelines within the SP employ design strategies and building materials that evoke a sense of quality and permanence. The SP calls out the architectural styles allowed and details the materials that will comprise the style (i.e., windows, balconies, siding, stucco, doors, etc.).

CD-3.11: Provide special building-form elements, such as towers and archways, and other building massing elements to help distinguish activity nodes and establish landmarks within the community.

Response: Development Standards and Design Guidelines within the SP require special building-form elements, such as towers and archways, and other building massing elements to help distinguish activity nodes and establish landmarks within the community.

CD-3.12: Utilize differing but complementary forms of architectural styles and designs that incorporate representative characteristics of a given area.

Response: The residential, commercial, office and business park uses of the SP utilize differing but complementary forms of architectural styles and designs that incorporate representative characteristics of the SP area. As depicted in the Design Guidelines Section of the SP, the respective PAs will have their own identity, yet there will be consistent theme elements that will tie the SP together from an architectural standpoint.

CD-3.13: Utilize architectural design features (e.g., windows, columns, offset roof planes, etc.) to vertically and horizontally articulate elevations in the front and rear of residential buildings.

Response: Development Standards and Design Guidelines within the SP utilize all these architectural design features (e.g., windows, columns, offset roof planes, etc.) to vertically and horizontally articulate elevations in the front and rear of residential buildings. Four-sided architecture is required. This, when coupled with the SP's five architectural styles (other are allowed), and architectural guidelines for the commercial and business park uses will result in a pleasing visual aesthetic.

CD-3.14: Provide variations in color, texture, materials, articulation, and architectural treatments. Avoid long expanses of blank, monotonous walls or fences.

Response: Development Standards and Design Guidelines within the SP requires variations in color, texture, materials, articulation, and architectural treatments. As stated above, the respective PAs will have their own architectural identity, yet there will be consistent theme elements that will tie the SP together from an architectural standpoint. The SP contains Development Standards and Design Guidelines that create interest and prohibit long expanses of blank, monotonous walls or fences.

CD-3.15: Require property owners to maintain structures and landscaping to high standards of design, health, and safety.

Response: Chapter VI of the SP requires property owners to maintain structures and landscaping to high standards of design, health, and safety. This will be carried over into CC&Rs which are required individually for the residential, commercial, and business park uses, as well as the open space conservation in PA5.

CD-3.16: Avoid use of long, blank walls in industrial developments by breaking them up with vertical and horizontal facade articulation achieved through stamping, colors, materials, modulation, and landscaping.

Response: Business park uses are allowed in the SP, not industrial uses. Development Standards and Design Guidelines within the SP avoid use of long, blank walls in PA4 (Business park) by breaking them up with vertical and horizontal facade articulation achieved through stamping, colors, materials, modulation, and landscaping.

Land Use Transitions & Buffers

CD-3.17: Encourage the use of creative landscape design to create visual interest and reduce conflicts between different land uses.

Response: The SP, as designed and implemented uses creative landscape design to create visual interest and reduce conflicts between different land uses. This is emphasized on the perimeter streetscenes (Haun, Garbani and Sherman Roads), the internal streetscenes, and buffers between PAs 1 and 2 (residential) and PA3 (commercial/office) and PA4 (business park) and PA5 (open space conservation).

CD-3.18: Require setbacks and other design elements to buffer residential units to the extent possible from the impacts of abutting roadway, commercial, agricultural, and industrial uses.

Response: The SP, as designed and implemented requires setbacks and other design elements (walls/fences) to buffer residential units to the extent possible from the impacts of abutting roadway, commercial, and industrial uses. PA5 serves as a buffer between PA2 and PA4.

CD-3.19: Design walls and fences that are well integrated in style with adjacent structures and terrain and utilize landscaping and vegetation materials to soften their appearance.

Response: The SP, as designed and implemented includes wall and fences designs that are well integrated in style with adjacent structures and terrain and utilize landscaping and vegetation materials to soften their appearance. Detailed Development Standards and Design Guidelines are included in the SP which incorporate these principles.

CD-3.20: Avoid the blocking of public views by solid walls.

Response: The SP, as designed and implemented avoids the blocking of public views by solid walls to the greatest extent feasible, given the need for noise attenuation purposes (On-site between PA1 and PA3 and PA2 and PA3). Tubular steel fencing will be utilized where noise attenuation is not an issue.

CD-3.21: Use open space, greenways, recreational lands, and water courses as community separators.

Response: PAs of the SP is a natural drainage course and serves as a community separator.

CD-3.22: Incorporate visual buffers, including landscaping, equipment and storage area screening, and roof treatments, on properties abutting either Interstate 215 or residentially designated property.

Response: This Policy pertains to the City. The SP incorporates visual buffers, including landscaping, equipment and storage area screening, and roof treatments.

CD-4: CORRIDORS & SCENIC RESOURCES

Goal

CD-4: Recognize, preserve, and enhance the aesthetic value of the city's enhanced landscape corridors and scenic corridors.

Response: The SP calls for enhanced landscape corridors on the perimeter streets (Haun, Garbani and Sherman Road). Details are contained in the text and supporting graphics in the Design Guidelines. There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an "Eligible State Scenic Highway – Not Officially Designated" by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about

17 miles east of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

Enhanced Landscape Corridors

CD-4.1: Create unifying streetscape elements for enhanced landscape streets, including coordinated streetlights, landscaping, public signage, street furniture, and hardscaping.

Response: Development Standards and Design Guidelines within the SP create unifying streetscape elements for enhanced landscape streets, including coordinated streetlights, landscaping, public signage, street furniture, and hardscaping.

CD-4.2: Design new and, when necessary, retrofit existing streets to improve walkability, bicycling, and transit integration; strengthen connectivity; and enhance community identity through improvements to the public right-of-way such as sidewalks, street trees, parkways, curbs, street lighting, and street furniture.

Response: The SP, as designed and implemented contains new streets that improve walkability, bicycling, and do not inhibit transit integration; strengthen connectivity; and enhance community identity through improvements to the public right-of-way such as sidewalks, trails, street trees, parkways, curbs, street lighting, and street furniture.

CD-4.3: Apply special paving at major intersections and crosswalks along enhanced corridors to create a visual focal point and slow traffic speeds.

Response: Design Guidelines within the SP illustrate special paving at major SP entries and crosswalks along enhanced corridors to create a visual focal point and slow traffic speeds.

Scenic Resources

CD-4.4: Frame views along streets through the use of wide parkways and median landscaping.

Response: The SP, as designed and implemented will frame views along streets through the use of wide parkways and median landscaping (Haun Road).

CD-4.5: Orient new streets to maximize the view of open space, parks, mountains, and built landmarks where possible.

Response: The SP does not provide any obstacles or barriers towards the attainment of this Policy.

CD-4.7: Design new landscaping, structures, equipment, signs, or grading within the scenic corridors for compatibility with the surrounding scenic setting or environment.

Response: Development Standards and Design Guidelines within the SP ensure compatibility with the surrounding scenic setting or environment. There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an “Eligible State Scenic Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. I-215 is an “Eligible County Scenic Highway.” The Project is consistent with existing and proposed development in the area.

CD-4.8: Preserve and enhance view corridors by undergrounding and/or screening new or relocated electric or communication distribution lines, which would be visible from the city's scenic highway corridors.

Response: No distribution lines are proposed. This Policy is not applicable.

CD-4.9: Require specialized design review for development along scenic corridors, including but not limited to, building height restrictions, setback requirements, and site-orientation guidelines.

Response: The SP serves as the initial specialized design review. Subsequent implementing projects will be consistent with the SP.

CD-4.10: Seek to preserve and maintain, through acquisition or regulation, areas or sites that are found to have exceptional scenic value.

Response: This Policy is not applicable. The Project site does not possess exceptional scenic value.

CD-5: ECONOMIC DEVELOPMENT CORRIDOR DESIGN

Goal

CD-5: Economic Development Corridors that are visually distinctive and vibrant and combine commercial, industrial, residential, civic, cultural, and recreational uses.

Response: The SP fosters this Goal by locating appropriate uses within the EDC, as prescribed by the General Plan (GP).

Policies

CD-5.1: Provide comfortable pedestrian amenities-quality sitting areas, wide paths and shade-along with specialized and engaging design features, such as interesting fountains or public art, which draw and maintain people's attention, as appropriate based on the preferred mix of land uses for each EDC subarea.

Response: The SP, as designed and implemented provides comfortable pedestrian amenities-quality sitting areas, wide paths and shade-along with specialized and engaging design features, such as interesting fountains or public art, which draw and maintain people's attention, as appropriate based on the preferred mix of land uses for the SG-EDC subarea.

CD-5.2: Include open space and/or recreational amenities in EDC areas to provide visual relief from development, form linkages to adjacent uses and other portions of the economic development corridor, and serve as buffers between uses, where necessary.

Response: PA5 provides a buffer within the SP. Trails within the SP form linkages to adjacent uses and other portions of the economic development corridor.

CD-5.3: Consider shared parking and reduced parking standards in areas designated as Economic Development Corridor.

Response: The SP contains tailored parking standards to meet the needs of the SP implementation.

CD-5.4: Locate building access points along sidewalks, pedestrian areas, and bicycle routes, and include amenities that encourage pedestrian activity in the EDC areas where appropriate.

Response: The SP, as designed and implemented locates building access points along sidewalks, pedestrian areas, and bicycle routes. Amenities are included in the SP that encourage pedestrian activity in the SP.

CD-5.5: Create a human-scale ground-floor environment that includes public open areas that separate pedestrian space from auto traffic, or where these intersect, give special regard to pedestrian safety.

Response: The SP, as designed and implemented will create a human-scale ground-floor environment that includes public open areas that separate pedestrian space from auto traffic. Where these intersect, special regard has been given to pedestrian safety.

CD-5.6: Orient building entrance toward the street and provide parking in the rear, when possible.

Response: The SP, as designed and implemented will orient building entrances toward the street and provide parking in the rear, when possible.

CD-5.7: Where a vertical mix of uses occurs, site retail or office uses on the ground floor, with residential and/or office uses above. Also, encourage architectural detailing that differentiates each use.

Response: The SP, as designed and implemented will have commercial uses on the ground floor and office uses on the upper floors(s) in PA3. These uses are integrated architecturally.

CD-5.8: Encourage adjacent commercial and industrial buildings to share open, landscaped, and/or hardscaped areas for visual relief, access, and outdoor employee gathering places.

Response: Where there is an interface between PA3 and PA4, there is shared open, landscaped, and/or hardscaped areas for visual relief, access.

CD-6: COMMUNITY DESIGN FEATURES

Goal

CD-6: Attractive landscaping, lighting, and signage that conveys a positive image of the community.

Response: Development Standards and Design Guidelines within the SP require attractive landscaping, lighting, and signage that conveys a positive image of the community.

Landscaping

CD-6.1: Recognize the importance of street trees in the aesthetic appeal of residential neighborhoods and require the planting of street trees throughout the city.

Response: Development Standards and Design Guidelines within the SP recognize the importance of street trees in the aesthetic appeal of residential neighborhoods and require the planting of street trees throughout the city.

CD-6.2: Ensure that all public landscaping is adequately maintained.

Response: Chapter VI of the SP ensures that all public landscaping is adequately maintained.

CD-6.3: Require property owners to maintain the existing landscape on developed nonresidential sites and replace unhealthy or dead landscaping.

Response: Chapter VI of the SP requires property owners to maintain the existing landscape on developed nonresidential sites and replace unhealthy or dead landscaping.

Lighting

CD-6.4: Require that lighting and fixtures be integrated with the design and layout of a project and that they provide a desirable level of security and illumination.

Response: Development Standards and Design Guidelines within the SP require that lighting and fixtures be integrated with the design and layout of a project and that they provide a desirable level of security and illumination.

CD-6.5: Limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

Response: Development Standards and Design Guidelines within the SP limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

CD-6.6: Encourage the incorporation of lighting into signage design when appropriate in order to minimize glare and light spillage while accentuating the design of the signage.

Response: Development Standards and Design Guidelines within the SP encourage the incorporation of lighting into signage design when appropriate in order to minimize glare and light spillage while accentuating the design of the signage.

Signage

CD-6.7: Integrate project signage into the architectural design and character of new buildings.

Response: Design Guidelines within the SP requires integration of signage into the architectural design and character of new buildings.

CD-6.8: Discourage the use of flashing, moving, or audible signs.

Response: Design Guidelines within the SP prohibits the use of flashing, moving, or audible signs.

ECONOMIC DEVELOPMENT ELEMENT

ED-1: DIVERSE & ROBUST ECONOMY

Goal

ED-1: A diverse and robust local economy capable of providing employment for all residents desiring to work in the city.

Response: This Policy pertains to the City. This Policy is not applicable.

Policies

ED-1.1: Focus economic development efforts on the primary objective of increasing the number of jobs that pay above-average wages and salaries.

Response: This Policy pertains to the City. This Policy is not applicable.

ED-1.2: Diversify the local economy and create a balance of employment opportunities across skill and education levels, wages and salaries, and industries and occupations.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

ED-1.3: Establish a long-term employment objective where the number of jobs in the city will be equal to or up to 10% higher than the number of employed people living in Menifee.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

ED-1.4: Provide sufficient infrastructure to serve the full build out of the city.

Response: This Policy pertains to the City. The SP will widen adjacent roadways to General Plan Circulation Element standard.

ED-1.5: Help existing businesses communicate their workforce needs to regional workforce development partners and to school district partners. Collaborate with regional economic development partners to market Menifee to potential new businesses. Collaborate with regional business development and educational partners to publicize the assistance and training available to Menifee residents to start up and grow businesses.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

ED-2: RETAIL DEVELOPMENT**Goal**

ED-2: A variety of retail shopping areas distributed strategically throughout the City and regional retail, dining, and entertainment destinations in key locations with freeway access.

Response: The SP will allow for retail shopping in an area that is not currently served by these uses.

Policies

ED-2.1: Promote retail development by locating needed goods and services in proximity to where residents live to improve quality of life, retain taxable spending by Menifee residents, and attract residents from outside the city to shop in Menifee.

- Locate businesses providing convenience goods and services in retail centers that are on arterials adjacent to neighborhoods and communities throughout the city but not in rural residential areas.

- Encourage comparison goods businesses to locate in larger retail centers located on major arterials near freeway interchanges, because businesses that provide comparison goods tend to draw customers from larger areas.

Response: The SP, as designed and implemented will be consistent with this Policy. The Project will promote retail development by locating needed goods and services in proximity to where residents live to improve quality of life, retain taxable spending by Menifee residents, and attract residents from outside the city to shop in Menifee, and will locate businesses providing convenience goods and services in retail centers that are on arterials adjacent to neighborhoods and communities throughout the city.

ED-2.2: Require regional retail districts to provide entertainment and dining in addition to retail sales and services to create destinations prepared to withstand e-commerce's increasing capture of retail spending. These districts should create a pedestrian-friendly human-scale atmosphere with street furniture, shading, and gathering spaces that enhance the experience of shopping and socializing.

Local retail centers (primarily intended to serve Menifee residents) need not necessarily provide dining and entertainment but shall provide street furniture, shading, pedestrian-circulation, and gathering spaces that enhance the experience of shopping.

Response: The SP, as designed and implemented will be consistent with this Policy. The Project will provide entertainment and dining in addition to retail sales and services to create destinations prepared to withstand e-commerce's increasing capture of retail spending. The Project will create a pedestrian-friendly human-scale atmosphere with street furniture, shading, and gathering spaces that enhance the experience of shopping and socializing.

ED-3: QUALITY OF LIFE

Goal

ED-3: A mix of land uses that generates a fiscal balance to support and enhance the community's quality of life.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). The SP mix of land uses (commercial, business park) will generate a fiscal balance to support and enhance the community's quality of life.

Policies

ED-3.1: Incorporate short-term and long-term economic and fiscal implications of proposed actions into decision making.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

ED-3.2: Establish a land use plan that is fiscally sustainable at buildout, because different land uses provide different fiscal balances (revenues in excess of the costs required to provide public facilities and services).

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy. The SP mix of land uses (commercial, business park) will generate a

fiscal balance to support and enhance the community's quality of life. The SP contains a land use plan that is fiscally sustainable at buildout.

ED-3.3: Utilize the following parameters on general plan amendments that are not part of a city-initiated comprehensive amendment or update:

- Because retail uses provide retail sales taxes and lodging uses provide transient occupancy taxes, they provide the most lucrative fiscal balance. No general plan amendment changing from a land use designation that permits retail uses or lodging uses to a land use designation that does not allow retail or lodging uses shall be approved except in conjunction with a development agreement or other legally enforceable obligation on the property owner(s) that requires the subject property generate the same or better fiscal balance for the city as it would have generated with a retail or lodging use.
- Because office and industrial uses generate less demand for public facilities and services than residential uses, they provide a more lucrative fiscal balance. No general plan amendment changing from a land use designation that permits office or industrial uses to a designation that does not permit office or industrial land uses shall be approved except in conjunction with a development agreement or other legally enforceable obligation on the property owner(s) that requires the subject property generate the same or better fiscal balance for the city as it would have generated with an office or industrial use.
- The city may require a fiscal impact analysis and mitigation of any negative fiscal impacts for any requested general plan amendment.

Response: This Policy is not applicable. No general plan amendment is proposed.

SAFETY ELEMENT

S1 & S2: SEISMIC & GEOLOGIC ISSUES

Goal

S-1: A community that is minimally impacted by seismic shaking and earthquake-induced or other geologic hazards.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will be minimally impacted by seismic shaking and earthquake-induced or other geologic hazards.

Policies

S-1.1: Require all new habitable buildings and structures to be designed and built to be seismically resistant in accordance with the most recent California Building Code adopted by the city.

Response: The SP, as implemented will require all new habitable buildings and structures to be designed and built to be seismically resistant in accordance with the most recent California Building Code adopted by the city.

S-1.2: Encourage owners of old or potentially hazardous buildings- including pre-1952 wood-frame structures, concrete tilt-ups, pre-1971 reinforced masonry, soft-story, and multifamily residential buildings- to assess the seismic vulnerability of their structures and conduct seismic retrofitting as necessary to improve the building's resistance to seismic shaking.

Response: This Policy pertains to the City. This Policy is not applicable.

S-1.3: Encourage the city's utility service providers to identify sections of their distribution networks that are old and/or in areas susceptible to earthquake-induced ground deformation, and to repair, replace, or strengthen the sections as necessary.

Response: This Policy pertains to the City. This Policy is not applicable.

Goal

S-2: A community that has used engineering solutions to reduce or eliminate the potential for injury, loss of life, property damage, and economic and social disruption caused by geologic hazards such as slope instability; compressible, collapsible, expansive or corrosive soils; and subsidence due to groundwater withdrawal.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will reduce or eliminate the potential for injury, loss of life, property damage, and economic and social disruption caused by geologic hazards such as slope instability; compressible, collapsible, expansive or corrosive soils; and subsidence due to groundwater withdrawal.

Policies

S-2.1: Require all new developments to mitigate the geologic hazards that have the potential to impact habitable structures and other improvements.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will mitigate the geologic hazards that have the potential to impact habitable structures and other improvements.

S-2.2: Monitor the losses caused by geologic hazards to existing development and require studies to specifically address these issues, including the implementation of measures designed to mitigate these hazards, in all future developments in these areas.

Response: This Policy pertains to the City. This Policy is not applicable.

S-2.3: Minimize grading and modifications to the natural topography to prevent the potential for man-induced slope failures.

Response: The SP site is relatively flat. The potential for man-induced slope failures is very low to nil.

S-2.4: Manage the groundwater resources in the area to prevent overdrafting of the aquifers, which in turn could result in regional subsidence.

Response: This Policy pertains to the City. This Policy is not applicable.

S-3: FLOOD HAZARDS

Goal

S-3: A community that is minimally disrupted by flooding and inundation hazards.

Response: The SP has been designed in a manner that it would not be disrupted by flooding and inundation hazards.

Policies

S-3.1: Require that all new developments and redevelopments in areas susceptible to flooding (such as the 100-year floodplain and areas known to the city to flood during intense or prolonged rainfall events) incorporate mitigation measures designed to mitigate flood hazards.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will mitigate any potential flood hazards.

S-3.2: Reduce flood hazards in developed areas known to flood.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that SP, as designed and implemented will mitigate any potential flood hazards.

S-3.3: Use technology to identify flood-prone areas and to notify residents and motorists of impending flood hazards and evacuation procedures.

Response: This Policy is not applicable.

S-3.4: Develop floodplains as parks, nature trails, equestrian parks, golf courses, or other types of recreational facilities or joint-use facilities that can withstand periodic inundation wherever feasible.

Response: This Policy is not applicable.

S-3.5: Encourage neighboring jurisdictions to require development occurring adjacent to the city to consider the impact of flooding and flood control measures on properties within Meniffee.

Response: This Policy pertains to the City. This Policy is not applicable.

S-4: FIRE HAZARDS**Goal**

S-4: A community that has effective fire mitigation and response measures in place, and as a result is minimally impacted by wildland and structure fires.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have effective fire mitigation and response measures in place.

Policies

S-4.1: Require fire-resistant building construction materials, the use of vegetation control methods, and other construction and fire prevention features to reduce the hazard of wildland fire.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have effective fire mitigation and response measures in place, to include, but not be limited to: fire-resistant building construction

materials, the use of vegetation control methods, and other construction and fire prevention features to reduce the hazard of wildland fire.

S-4.2: Ensure, to the maximum extent possible, that fire services, such as firefighting equipment and personnel, infrastructure, and response times, are adequate for all sections of the city.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have effective fire mitigation and response measures in place.

S-4.3: Use technology to identify flood-prone areas and to notify residents and motorists of impending flood hazards and evacuation procedures.

Response: This Policy pertains to the City. This Policy is not applicable.

S-4.4: Review development proposals for impacts to fire facilities and compatibility with fire areas or mitigate.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have effective fire mitigation and response measures in place.

S-5: HAZARDOUS MATERIALS

Goal

S-5: A community that has reduced the potential for hazardous materials contamination.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will reduce the potential for hazardous materials contamination.

Policies

S-5.1: Locate facilities involved in the production, use, storage, transport, or disposal of hazardous materials away from land uses that may be adversely impacted by such activities and areas susceptible to impacts or damage from a natural disaster.

Response: The SP, as designed and implemented has an orderly land use development pattern that meets the intent of this Policy.

S-5.2: Ensure that the Fire Department can continue to respond safely and effectively to a hazardous materials incident in the city, whether it is a spill at a permitted facility, or the result of an accident along a section of the freeway or railroads that extend across the city.

Response: This Policy pertains to the City and the Fire Department. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

S-5.3: Continue to support the operation of programs and recycling centers that accept hazardous substances, such as paint, paint thinner, used waste oil, etc.

Response: This Policy pertains to the City. The SP does not provide any obstacles or barriers towards the attainment of this Policy.

S-5.4: Ensure that all facilities that handle hazardous materials comply with federal and state laws pertaining to the management of hazardous wastes and materials.

Response: This Policy pertains to the City. This Policy is not applicable.

S-5.5: Require facilities that handle hazardous materials to implement mitigation measures that reduce the risks associated with hazardous material production, storage, and disposal.

Response: This Policy pertains to the City. This Policy is not applicable.

NOISE ELEMENT

N-1: NOISE-SENSITIVE LAND USES

Goal & Policies

N-1: Noise-sensitive land uses are protected from excessive noise and vibration exposure.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that noise-sensitive land uses are protected from excessive noise and vibration exposure in the SP.

Policies: Policy & Regulation

N-1.1: Assess the compatibility of proposed land uses with the noise environment when preparing, revising, or reviewing development project applications.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have proposed land uses that are compatible with the noise environment.

N-1.2: Require new projects to comply with the noise standards of local, regional, and state building code regulations, including but not limited to the city's Municipal Code, Title 24 of the California Code of Regulations, the California Green Building Code, and subdivision and development codes.

Response: The SP, as designed and implemented shall comply with the noise standards of local, regional, and state building code regulations, including but not limited to the city's Municipal Code, Title 24 of the California Code of Regulations, the California Green Building Code, and subdivision and development codes.

N-1.3: Require noise abatement measures to enforce compliance with any applicable regulatory mechanisms, including building codes and subdivision and zoning regulations, and ensure that the recommended mitigation measures are implemented.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will have effective noise abatement measures.

N-1.4: Regulate the control of nuisances, such as residential party noise and barking dogs, through the city's Municipal Code.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.5: Protect agricultural uses from noise complaints that may result from routine farming practices.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.6: Coordinate with the County of Riverside and adjacent jurisdictions to minimize noise impacts from adjacent land uses along the city's boundaries, especially its rural edges.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.7: Mitigate exterior and interior noises to the levels listed in the table below to the extent feasible, for stationary sources adjacent to sensitive receptors:

Table N-1 Stationary Source Noise Standards

Land Use (Residential)	Interior Standards	Exterior Standards
10 p.m. - 7 a.m.	40 Leq (10 minute)	45 Leq (10 minute)
7 a.m. - 10 p.m.	55 Leq (10 minute)	65 Leq (10 minute)

Policies: Sitting & Design

N-1.8: Locate new development in areas where noise levels are appropriate for the proposed uses. Consider federal, state, and city noise standards and guidelines as a part of new development review.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Noise levels are appropriate for the proposed uses.

N-1.9: Limit the development of new noise-producing uses adjacent to noise-sensitive receptors and require that new noise-producing land be are designed with adequate noise abatement measures.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Noise levels are appropriate for the proposed uses. Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented that new noise-producing uses adjacent to noise-sensitive receptors and require are designed with adequate noise abatement measures.

N-1.10: Guide noise-tolerant land uses into areas irrevocably committed to land uses that are noise-producing, such as transportation corridors adjacent to the I-215 or within the projected noise contours of any adjacent airports.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.11: Discourage the siting of noise-sensitive uses in areas in excess of 65 dBA CNEL without appropriate mitigation.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will discourage the siting of noise-sensitive uses in areas in excess of 65 dBA CNEL without appropriate mitigation, where applicable.

N-1.12: Minimize potential noise impacts associated with the development of mixed-use projects (vertical or horizontal mixed-use) where residential units are located above or adjacent to noise-generating uses.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will minimize potential noise impacts associated with the development of mixed-use projects (vertical or horizontal mixed-use) where residential units are located above or adjacent to noise-generating uses, where applicable.

N-1.13: Require new development to minimize vibration impacts to adjacent uses during demolition and construction.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will minimize vibration impacts to adjacent uses during demolition and construction, where applicable.

Policies: Transportation Noise

N-1.14: Minimize vibration impacts on people and businesses near light and heavy rail lines or other sources of ground-borne vibration through the use of setbacks and/or structural design features that reduce vibration to levels at or below the guidelines of the Federal Transit Administration. Require new development within 100 feet of rail lines to demonstrate, prior to project approval, that vibration experienced by residents and vibration-sensitive uses would not exceed these guidelines.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.15: Employ noise mitigation practices and materials, as necessary, when designing future streets and highways, and when improvements occur along existing road segments. Mitigation measures should emphasize the establishment of natural buffers or setbacks between the arterial roadways and adjoining noise-sensitive areas.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will employ noise mitigation practices and materials, as necessary, when designing future streets and highways, and when improvements occur along existing road segments, where applicable.

N-1.16: Collaborate with transportation providers, including airport owners, the Federal Aviation Administration, Caltrans, Southern California Association of Governments, neighboring jurisdictions, and railroad owners and operators, to prepare, maintain, and update transportation-related plans that minimize noise impacts and identify appropriate mitigation measures.

Response: This Policy pertains to the City, transportation providers, including airport owners, the Federal Aviation Administration, Caltrans, Southern California Association of Governments, neighboring jurisdictions, and railroad owners and operators. This Policy is not applicable.

N-1.17: Prevent the construction of new noise-sensitive land uses within airport noise impact zones. New residential land uses within the 65 dB CNEL contours of any public-use or military airports, as defined by the Riverside County Airport Land Use Commission, shall be prohibited.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.18: Work with the Southern California Regional Rail Authority and railroad owners and operators to reduce the noise impacts on noise-sensitive uses adjacent to railroad tracks.

Response: This Policy pertains to the City and the Southern California Regional Rail Authority. This Policy is not applicable.

N-1.19: Monitor proposals for future transit systems and require noise control to be considered in the selection of transportation systems that may affect the city.

Response: This Policy pertains to the City. This Policy is not applicable.

N-1.20: Adhere to any applicable Riverside County Airport Land Use Commission land use compatibility criteria, including density, intensity, and coverage standards.

Response: This Policy pertains to the City and the Southern California Regional Rail Authority. This Policy is not applicable.

N-2: MINIMAL NOISE SPILLOVER

Goal

N-2: Minimal noise spillover from noise-generating uses, such as agriculture, commercial, and industrial uses into adjoining noise-sensitive uses.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will minimize noise spillover from noise-generating uses, such as agriculture, commercial, and industrial uses into adjoining noise-sensitive uses, where applicable.

Policies

N-2.1: Require that new developments abutting residentially designated properties that operate stationary noise sources such as industrial, commercial, entertainment, institutional uses, hospitals, or large hotels, be designed to minimize noise impacts generated by loading areas, parking lots, trash enclosures, mechanical equipment, and any other noise-generating features to the extent feasible.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will require developments abutting residentially designated properties that operate stationary noise sources such as industrial, commercial, entertainment, be designed to minimize noise impacts generated by loading areas, parking lots, trash enclosures, mechanical equipment, and any other noise-generating features to the extent feasible.

N-2.2: Require commercial or industrial truck delivery hours to be limited when adjacent to noise-sensitive land uses unless there is no feasible alternative or there are overriding transportation benefits.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will require commercial or industrial truck delivery hours to be limited when adjacent to noise-sensitive land uses unless there is no feasible alternative or there are overriding transportation benefits.

N-2.3: Limit the hours and/or require attenuation of commercial/entertainment operations adjacent to residential and other noise-sensitive uses.

Response: Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the SP, as designed and implemented will limit the hours and/or require attenuation of commercial/entertainment operations adjacent to residential and other noise-sensitive uses.

Appendix C EDC Policies/Consistency Analysis

LAND USE ELEMENT

LU-1: Land uses and building types that result in a community where residents at all stages of life, employers, workers, and visitors have a diversity of options of where they can live, work, shop, and recreate within Menifee.

Response: The Mill Creek Promenade Specific Plan (SP), as designed and implemented will provide land uses and building types that result in a community where residents at all stages of life, employers, workers, and visitors have a diversity of options of where they can live, work, shop, and recreate within Menifee. The SP serves to implement the Economic Development Corridor (EDC).

LU-1.1: Concentrate growth in strategic locations to help preserve rural areas, create place and identity, provide infrastructure efficiently, and foster the use of transit options.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Growth has been concentrated in this strategic location to help preserve rural areas, create place and identity, and provide infrastructure efficiently. Through the land use plan, development standards, and the design guidelines, the SP will create a unique place and develop its own identity. As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan will ensure that that development of the SP will provide infrastructure efficiently. A combination of pathways, paseos, walkways, or similar pedestrian accesses are provided that connect the individual Planning Areas in the SP to any public transportation facilities (currently or in the future) located on key perimeter streets (Haun and Garbani Roads). Implementation of the Project will foster the use of transit options, once available.

LU-1.6: Coordinate land use, infrastructure, and transportation planning and analysis with regional, county, and other local agencies to further regional and subregional goals for jobs-housing balance.

Response: The SP fosters this policy by locating appropriate uses within the EDC, as prescribed by the General Plan GP.

LU-1.7: Ensure neighborhood amenities and public facilities (natural open space areas, parks, libraries, schools, trails, etc.) are distributed equitably throughout the city.

Response: The SP, as designed and implemented includes neighborhood amenities such as pools, clubhouses, multiple playground areas, a basketball court, a volleyball court, community garden, walking trails, multiple open space areas, as well as three garden courts). No public facilities are proposed within the SP, consistent with the EDC, as prescribed by the General Plan GP.

LU-2: Thriving Economic Development Corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.

Response: The SP includes multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner: Planning Area 1 – Rancho

Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community (Trails), Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space. The Project plans envision creek-side trails and pedestrian pathways connecting the different development areas to each other.

- Planning Area 1 - The Rancho Bonito Multi-Family Townhome Community: 194 units on approximately 13.82-acres [14.0 dwelling units/acre (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, three playground areas, a basketball court, a volleyball court, community garden, walking trails, and multiple open space areas.
- Planning Area 2 - The Mill Creek Promenade Single-Family Community: 204 units on approximately 20.51-acres [9.9 dwelling units/acres (du/ac)] with amenities, including, but not limited to: a pool, clubhouse, tot lots, picnic areas with gazebos, basin with trail and benches, and a creek-side trail.
- Planning Area 3 - The Mill Creek Promenade Shopping Center: 87,485 square feet (SF) of net retail buildings, 22,154 SF of available office space, and a 7,606 SF restaurant on approximately 14.85 acres.
- Planning Area 4 – Business Park: a 33,171 SF net of single story industrial center on a 2.79-acre site.
- Planning Area 5 – Open Space: a 1.69-acre open space conservation area.

This will contribute to a thriving Economic Development Corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.

LU-2.1: Promote infill development that complements existing neighborhoods and surrounding areas. Infill development and future growth in Menifee is strongly encouraged to locate within EDC areas to preserve the rural character of rural, estate, and small estate residential uses.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP).

LU-2.2: Encourage vertical and horizontal integration of uses where feasible on properties in EDCs.

Response: The SP, as designed and implemented includes both vertical and horizontal integration of uses.

LU-2.3: Identify opportunities to link the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center, to complementary uses in EDCs.

Response: As listed in Table IV-7, Land Use Regulations – Commercial Retail (see “Institutional Uses”), and Table IV-9, Land Use Regulations – Business Park (see “Institutional Uses”) the SP will allow educational and medical facilities, which may be used as support for the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center.

LU-2.4: Actively support development of cultural, education, and entertainment facilities in EDCs and utilize these venues to generate a unique identity for the city in Southwest Riverside County.

Response: As listed in Table IV-7, Land Use Regulations – Commercial Retail (see “Institutional Uses”), and Table IV-9, Land Use Regulations – Business Park (see “Institutional Uses”) the SP

will allow cultural, educational and entertainment uses. The uses allowed in the SP will contribute towards the attainment of this Goal.

HOUSING ELEMENT

HE 1.1: Specific Plans. Support residential growth and infill in specific plan areas and along corridors where comprehensive neighborhood planning is completed and adequate infrastructure is planned.

Response: The Project is located within the EDC-SG district and supports that district's land use mix by providing a necessary transitioning high-density residential product at the northern end of the district. Ten percent of the acreage of the EDC-SG district (or 83 acres) has been planned for residential uses. The SP serves as "comprehensive neighborhood planning" for the Project site. As shown in Chapter III, Community Development Plan of the SP, the Land Use Plan, Circulation Plan, Public Facilities Plan, Grading Plan, and Phasing Plan will ensure that that development of the SP will provide for the necessary, adequate infrastructure.

HE-2: Sustainable neighborhoods well served by ample parks, infrastructure, community amenities, and public services and facilities.

Response: The SP includes single- and multi-family residential, commercial/retail, office, restaurant, business park, and open space development divided in the following manner: Planning Area 1 – Rancho Bonito Multi-Family Townhome Community, Planning Area 2 - Mill Creek Promenade Single-Family Community, Planning Area 3 – Mill Creek Promenade Shopping Center (retail/commercial, office, and restaurant), Planning Area 4 – Business Park, and Planning Area 5 – Open Space. The Project plans envision creek-side trails and pedestrian pathways connecting the different development areas to each other. No public facilities are proposed within the SP, consistent with the EDC, as prescribed by the General Plan GP.

CIRCULATION ELEMENT

C-6: Scenic highway corridors that are preserved and protected from change which would diminish the aesthetic value of lands adjacent to the designated routes.

Response: Since the SP site is visible from the I-215, which is an Eligible Scenic Highway; the SP fosters this Goal by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an "Eligible State Scenic Highway – Not Officially Designated" by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. The Project is consistent with existing and proposed development in the area.

C-6.1: Design developments within designated scenic highway corridors to balance the objectives of maintaining scenic resources with accommodating compatible land uses.

Response: Since the SP site is visible from the I-215, which is an Eligible Scenic Highway; the SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). There are no officially designated scenic highways in or near the City. State Route 74 (SR-74) passes through the northern part of the City and is considered an "Eligible State Scenic

Highway – Not Officially Designated” by the California Department of Transportation. The nearest designated state scenic highway to the City is a portion of SR-74 in the San Jacinto Mountains about 17 miles east of the City. The Project is consistent with existing and proposed development in the area.

COMMUNITY DESIGN ELEMENT

CD-1: A unified and attractive community identity that complements the character of the City's distinctive communities.

Response: This Goal pertains to the City. This Policy is not applicable. The SP fosters this Goal by locating appropriate uses within the EDC, as prescribed by the General Plan (GP).

CD-5: Economic Development Corridors that are visually distinctive and vibrant and combine commercial, industrial, residential, civic, cultural, and recreational uses.

Response: The SP fosters this Goal by locating appropriate uses within the EDC, as prescribed by the General Plan (GP).

CD-5.1: Provide comfortable pedestrian amenities-quality sitting areas, wide paths and shade-along with specialized and engaging design features, such as interesting fountains or public art, which draw and maintain people's attention, as appropriate based on the preferred mix of land uses for each EDC subarea.

Response: The SP, as designed and implemented provides comfortable pedestrian amenities-quality sitting areas, garden plazas, wide paths, and shade-along with specialized and engaging design features, such as interesting fountains or public art, which draw and maintain people's attention, as appropriate based on the preferred mix of land uses for the SG-EDC subarea.

CD-5.2: Include open space and/or recreational amenities in EDC areas to provide visual relief from development, form linkages to adjacent uses and other portions of the economic development corridor, and serve as buffers between uses, where necessary.

Response: PA5 provides a buffer within the SP. Trails within the SP form linkages to adjacent uses and other portions of the economic development corridor.

CD-5.3: Consider shared parking and reduced parking standards in areas designated as Economic Development Corridor.

Response: The SP contains tailored parking standards to meet the needs of the SP implementation.

CD-5.4: Locate building access points along sidewalks, pedestrian areas, and bicycle routes, and include amenities that encourage pedestrian activity in the EDC areas where appropriate.

Response: The SP, as designed and implemented locates building access points along sidewalks, pedestrian areas, and bicycle routes. Amenities are included in the SP that encourage pedestrian activity in the SP.

CD-5.5: Create a human-scale ground-floor environment that includes public open areas that separate pedestrian space from auto traffic, or where these intersect, give special regard to pedestrian safety.

Response: The SP, as designed and implemented will create a human-scale ground-floor environment that includes public open areas that separate pedestrian space from auto traffic. Where these intersect, special regard has been given to pedestrian safety.

CD-5.6: Orient building entrance toward the street and provide parking in the rear, when possible.

Response: The SP, as designed and implemented will orient building entrances toward the street and provide parking in the rear, when possible.

CD-5.7: Where a vertical mix of uses occurs, site retail or office uses on the ground floor, with residential and/or office uses above. Also, encourage architectural detailing that differentiates each use.

Response: The SP, as designed and implemented will have commercial uses on the ground floor and office uses on the upper floors(s) in PA3. These uses are integrated architecturally.

CD-5.8: Encourage adjacent commercial and industrial buildings to share open, landscaped, and/or hardscaped areas for visual relief, access, and outdoor employee gathering places.

Response: Where there is an interface between PA3 and PA4, there is shared open, landscaped, and/or hardscaped areas for visual relief, access.

ECONOMIC DEVELOPMENT ELEMENT

ED-3: A mix of land uses that generates a fiscal balance to support and enhance the community's quality of life.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). The SP mix of land uses (commercial, business park) will generate a fiscal balance to support and enhance the community's quality of life.

NOISE ELEMENT

N-1.8: Locate new development in areas where noise levels are appropriate for the proposed uses. Consider federal, state, and city noise standards and guidelines as a part of new development review.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Noise levels are appropriate for the proposed uses.

N-1.9: Limit the development of new noise-producing uses adjacent to noise-sensitive receptors and require that new noise-producing land be are designed with adequate noise abatement measures.

Response: The SP fosters this Policy by locating appropriate uses within the EDC, as prescribed by the General Plan (GP). Noise levels are appropriate for the proposed uses. Through the analysis contained in the Environmental Impact Report (EIR), it has been demonstrated that the

SP, as designed and implemented that new noise-producing uses adjacent to noise-sensitive receptors and require are designed with adequate noise abatement measures.